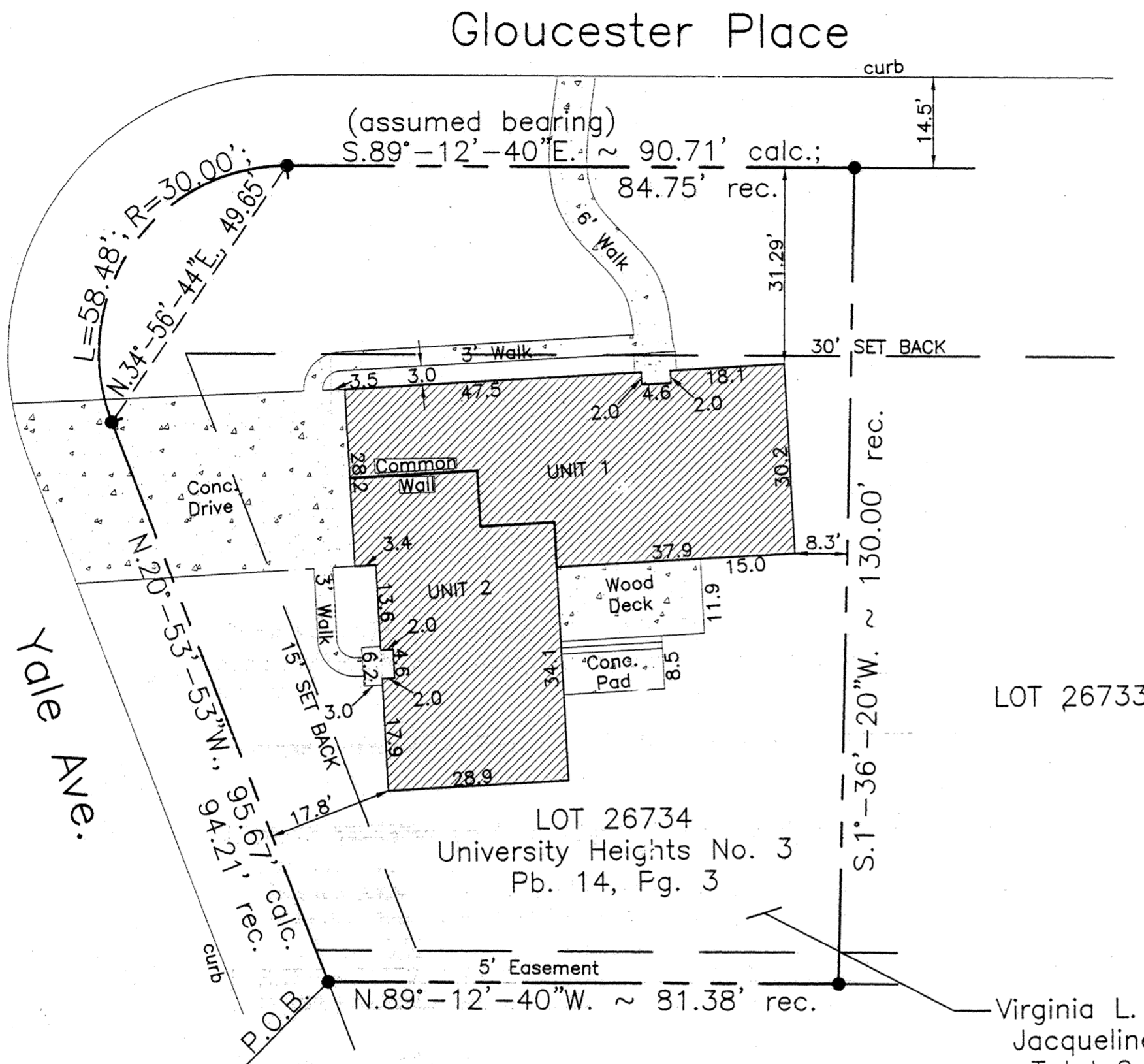
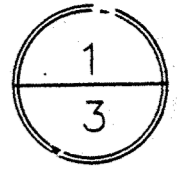


CURVE DATA

Δ = 111°-41'-13"
 R = 30'
 T = 44.2158'
 L.C. = 49.6504
 L = 58.4791

SITE PLAN & DEDICATOR'S PLAT

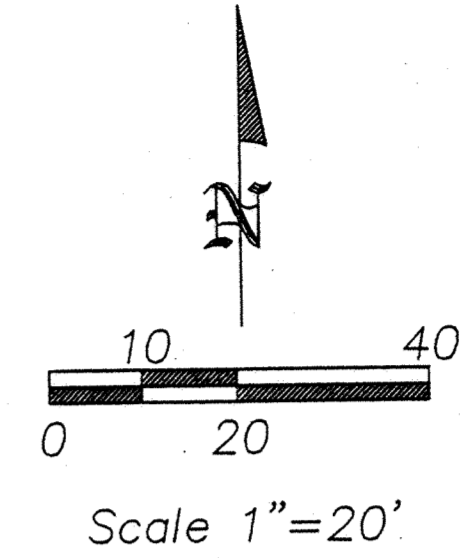


200016944

Filed and recorded
 Oct 16, 2000
 at 2:55 p.m.

Plat book 24 Pg 1
 Edward P Kirk
 Recorder

Fee \$62.10



REVIEWED BY:
 M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 10/11/00

DESCRIPTION

Being Lot 26734 in University Heights No. 3 (Plat book 14, page 3), SE1/4 Section 34, T3S, R7E, Bath Township, Allen County, Ohio more particularly described as follows:

Beginning at a set #5 rebar at the southwest corner of Lot 26734, thence the following courses;

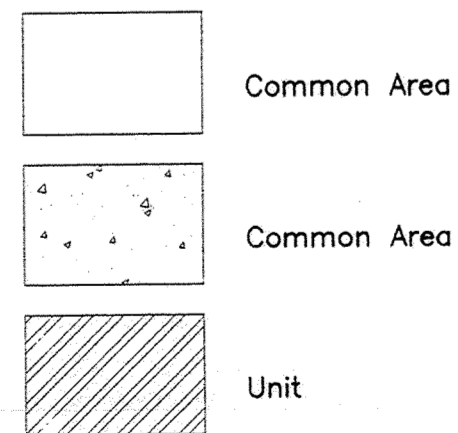
1. N.20°-53'-53"W. on the east line of Yale Ave., 95.67' to the P.C. of a curve to the right;
2. Northeasterly on the arc of the curve, 58.48' to a set #5 rebar at the P.T., said curve having an L.C. of N.34°-56'-44"E., 49.65' and a radius of 30.00';
3. S.89°-12'-40"E. on the south line of Gloucester Place, 90.71' to a set #5 rebar;
4. S.1°-36'-20"W., 130.00' to a set #5 rebar at the southeast corner of Lot 26734;
5. N.89°-12'-40"W., 81.38' to the POINT OF BEGINNING.

The above-described Lot contains 0.312 acre more or less, subject to all legal highways and easements of record.

Being Parcel No. 37-3412-04-007.000 and D.V. 761-580.

A bearing of S.89°-12'-40"E. was assumed for Gloucester Place.

This description and plat is based on an actual field survey performed on 9-26-00, by Clayton T. Bacon, P.S. #6179.



● Set #5 rebar with Yellow Plastic I.D. cap

Virginia L. Hefner &
 Jacqueline Seeling
 Total 0.312 Ac.
 Parcel No.
 37-3412-04-007.000
 D.V. 761-580

LOT 26511
 University Heights No. 2
 Pb. 13, Pg. 129

LOT 26733

Prepared By
 Bacon & Associates, L.L.C.

4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

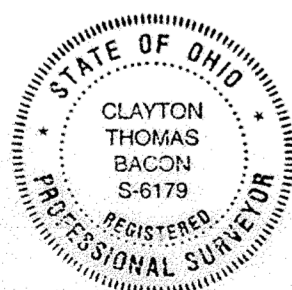
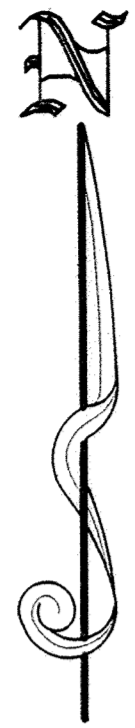
Bradford Condominiums
 Lot 26734 University Heights No. 3 (PB 14, PG 3)
 SE1/4 Sec. 34, T3S, R7E, Bath Twp., Allen Co., Oh.



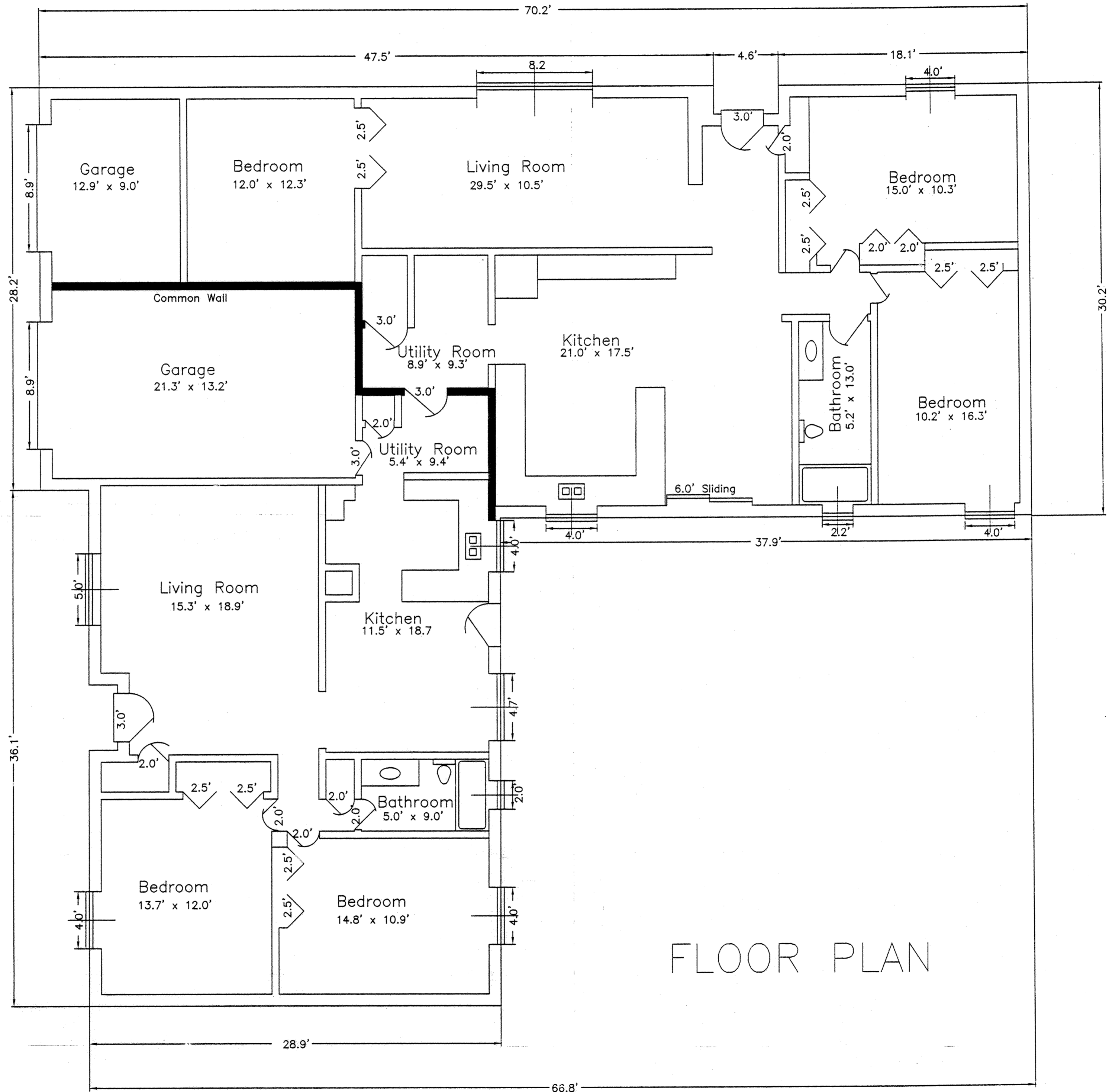
Clayton T. Bacon
 Clayton T. Bacon, Reg. Sur. #6179

10-11-00

Revisions:	msh	10-2-00
	msh	10-6-00
	msh	10-11-00
Drawn:	MSH	Date: 8-18-00



Clayton J. Bacon
10-11-00

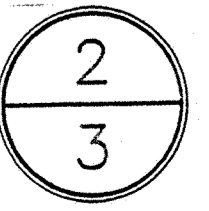


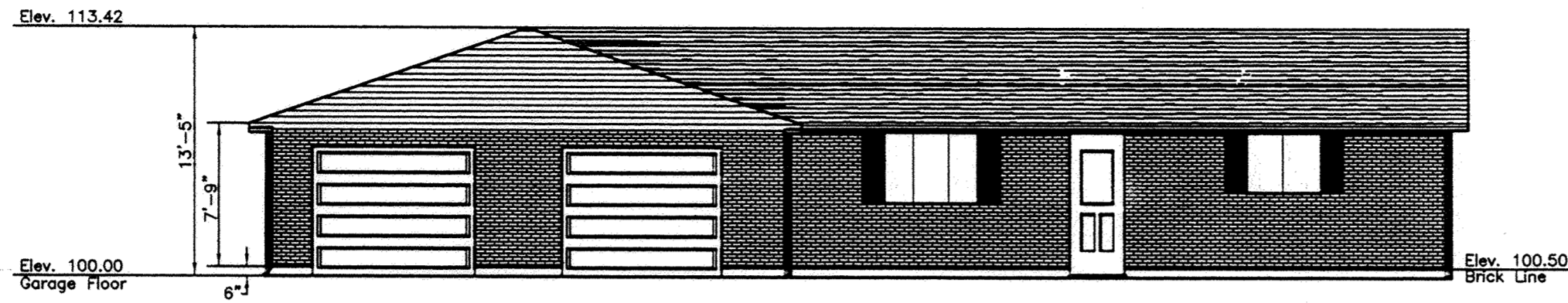
FLOOR PLAN

Prepared By
Bacon & Associates, L.L.C.
4600 Kitamat Trail Lima, Ohio 45805
Office: (419) 999-3756 - Fax: (419) 999-2523

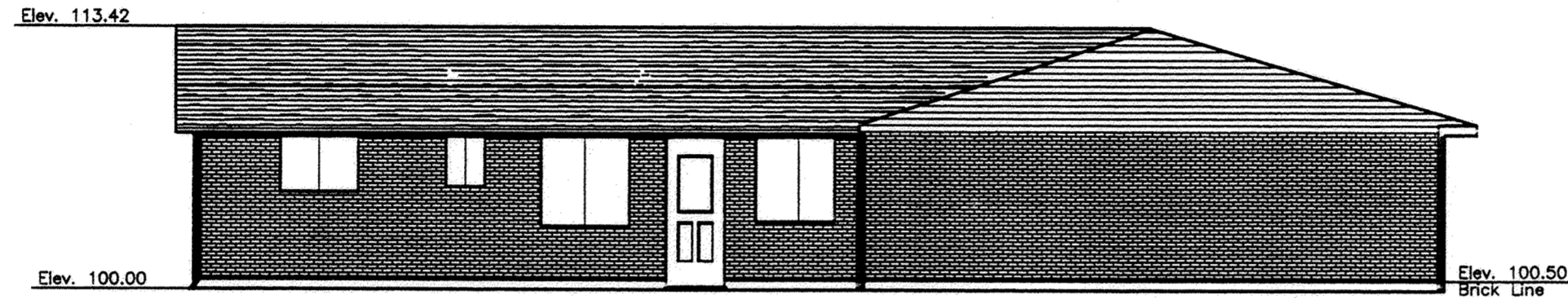
Bradford Condominiums
Lot 26734 University Heights No. 3 (PB 14, Pg 3)
Bath Township, Allen County, Ohio

File: 00100
Drawn: MSH
Date: 8-18-00

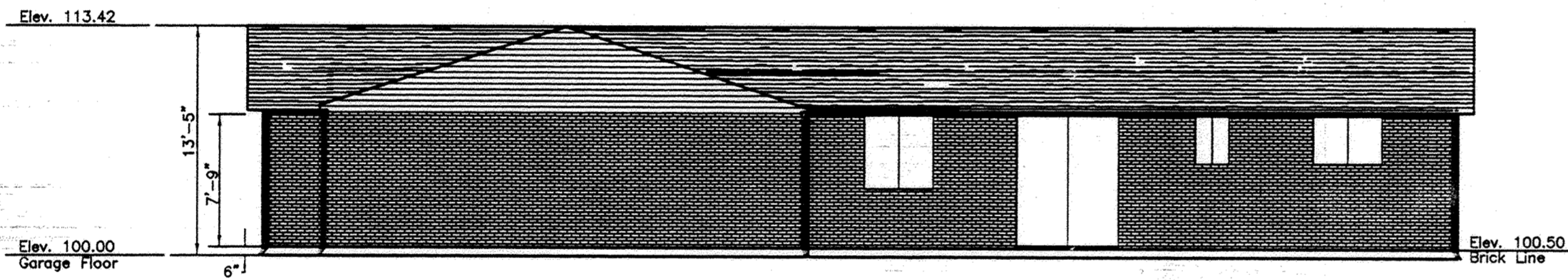




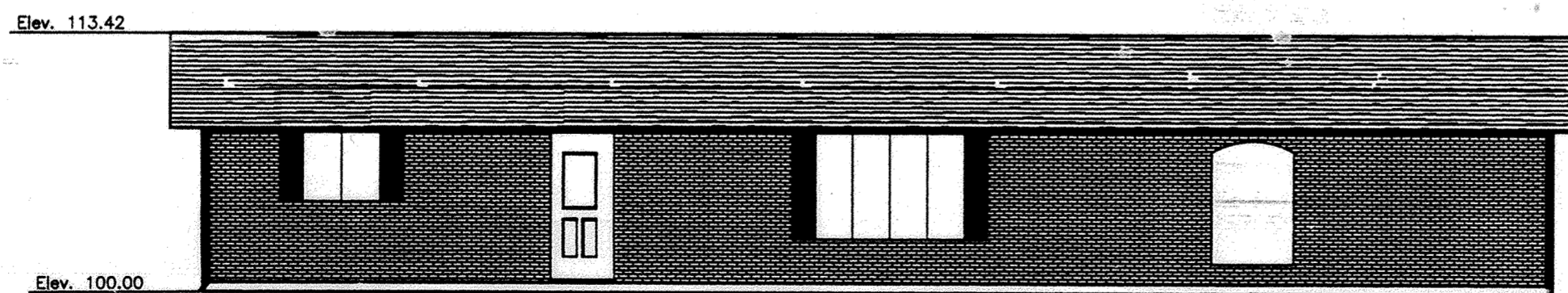
LEFT ELEVATION



RIGHT ELEVATION

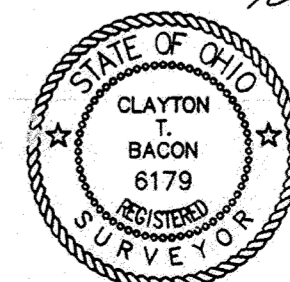
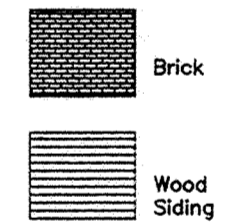


REAR ELEVATION



FRONT ELEVATION

Scale: 1/8" = 1'0"



Clayton T. Bacon
 Clayton T. Bacon, Reg. P.E. #37919
 10-11-00

Prepared By
Bacon & Associates, L.L.C.

4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

Bradford Condominiums
 Lot 26734, University Heights No. (P.B. 14, PG.3)
 Bath Township, Allen County, Ohio

File: 00100
 Drawn: MSH
 Date: 8-17-00

3
 3

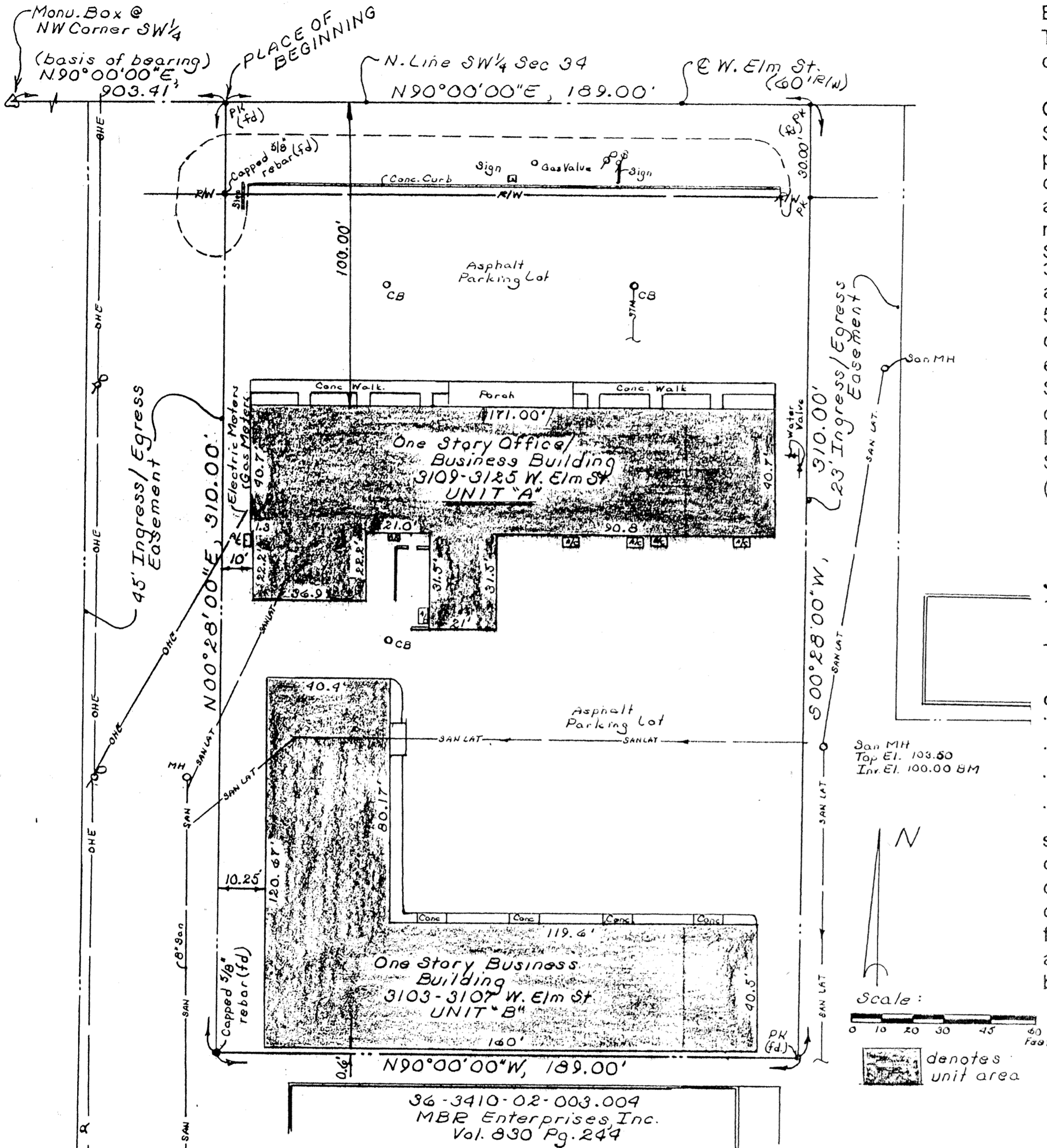
DESCRIPTION

Being a parcel of land situate in the Southwest quarter of Section 34, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of said Southwest quarter of said Section 34; thence N 90°00'00" E (basis of bearing - previous survey) with the north line of said Southwest quarter (also the centerline of said West Elm Street), 903.41 feet to a PK nail and shiner found and the PLACE OF BEGINNING; thence continuing N 90°00'00" E with said north line and centerline, 189.00 feet to a PK nail and shiner found; thence S 00°28'00" W (passing through a PK nail and shiner found at 30.00 feet), 310.00 feet to a PK nail and shiner found; thence N 90°00'00" W, 189.00 feet to a capped 5/8 inch rebar found; thence N 00°28'00" E (passing through a capped 5/8 inch rebar found at 280.00 feet), 310.00 feet to the PLACE OF BEGINNING containing 1.345 acres more or less and subject to all highway and other legal easements of record. Road right-of-way occupies 0.130 acre. Said parcel shall have ingress/egress rights over the Right-of-way Easements described in Deed Volume 558 on Page 401 and 402. Being Parcel No. 36-3410-02-004.000. Deed Reference: Vol. 725, Pg. 725. Surveyed by: KUCK and MORRISEY, Inc., Richard D. Morrissey, L.S. 6470 (OH)

JACK W. YOUNG AND ROSE MARY YOUNG CONDOMINIUM consist of the 1.345 acres parcel described hereon.

This set of drawings attached hereto and entitled: JACK W. YOUNG AND ROSE MARY YOUNG CONDOMINIUM consist of SIX pages of drawings that shows, insofar as graphically possible: one page showing the Plot Plan, two pages of the floor plan of Units "A" and "B", two pages of elevation views of the buildings one page showing the Survey of Dedicator's Land, show insofar as graphically possible (1) the particulars of the buildings in this condominium, including but not limited to the layout, location designation and dimensions of units "A" and "B" therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned being respectively a licensed Registered Surveyor and a licensed Professional Engineer hereby certify that said drawings show the building as constructed, as graphically as possible.



PLOT PLAN

For DECLARATIONS see Deed Volume 874 Page 791

No. 200017154
Filed for recording this 18th day of October, 2000 at 4:06 o'clock P.M. in the office of the Allen County Recorder and recorded in Plat Book 24 on Page 4

Fee: 124.20

Edward P. Kuck by FM
RECORDER, Allen County, Ohio.

Richard D. Morrissey
KUCK and MORRISEY, Inc.
Richard D. Morrissey, L.S.
Registered Surveyor No. 6470
KUCK and MORRISEY, Inc.
Richard D. Morrissey, L.S.
Professional Engineer No. 34373



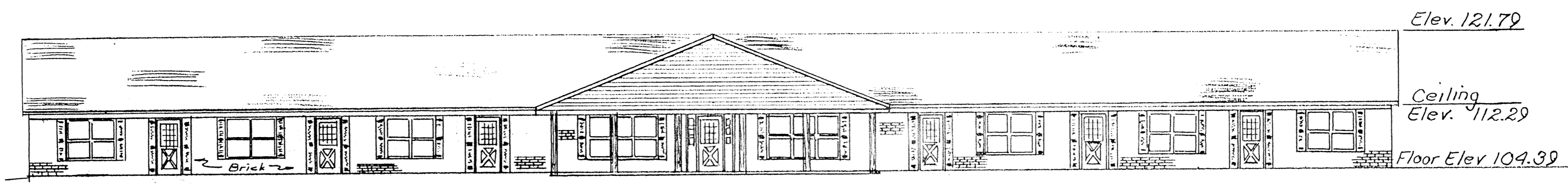
PLOT PLAN

JACK W. YOUNG and ROSE MARY YOUNG CONDOMINIUM
Pt. S.W. 1/4, Section 34, T-3-S, R-6-E, American Township, Allen County, Ohio

EXHIBIT "B" SHEET 1 OF 6

Prepared By:
KUCK and MORRISEY, Inc.
Consulting Engineers and Surveyors
2807 Chapel Hill Drive
Lima, Ohio 45805 Phone: 419-228-1735

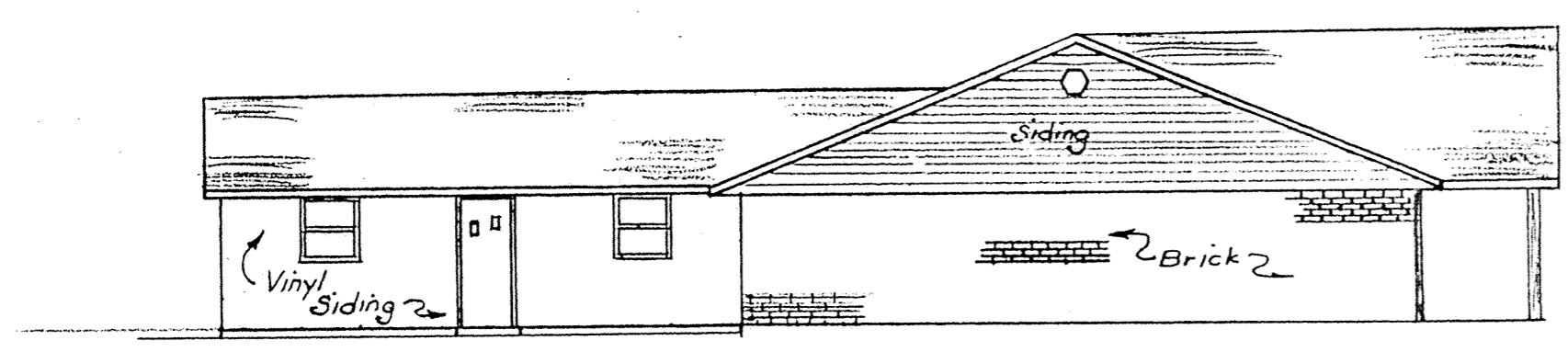
Prepared By:
KUCK and MORRISSEY, Inc.
Consulting Engineers and Surveyors
2807 Chapel Hill Drive
Lima, Ohio 45805 Phone: 419-228-1735



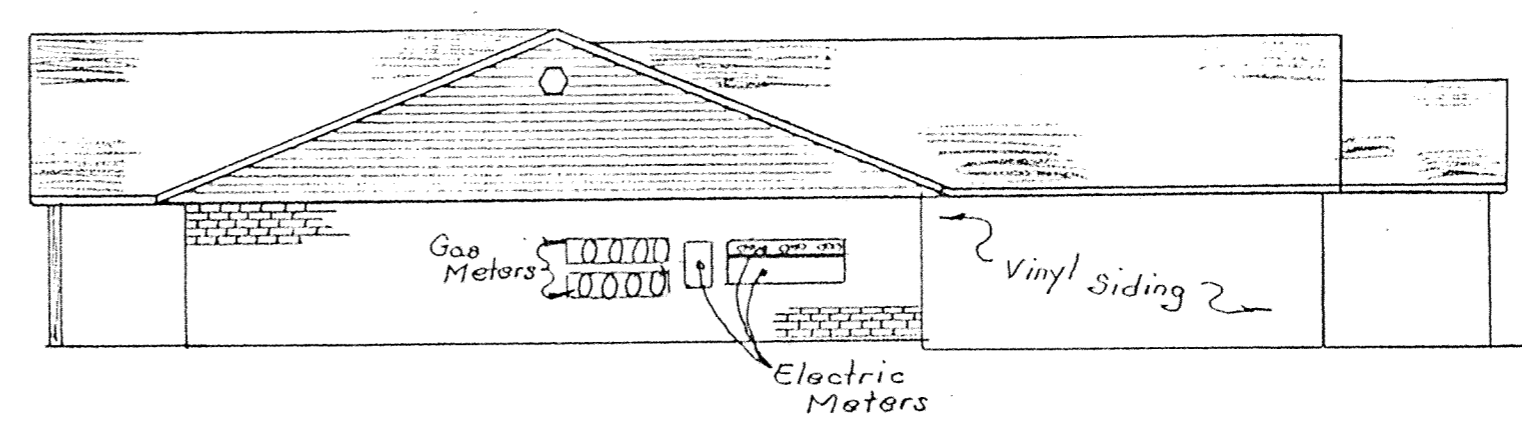
NORTH ELEVATION

Elevations shown in the North Elevation and the South Elevation are typical for all Elevation views.

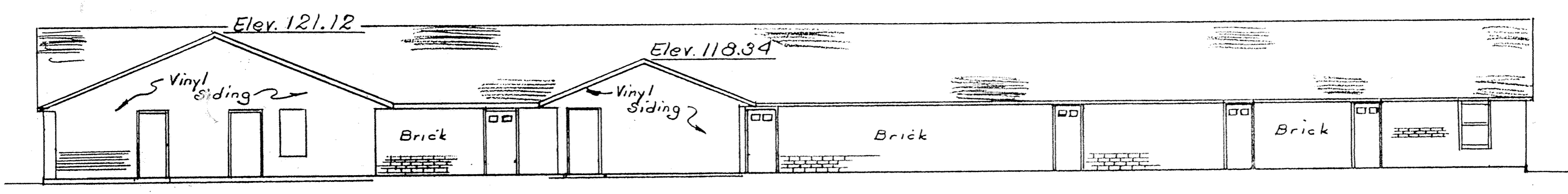
**ELEVATION VIEWS
UNIT "A"**



EAST ELEVATION



WEST ELEVATION

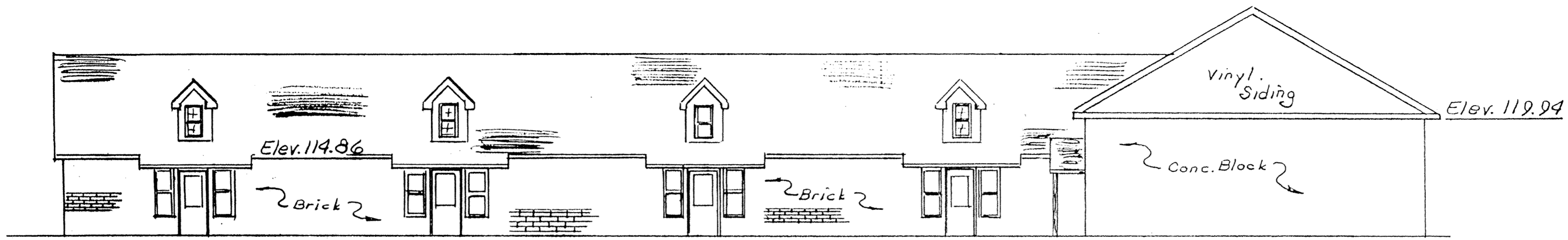


SOUTH ELEVATION

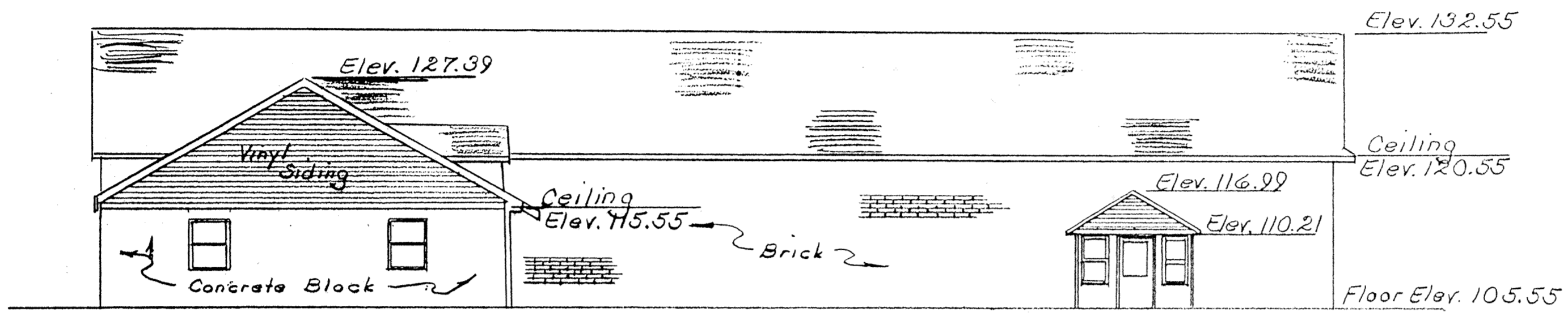
BENCH MARK: See Plot Plan on Sheet 1 Of 6 for location of manhole used for Benchmark: Invert Sanitary Manhole. Elevation 100.00 assumed

**JACK W. YOUNG and ROSE MARY YOUNG
CONDOMINIUM**
Pt. S.W. 1/4, Section 34, T-3-S, R-6-E, American Township,
Allen County, Ohio

EXHIBIT "B"
SHEET
2
OF 6

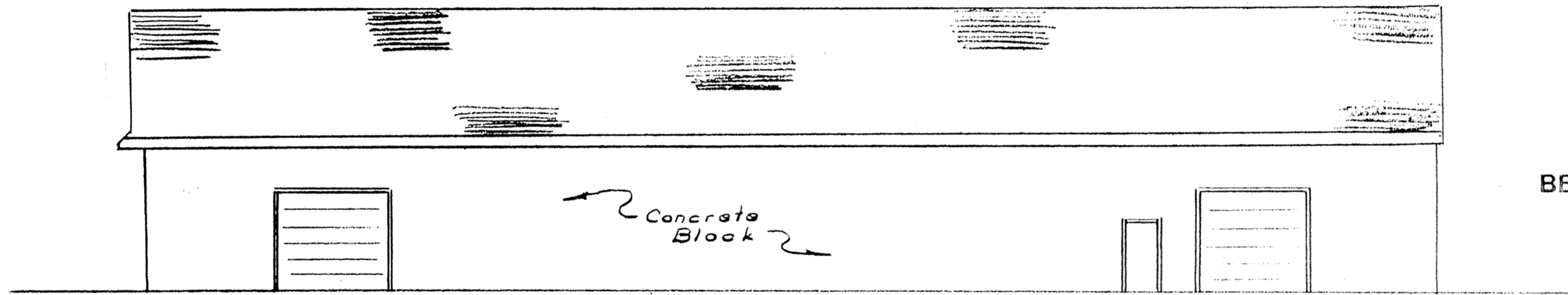


NORTH ELEVATION



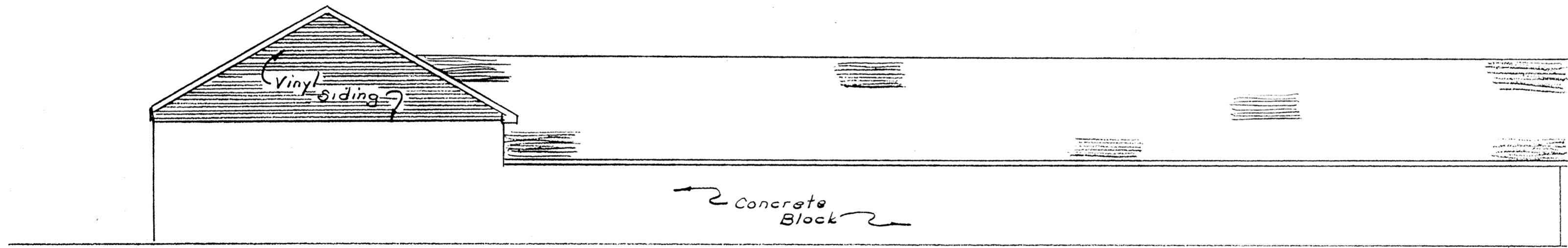
EAST ELEVATION

Elevations shown in the North Elevation and the East Elevation are typical for all Elevation views.



WEST ELEVATION

BENCH MARK: See Plot Plan on Sheet 1 Of 6 for location of manhole used for Benchmark: Invert Sanitary Manhole. Elevation 100.00 assumed



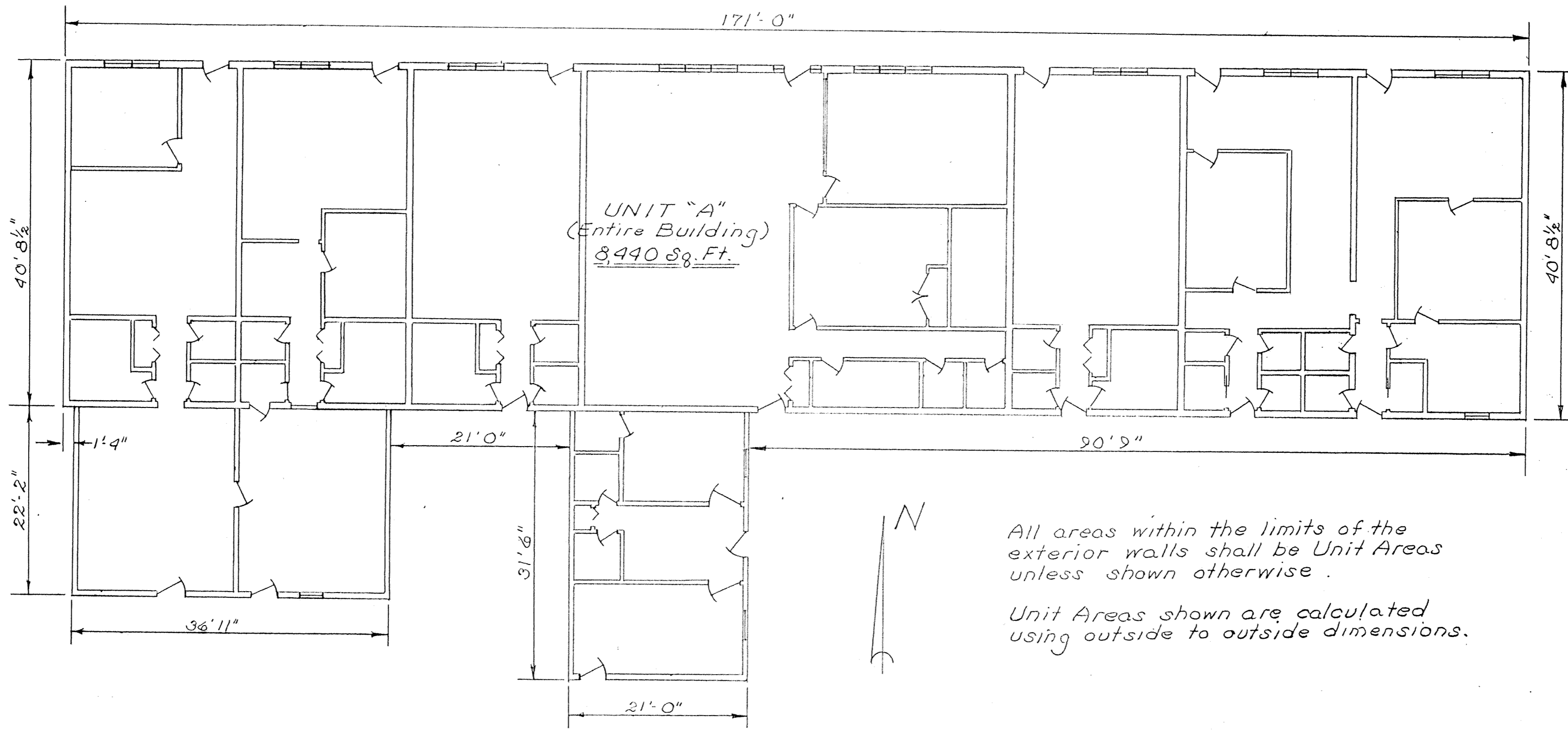
SOUTH ELEVATION

Prepared By:
KUCK and MORRISSEY, Inc.
 Consulting Engineers and Surveyors
 2807 Chapel Hill Drive
 Lima, Ohio 45805 Phone: 419-228-1735

**ELEVATION VIEWS
 UNIT "B"**

**JACK W. YOUNG and ROSE MARY YOUNG
 CONDOMINIUM**
 Pt. S.W. 1/4, Section 34, T-3-S, R-6-E, American Township,
 Allen County, Ohio

EXHIBIT "B"
 SHEET
3
 OF 6



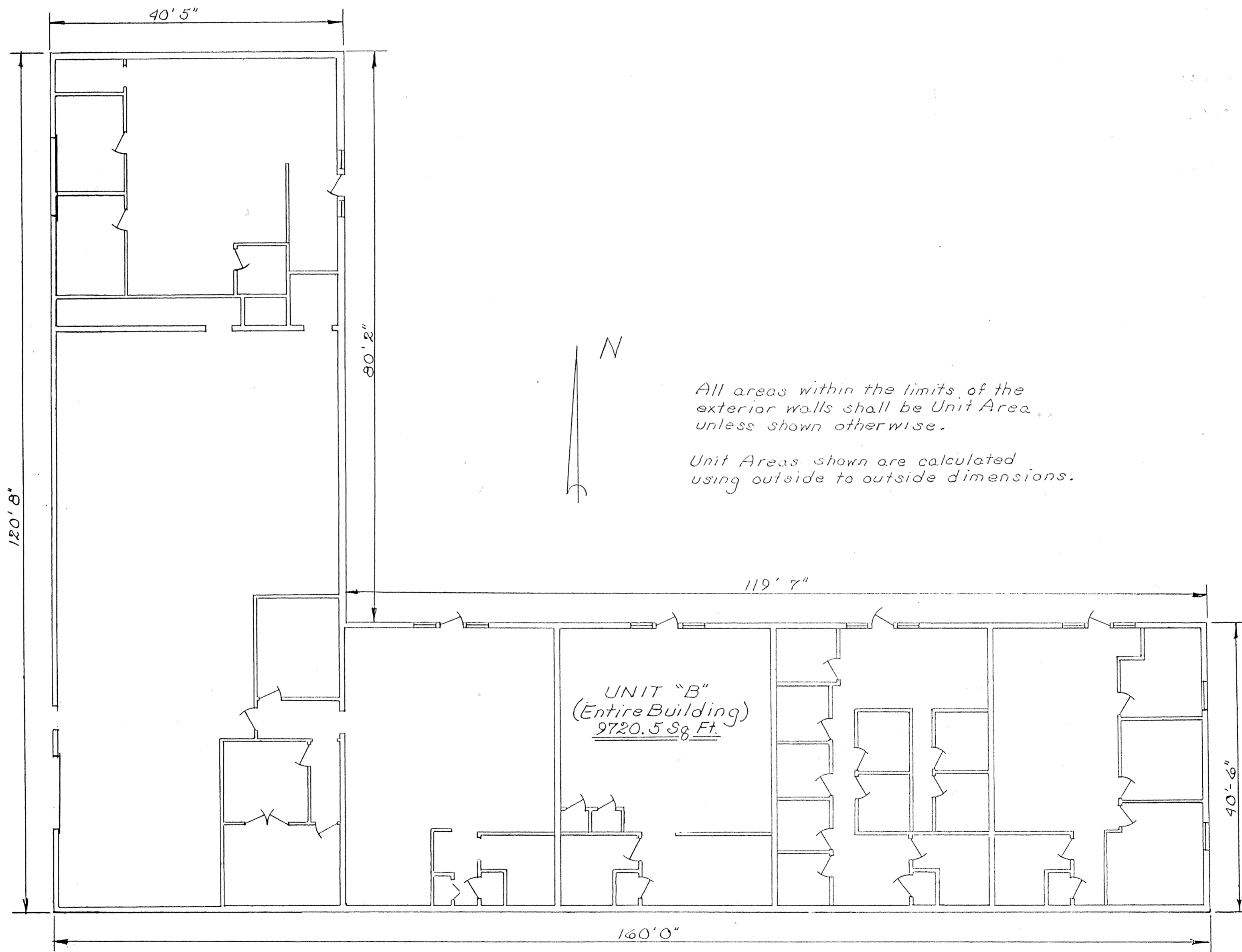
UNIT "B"

JACK W. YOUNG and ROSE MARY YOUNG
CONDOMINIUM
 Pt. S.W. 1/4, Section 34, T-3-S, R-6-E, American Township,
 Allen County, Ohio

FLOOR PLAN
UNIT "A"

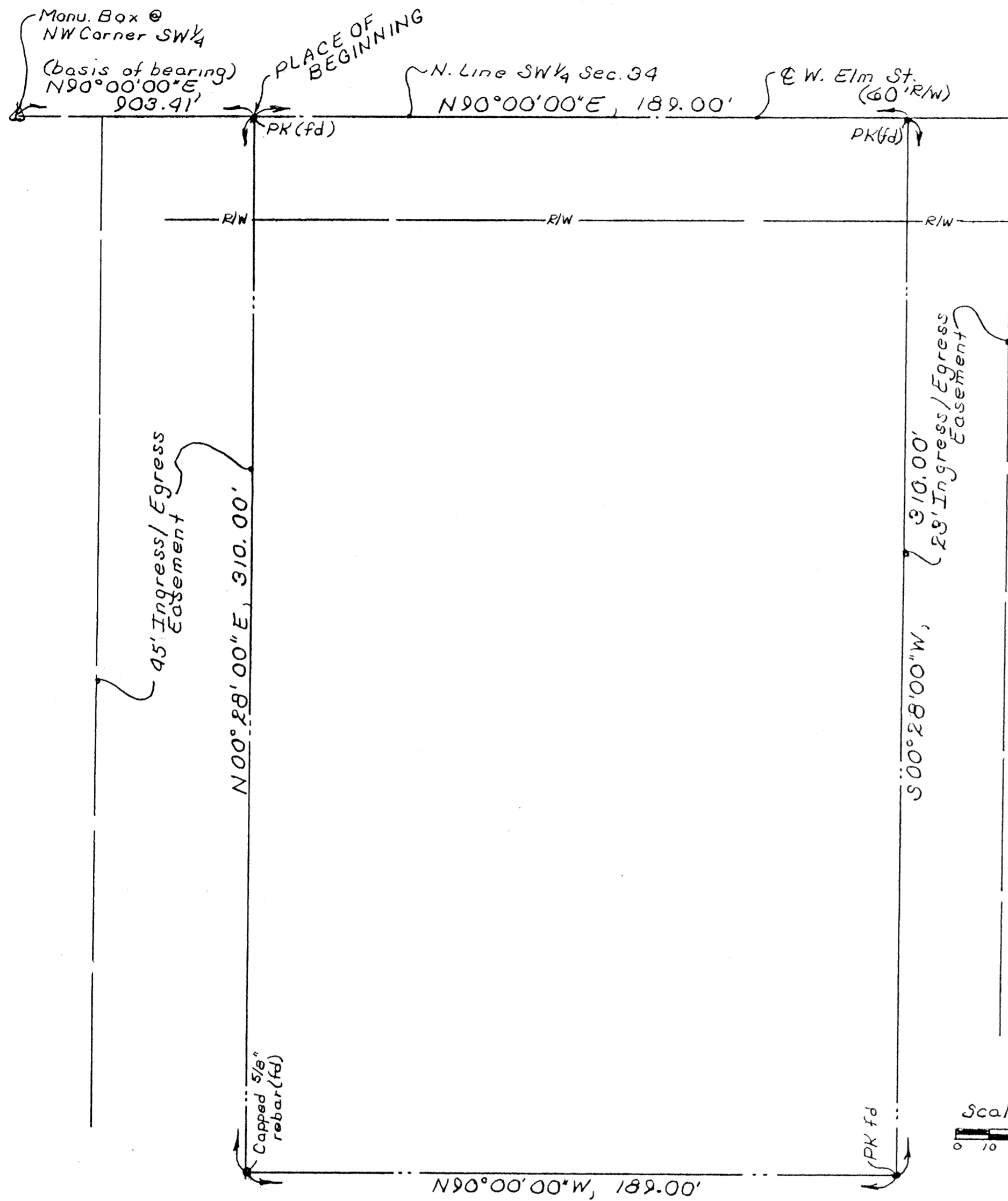
Prepared By:
KLUCK and MORRISEY, Inc.
 Consulting Engineers and Surveyors
 2807 Chapel Hill Drive
 Lima, Ohio 45805 Phone: 419-228-1735

EXHIBIT "B"
 SHEET
4
 OF 6



All areas within the limits of the exterior walls shall be Unit Area, unless shown otherwise.

Unit Areas shown are calculated using outside to outside dimensions.



36-3910-02-003.004
 MBR Enterprises, Inc.
 Vol. 830 Pg. 244

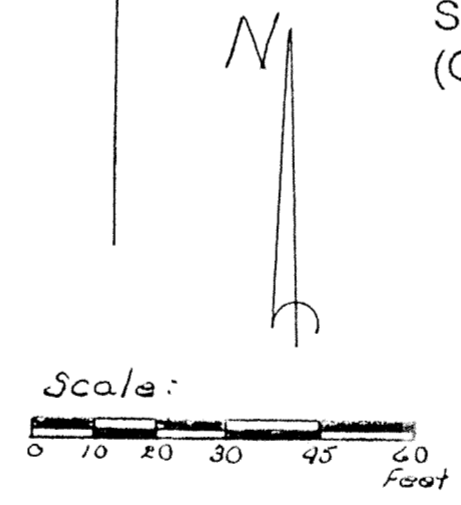
SURVEY OF DEDICATOR'S LAND

REVIEWED BY:
M. How
 MICHAEL L. POWERS, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 10/18/00

DESCRIPTION

Being a parcel of land situate in the Southwest quarter of Section 34, T-3-S, R-6-E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a monument box found at the northwest corner of said Southwest quarter of said Section 34; thence N 90°00'00" E (basis of bearing - previous survey) with the north line of said Southwest quarter (also the centerline of said West Elm Street), 903.41 feet to a PK nail and shiner found and the **PLACE OF BEGINNING**; thence continuing N 90°00'00" E with said north line and centerline, 189.00 feet to a PK nail and shiner found; thence S 00°28'00" W (passing through a PK nail and shiner found at 30.00 feet), 310.00 feet to a PK nail and shiner found; thence N 90°00'00" W, 189.00 feet to a capped 5/8 inch rebar found; thence N 00°28'00" E (passing through a capped 5/8 inch rebar found at 280.00 feet), 310.00 feet to the **PLACE OF BEGINNING** containing 1.345 acres more or less and subject to all highway and other legal easements of record. Road right-of-way occupies 0.130 acre. Said parcel shall have ingress/egress rights over the Right-of-way Easements described in Deed Volume 558 on Page 401 and 402. Being Parcel No. 36-3410-02-004.000. Deed Reference: Vol. 725, Pg. 725. Surveyed by: KUCK and MORRISEY, Inc., Richard D. Morrisey, L.S. 6470 (OH)



I hereby certify the accompanying map and survey which it represents to be correct to the best of my knowledge and belief. All rebar set and called for are topped with a plastic Pyramark cap stamped:
 KUCK & MORRISEY, L.S. 6470
 Date: 9/27/00 *Richard D. Morrisey*
 Richard D. Morrisey, L.S. 6470
 KUCK and MORRISEY, Inc.

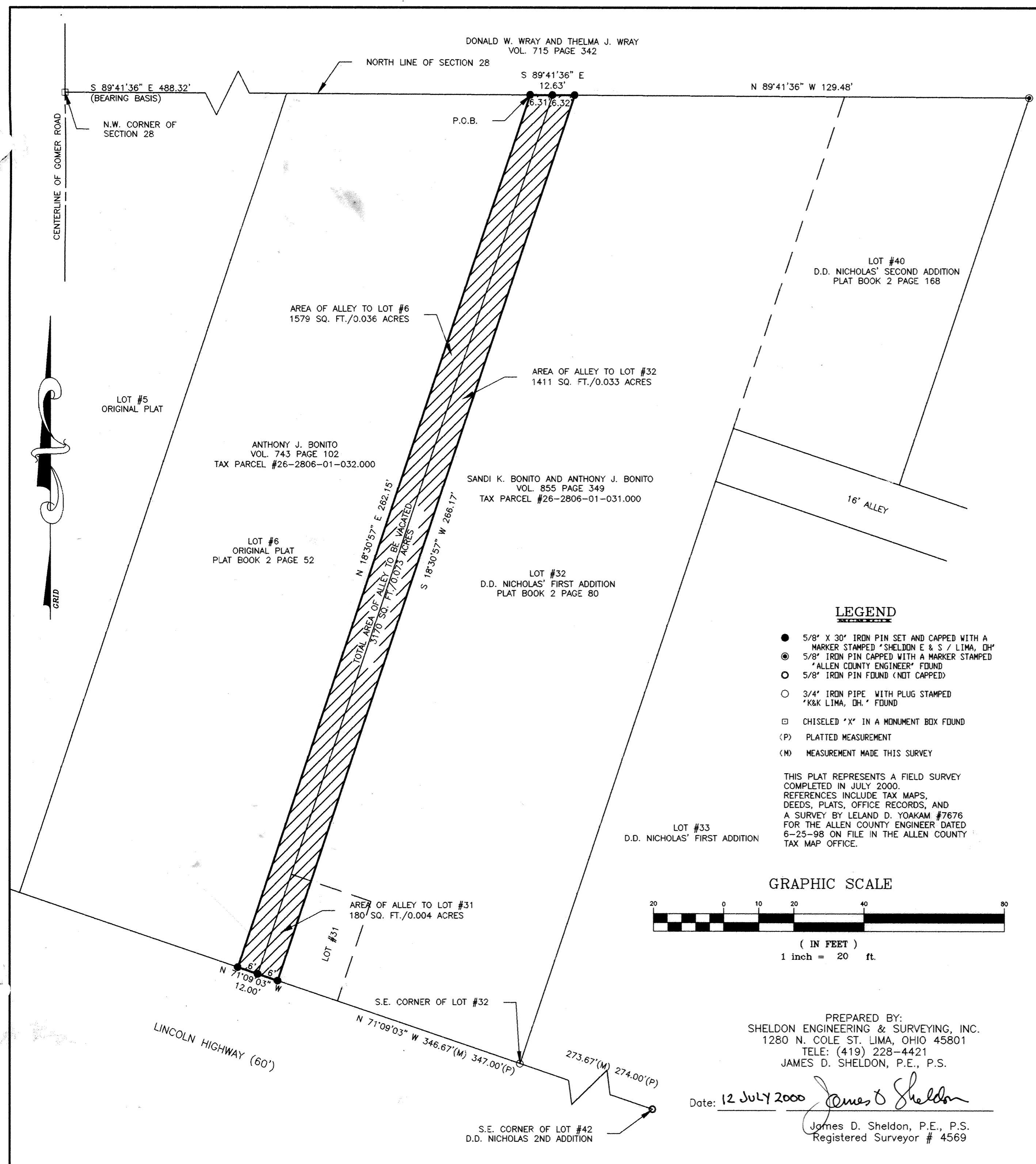


Prepared By:
 KUCK and MORRISEY, Inc.
 Consulting Engineers and Surveyors
 2807 Chapel Hill Drive
 Lima, Ohio 45805 Phone: 419-228-1735

SURVEY OF DEDICATOR'S LAND

JACK W. YOUNG and ROSE MARY YOUNG
CONDOMINIUM
 Pt. S.W. 1/4, Section 34, T-3-S, R-6-E, American Township,
 Allen County, Ohio

ALLEY VACATION PLAT
12' ALLEY
 IN D.D. NICHOLAS' FIRST ADDITION
 PLAT BOOK 2 PAGE 80
 IN THE N.W. 1/4 OF SECTION 28
 T2S-R6E
 VILLAGE OF GOMER
 ALLEN COUNTY, OHIO



DESCRIPTION
ALLEY VACATION
 0.073 ACRES

Being a 12.00-foot wide Public Alley coincident with the east line of Lot Number 6 of the Original Plat of the Village of Gomer (Plat Book 2, Page 52) and with the west line of Lots Number 31 and 32 of the D. D. Nicholas' First Addition (Plat Book 2, Page 80) in the Northwest Quarter of Section 28, Township 2 South, Range 6 East, Sugar Creek Township, Village of Gomer, Allen County, Ohio, and more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin set on the north line of Section 28 marking the northeast corner of said Lot Number 6 and the north terminus of the west line of said Alley -

Thence **South 89°-41'-36" East (bearing base)** on and along the north line of said Section 28 and of said Alley for a distance of 12.63 feet to a 5/8-inch iron pin set marking the northwest corner of Lot Number 32 and the north terminus of the east line of said Alley, passing at 6.31 feet a 5/8-inch iron pin set -

Thence **South 18°-30'-57" West** on and along the east line of said Alley and the west line of Lots Number 32 and 31 for a distance of 266.17 feet to a 5/8-inch iron pin set on the north line of Lincoln Highway marking the southwest corner of Lot Number 31 -

Thence **North 71°-09'-03" West** on and along said north line of Lincoln Highway for a distance of 12.00 feet to a 5/8-inch iron pin set marking the southeast corner of Lot Number 6, passing at 6.00 feet a 5/8-inch iron pin set -

Thence **North 18°-30'-57" East** on and along the east line of said Lot Number 6 and the west line of said Alley for a distance of 262.15 feet to the **point of beginning**.

Containing in all 3,170 square feet or 0.073 acres of land, of which:
 0.036 acres attach to Lot 6
 0.004 acres attach to Lot 31 and
 0.033 acres attach to Lot 32.

The foregoing description is based on a survey completed in July, 2000, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

NOTES: 1) Survey of June 25, 1998, performed by Leland D. Yoakam (#7676) for the Allen County Engineer established the north line of Section 28 as being South 89°-41'-36" East. This bearing was held for this survey.
 2) All iron pins set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

LEGEND

- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- ⊙ 5/8" IRON PIN CAPPED WITH A MARKER STAMPED "ALLEN COUNTY ENGINEER" FOUND
- 5/8" IRON PIN FOUND (NOT CAPPED)
- 3/4" IRON PIPE WITH PLUG STAMPED "K&K LIMA, OH" FOUND
- ⊠ CHISELED "X" IN A MONUMENT BOX FOUND
- (P) PLATTED MEASUREMENT
- (M) MEASUREMENT MADE THIS SURVEY

THIS PLAT REPRESENTS A FIELD SURVEY COMPLETED IN JULY 2000. REFERENCES INCLUDE TAX MAPS, DEEDS, PLATS, OFFICE RECORDS, AND A SURVEY BY LELAND D. YOAKAM #7676 FOR THE ALLEN COUNTY ENGINEER DATED 6-25-98 ON FILE IN THE ALLEN COUNTY TAX MAP OFFICE.

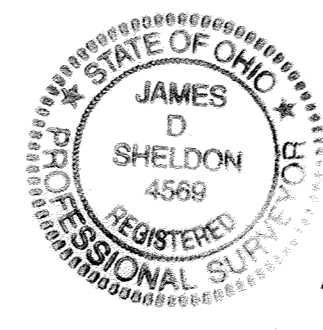
LOT #33
 D.D. NICHOLAS' FIRST ADDITION

GRAPHIC SCALE



PREPARED BY:
 SHELDON ENGINEERING & SURVEYING, INC.
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E., P.S.

Date: 12 JULY 2000
 James D. Sheldon
 James D. Sheldon, P.E., P.S.
 Registered Surveyor # 4569



200018194
 Filed and Recorded
 Nov. 3 2000
 at 9:09 o'clock AM
 Book 24 Page 10
 Edward P Kirk by EM
 Recorder, Allen Co. Ohio
 Fee \$ 20.70 PAID
 DEED Vol 875 Pg 472

REVIEWED BY:
 M. L. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 11/3/00

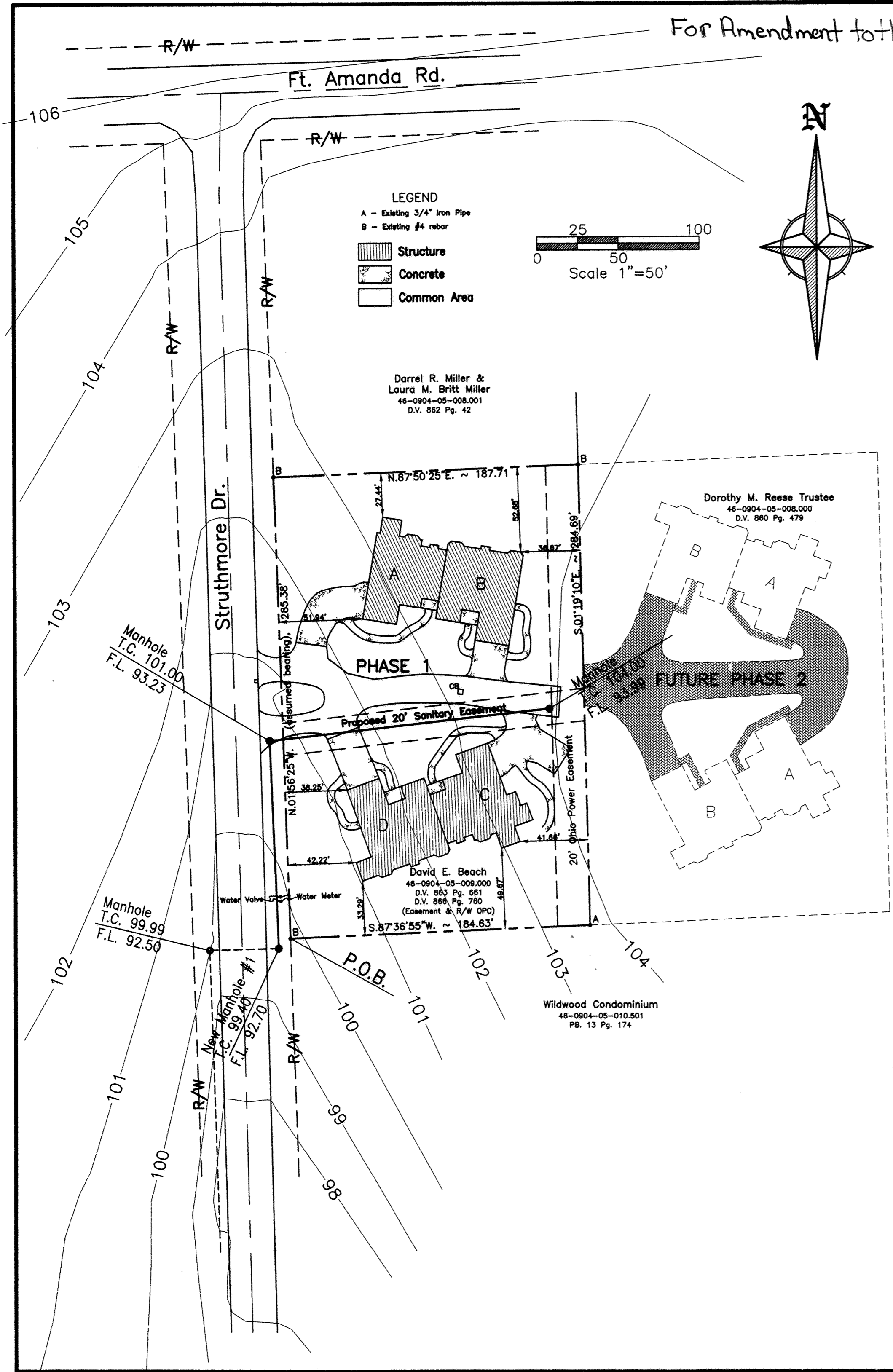
SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO

DATE	7-6-00	JOB NO.	21218
DRAWN	MSB	CHECKED	JDS
CHECKED	JDS	APPROVED	JDS
SCALE		1" = 20'	

SITE PLAN & DEDICATOR'S PLAT



DESCRIPTION

The following described tract of land is part of Parcel No. 46-0904-05-009.000 as described in D.V. 863-661, in the SE¼ of Section 9, T4S, R6E, Shawnee Township, Allen County, Ohio, more particularly described as follows:

Beginning at an existing #4 rebar at the northwest corner of Wildwood Condominium as recorded in Plat Book 13, Page 174, thence the following courses;

1. N.1°-56'-25"W. (assumed bearing) on the east line of Struthmore Drive, 285.38' to an existing #4 rebar;
2. N.87°-50'-25"E., 187.71' to an existing #4 rebar;
3. S.1°-19'-10"E., 284.69' to an existing ¾" pipe on the north line of the Wildwood Condominium;
4. S.87°-36'-55"W. on said north line, 184.63' to the POINT OF BEGINNING.

The above-described parcel contains 1.218 acres more or less, subject to all legal highways and easements of record.

REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE 11/13/00

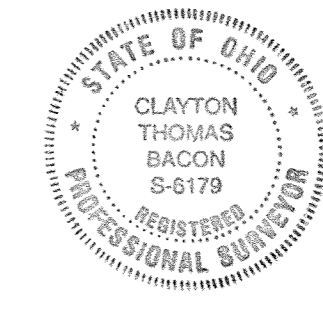
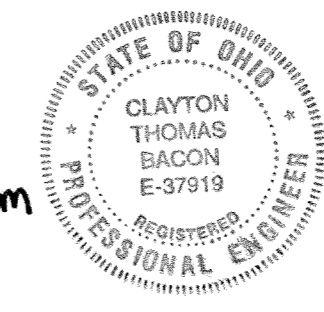
DESCRIPTION

(20' Wide Sanitary Sewer Easement)

Being an easement 20.00' wide of uniform width for sanitary sewer purposes in the SE¼ of Section 9, T4S, R6E, Shawnee Township, Allen County, Ohio, the centerline of which is more particularly described as follows:

Commencing for reference at the northwest corner of Wildwood Condominium as recorded in Plat Book 13, Page 174, thence N.1°-56'-25"W. on the east line of Struthmore Drive, 123.32', to the POINT OF BEGINNING of the centerline of the sanitary sewer easement, thence on said centerline, N.83°-33'-10"E., 186.68' to the east line of the David E. & Nancy K. Beach property Parcel No. 46-0904-05-009.000 as described in D.V. 863-661, said east line being the terminus of the 20' wide sanitary sewer easement.

2000 18455
 Filed and Recorded
 November 13, 2000 at 2:52 pm
 Plat book 24 Page 11
 Edward P Kirk Recorder
 Allen County, Ohio
 Fee \$144.90 Paid
 See Deed Vol 875 Pg 654



Clayton T. Bacon
 Clayton T. Bacon, Reg. P.E. #37919 11-7-00

This description and plat is based on an actual field survey performed on 7-29-00, by Clayton T. Bacon, P.S. #6179.

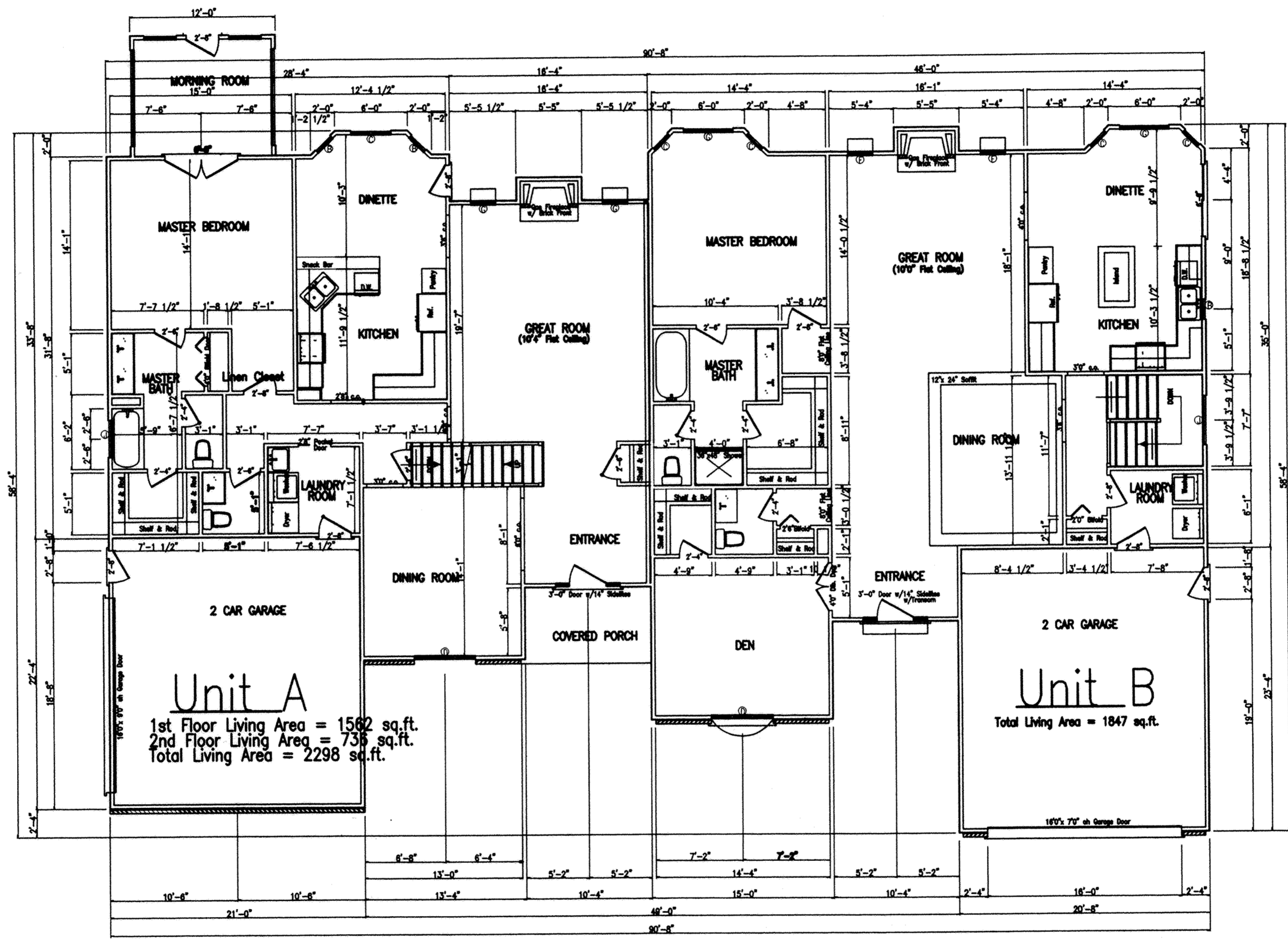
Prepared By
Bacon & Associates, L.L.C.
 4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

The Reserve Condominiums
 SE1/4, Section 9, T4S, R6E
 Shawnee Township, Allen county, Ohio

File: 45-00

Drawn: CAT	Date: 7-5-00	Revisions: MSH 11-6-00
------------	--------------	------------------------

1
7



Unit A
 1st Floor Living Area = 1562 sq.ft.
 2nd Floor Living Area = 736 sq.ft.
 Total Living Area = 2298 sq.ft.

Unit B
 Total Living Area = 1847 sq.ft.

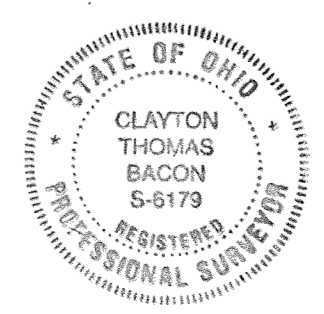
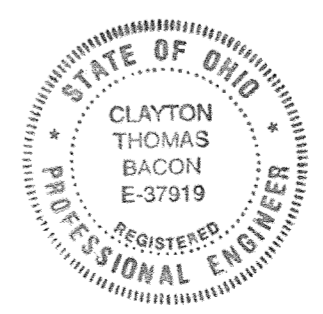
Scale: 1/8" = 1'0"

Prepared By
Bacon & Associates, L.L.C.
 4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

Dave Beach
 SE1/4, Sec. 9, T4S, R6E
 Shawnee Township, Allen County, Ohio

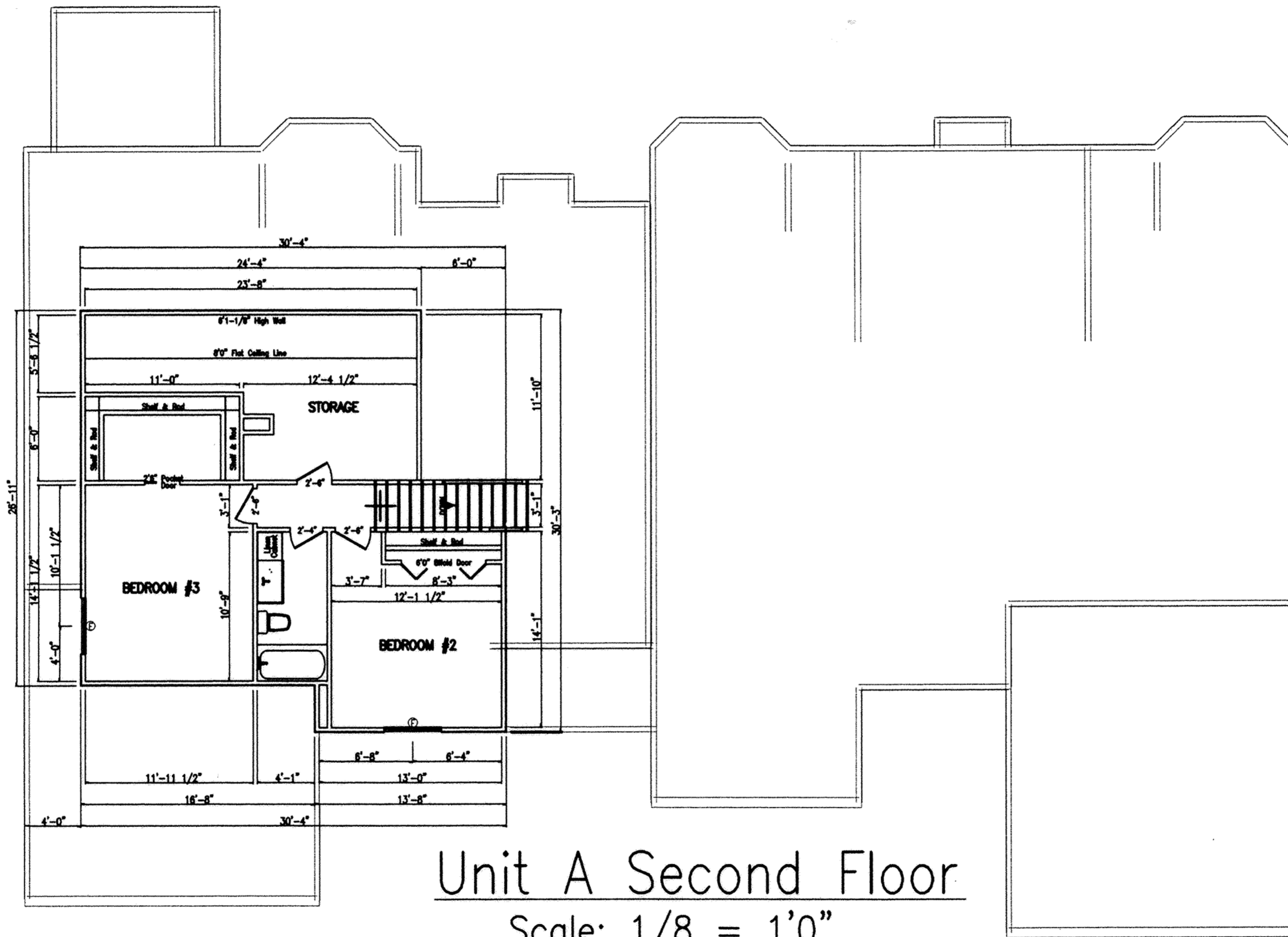
File:
 48-00

Clayton J. Bacon 11-7-00
 Clayton T. Bacon, Reg. P.E. #37919

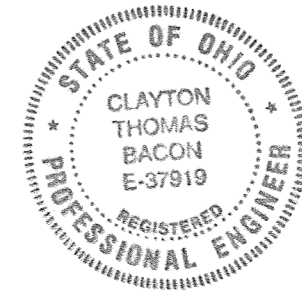



2
 7

Revisions:
 Drawn: Lumber Date:



Unit A Second Floor
Scale: 1/8" = 1'0"

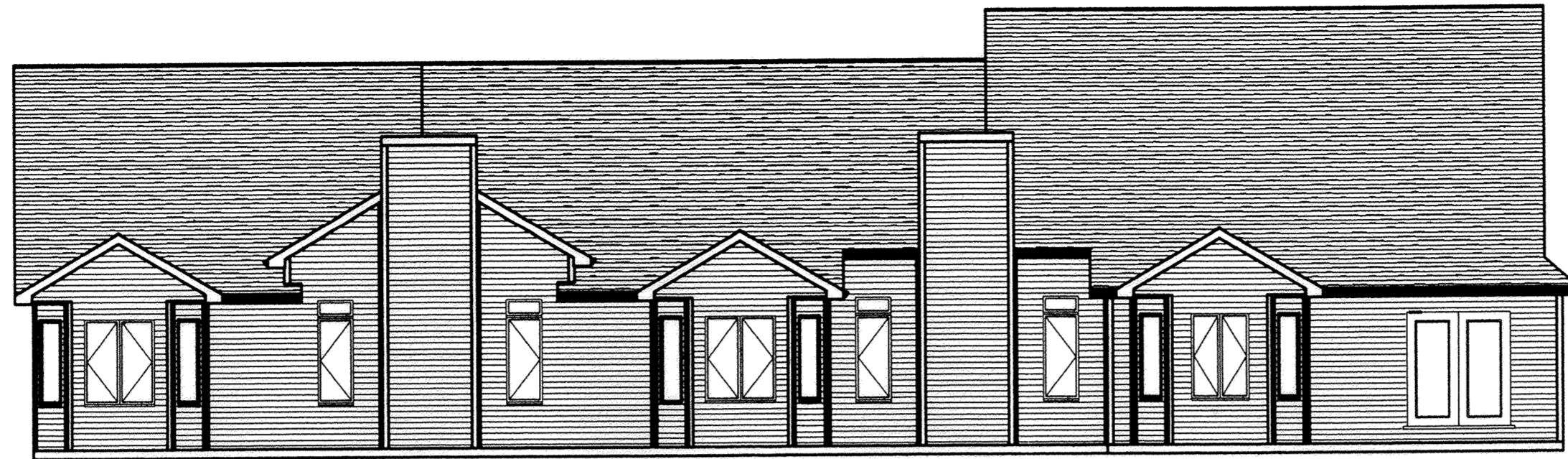
 Clayton J. Bacon 11-7-00
 Clayton T. Bacon, Reg. P.E. #37919

3
7

Prepared By
Bacon & Associates, L.L.C.
 4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

Dave Beach
 SE1/4, Sec. 9, T4S, R6E
 Shawnee Township, Allen County, Ohio

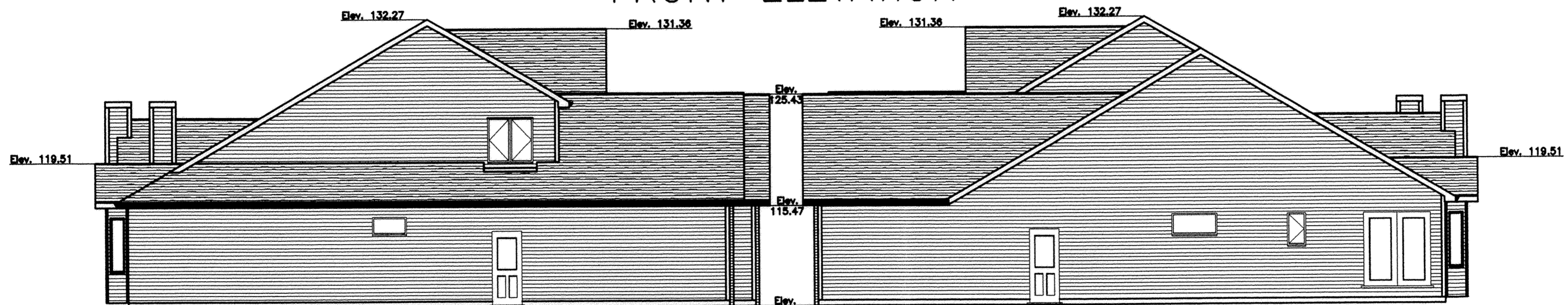
File: 48-00
 Revisions:
 Drawn: Lumber Date:



REAR ELEVATION



FRONT ELEVATION



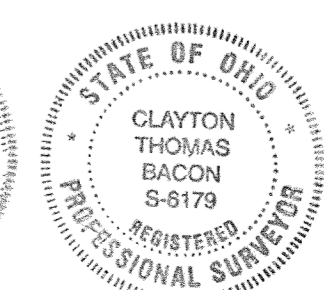
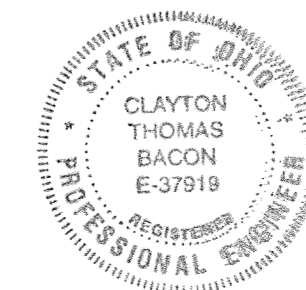
LEFT ELEVATION

RIGHT ELEVATION

Units A&B

Scale: 1/8" = 1'0"

Clayton T. Bacon
 Clayton T. Bacon, Reg. P.E. #37919 11-7-00



4
7

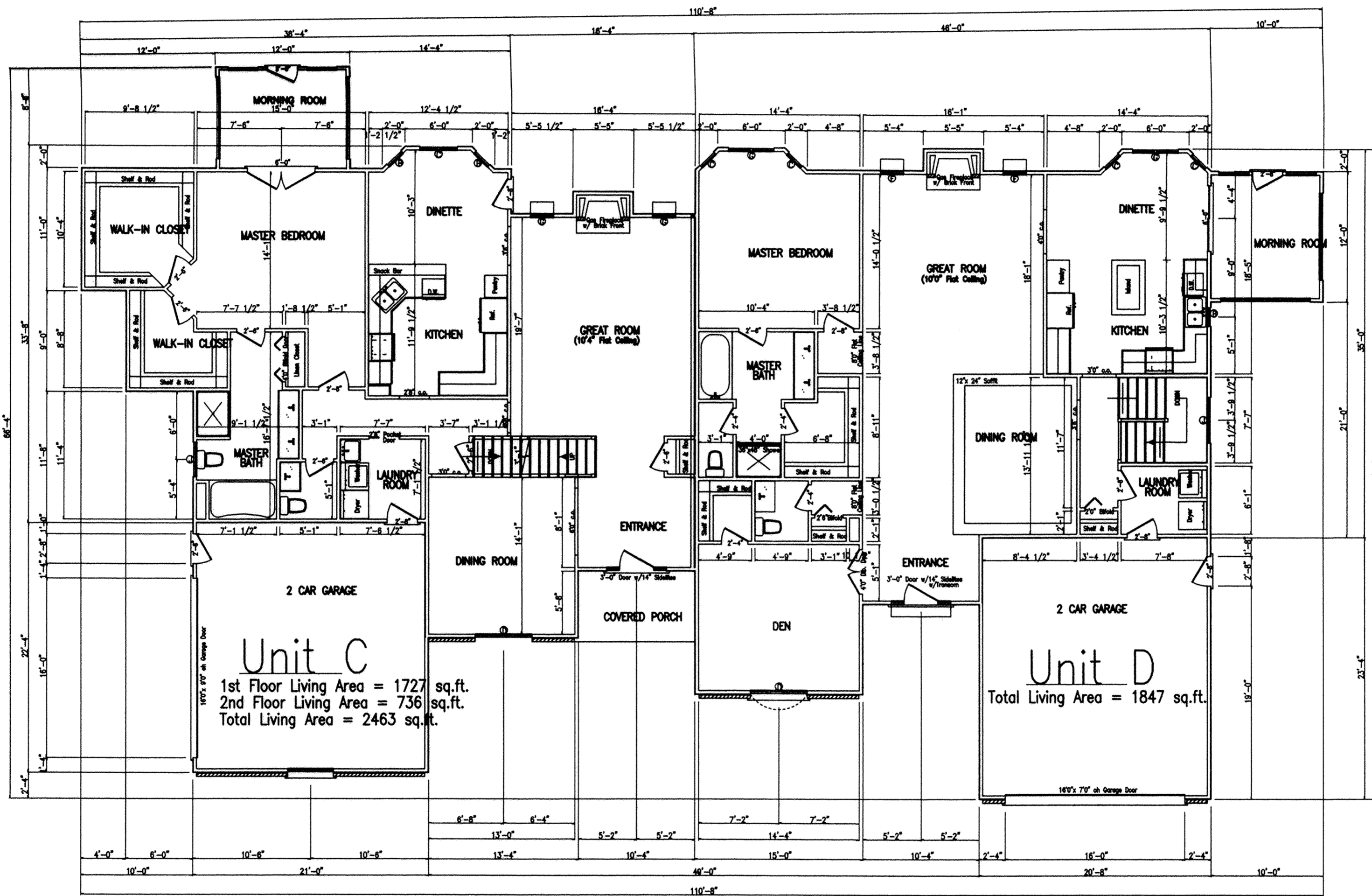
Prepared By
Bacon & Associates, L.L.C.

4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

Dave Beach
 SE1/4, Sec. 9, T4S, R6E
 Shawnee Township, Allen County, Ohio

File: 48-00

Revisions:
Drawn: Lumber Date:

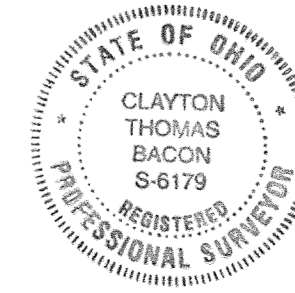
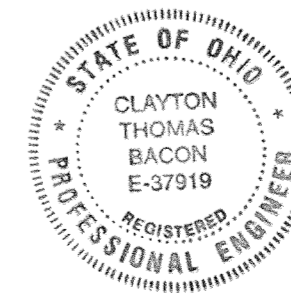


Unit C
 1st Floor Living Area = 1727 sq.ft.
 2nd Floor Living Area = 736 sq.ft.
 Total Living Area = 2463 sq.ft.

Unit D
 Total Living Area = 1847 sq.ft.

Scale: 1/8" = 1'0"

Clayton T. Bacon 11-7-00
 Clayton T. Bacon, Reg. P.E. #37919



5
7

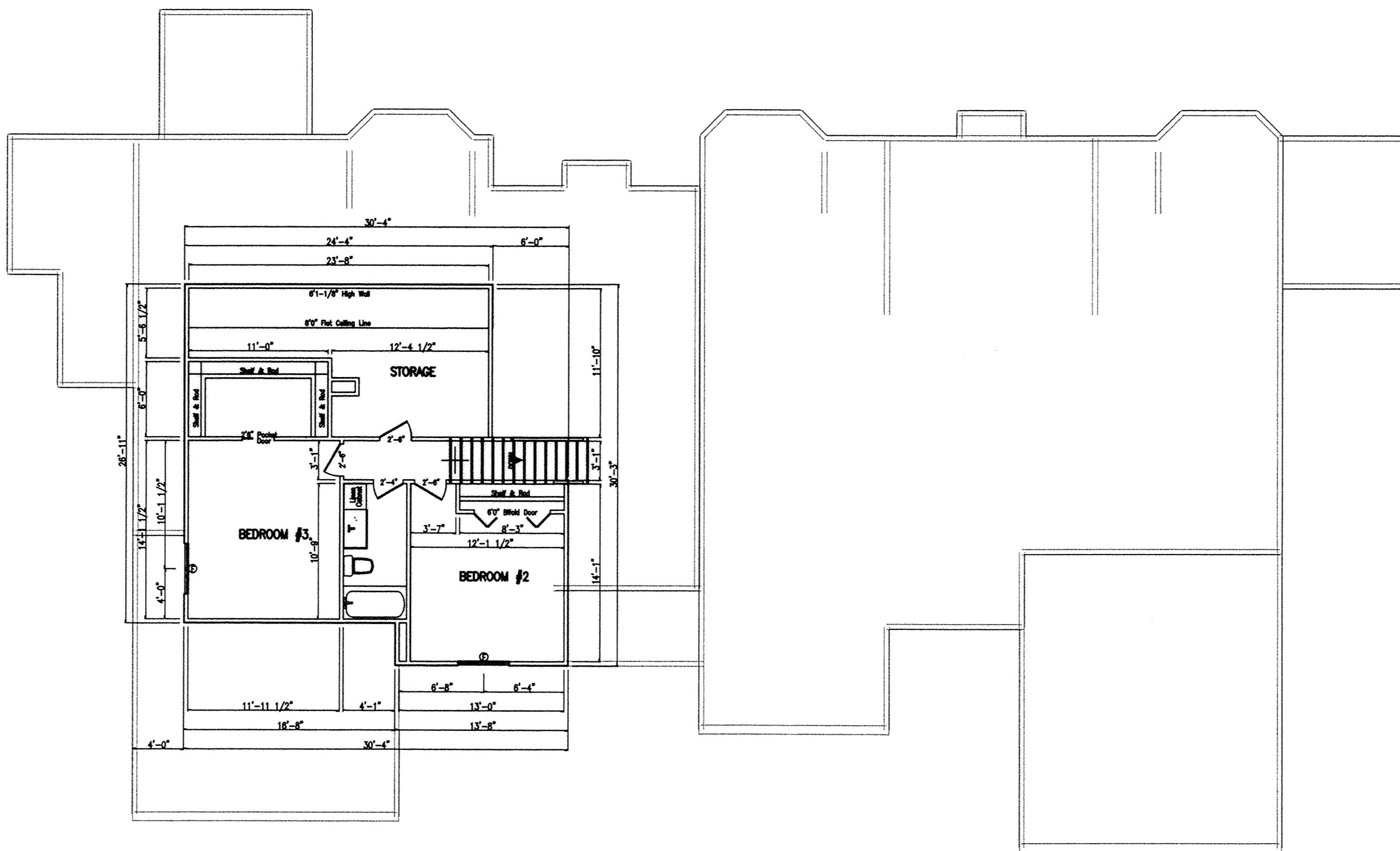
Prepared By
Bacon & Associates, L.L.C.

4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

Dave Beach
 SE1/4, Sec. 9, T4S, R6E
 Shawnee Township, Allen County, Ohio

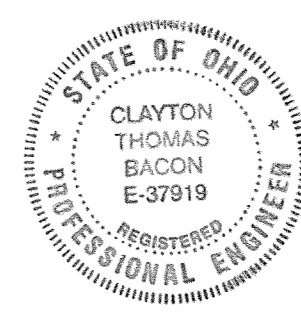
File:
 48-00

Revisions:
 Drawn: Lumber Date:



Unit C Second Floor
 Scale: 1/8" = 1'0"

Clayton J. Bacon 11-7-00
 Clayton T. Bacon, Reg. P.E. #37919



6
7

File: 48-00

Revisions:

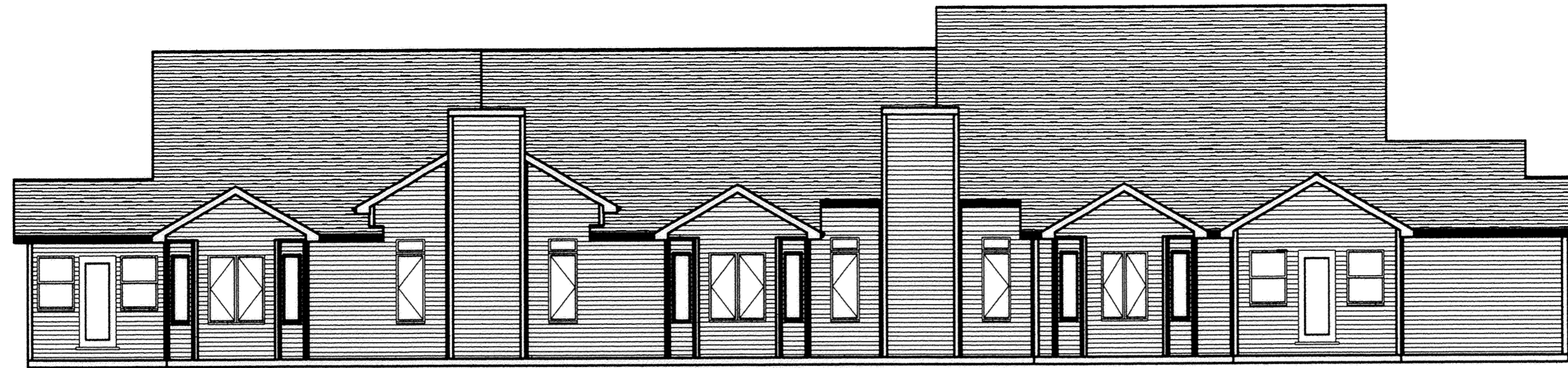
Drawn: Lumber Date:

Dave Beach
 SE1/4, Sec. 9, T4S, R6E
 Shawnee Township, Allen County, Ohio

Prepared By

Bacon & Associates, L.L.C.

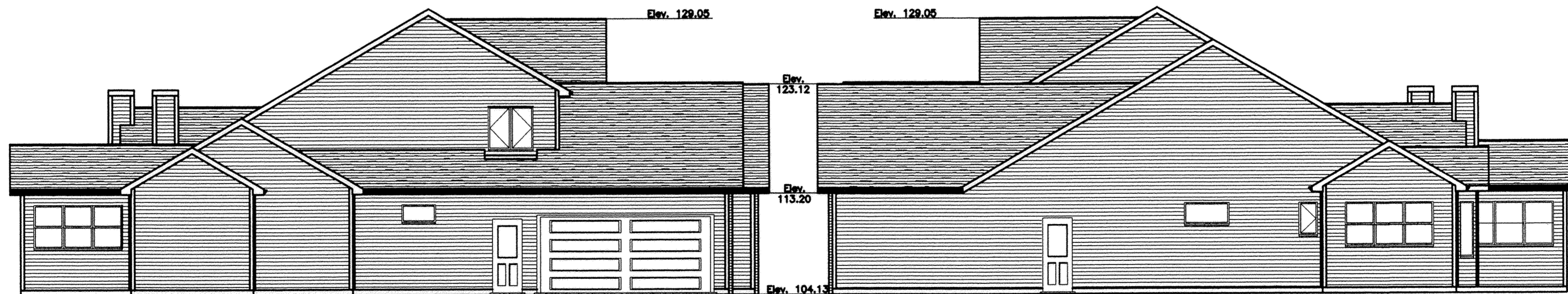
4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523



REAR ELEVATION



FRONT ELEVATION

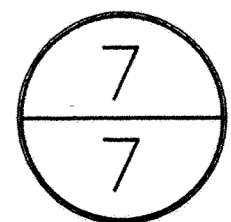
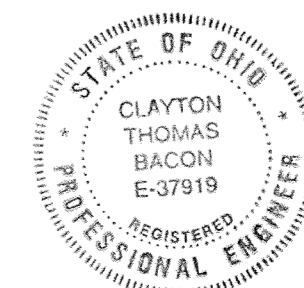


LEFT ELEVATION

RIGHT ELEVATION

Units C&D
Scale: 1/8" = 1'0"

Clayton T. Bacon 11-7-00
Clayton T. Bacon, Reg. P.E. #37919



Prepared By
Bacon & Associates, L.L.C.
4600 Kitamat Trail Lima, Ohio 45805
Office: (419) 999-3756 - Fax: (419) 999-2523

Dave Beach
SE1/4, Sec. 9, T4S, R6E
Shawnee Township, Allen County, Ohio

File:	48-00
Revisions:	
Drawn:	Lumber
Date:	

SHARON PARK BUSINESS CENTER
 IN THE S.W. 1/4 OF SECTION 34
 T 3 S - R 6 E
 AMERICAN TOWNSHIP
 ALLEN COUNTY, OHIO

TAX PARCEL # 36-3410-02-002.000 AND # 36-3410-02-001.002
 PART OF TAX PARCEL # 36-3410-02-003.000

SHARON PARK BUSINESS CENTER
 11.250 ACRES
 JOB #18700

Being Tax Parcels Number 36-3410-02-002.000, 36-3410-02-001.002 and Part of Tax Parcel Number 36-3410-02-003.000 situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and more particularly described as follows:

Commencing for reference at a chiseled "X" in the lid of a monument box found marking the northwest corner of the Southwest Quarter of Section 34 and the intersection of the legal centerline of Eastown Road with the legal centerline of Elm Street -

Thence North 89°-46'-51" East (bearing base) on and along the north line of said Southwest Quarter and the centerline of Elm Street for a distance of 1358.07 feet to a PK nail set marking the PRINCIPAL POINT OF BEGINNING for the parcel to be described herein -

Thence continuing North 89°-46'-51" East on and along said north line and said centerline for a distance of 518.20 feet to a PK nail set -

Thence South 00°-04'-27" East for a distance of 200.00 feet to a concrete monument set -

Thence North 89°-46'-51" East for a distance of 60.00 feet to a concrete monument set on the west line of Sharon Addition #1 (Plat Book 9, Page 100) -

Thence South 00°-04'-27" East for a distance of 656.90 feet to a concrete monument set -

Thence South 76°-49'-04" West for a distance of 172.96 feet to a concrete monument set -

Thence North 06°-05'-19" West for a distance of 54.61 feet to a concrete monument set -

Thence South 89°-48'-07" West for a distance of 456.50 feet to a concrete monument set -

Thence North 00°-14'-34" West for a distance of 170.42 feet to a concrete monument set -

Thence North 89°-45'-30" East for a distance of 51.29 feet to a concrete monument set -

Thence North 00°-04'-10" East for a distance of 670.77 feet to the point of beginning.

Containing in all 11.250 acres of land subject, however, to all legal easements and rights of way and of which:

9.995 acres are in Tax Parcel 36-3410-02-002.000 (Eunice M. Shock, Trustee, Vol. 691, Page 136)

1.056 acres are in Tax Parcel 36-3410-02-001.002 (Eunice M. Shock, Trustee, Vol. 864, Page 268);

0.199 acres are in Tax Parcel 36-3410-02-003.000 (Jeffrey M. Ciminillo, Vol. 864, Page 271).

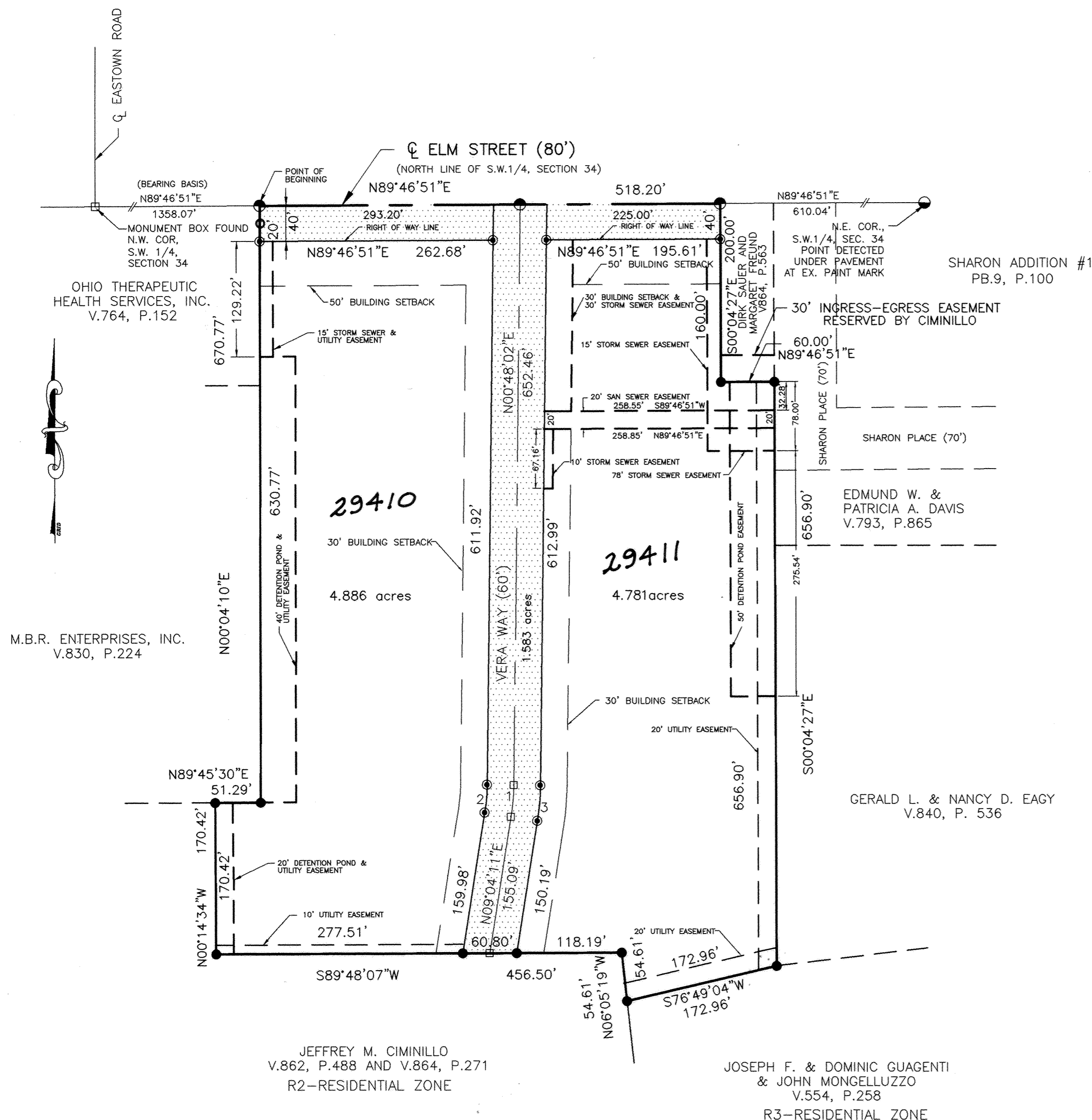
The foregoing description is based on a field survey performed in October, 1999, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

LEGEND

- BRONZE SURVEYORS MARKER (UNLESS OTHERWISE STATED)
- 5/8" IRON PIN FOUND (NO CAP)
- 5/8" IRON PIN SET & CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- CONCRETE MONUMENT SET
- PK NAIL SET
- B1-BUSINESS ZONE

DEVELOPER : JEFF CIMINILLO
 2811 KIMBERLY DRIVE
 LIMA, OHIO 45807
 TEL 419-224-1114

PREPARED BY:
 SHELDON ENGINEERING & SURVEYING
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E. & P.S.



GRAPHIC SCALE



CURVE TABLE							
STREET	CURVE	LENGTH	RADIUS	TANGENT	BEARING	CHORD	DELTA
VERA WAY	1	36.08	250.00	18.07	N04°56'06"E	36.05	08°16'09"
	2	31.75	220.00	15.90	N04°56'06"E	31.72	08°16'09"
	3	40.41	280.00	20.24	N04°56'06"E	40.38	08°16'09"

DRAINAGE MAINTENANCE ASSESSMENT

ALL FEE HOLDERS AND ALL RECEIVING TITLE TO THE FEE THROUGH THEM ARE SUBJECT TO PAYMENT OF DRAINAGE MAINTENANCE FEES ASSESSED OR TO BE ASSESSED BY THE COUNTY PURSUANT TO OHIO REVISED CODE SECTIONS 6131 AND 6137. A SPECIFIC AND DISTINCT DITCH MAINTENANCE FUND SHALL BE CREATED AS PER THE REFERENCED SECTIONS OF THE OHIO REVISED CODE FOR THIS PROJECT.

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN THEREON, COMPRISING A TOTAL OF 1.583 ACRES, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, STORM SEWER, OPEN DITCH, SANITARY SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

Sam Housley WITNESS
Jeffrey M. Ciminillo JEFFREY M. CIMINILLO
Sam Housley WITNESS
Eunice M. Shock EUNICE M. SHOCK

NOTARY PUBLIC

STATE OF OHIO
ALLEN COUNTY ss:

BE IT REMEMBERED THAT ON THIS 16th DAY OF November, 2000, PERSONALLY CAME THE SAID JEFFREY M. CIMINILLO AND EUNICE M. SHOCK, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

David E. Bennett
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO

MY COMMISSION EXPIRES: Lifetime

APPROVAL BY THE REGIONAL PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON 24 OCTOBER 2000. THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

20 Nov. 2000
DATE

John M. Meyer
DIRECTOR OF THE LIMA-ALLEN COUNTY
REGIONAL PLANNING COMMISSION

ALLEN COUNTY COMBINED HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE ALLEN COUNTY COMBINED HEALTH DISTRICT.

11/17/00
DATE

Bill Kelly
DIRECTOR, ALLEN COUNTY
COMBINED HEALTH DISTRICT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON Nov 20, 2000. FEE: \$ 1.00.

H Dean Junch
ALLEN COUNTY AUDITOR

COUNTY RECORDER 200019073

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON November 20, 2000 AND THAT IT WAS RECORDED ON November 20, 2000 IN VOL. 24, PAGE 18, PLAT RECORDS OF ALLEN COUNTY, at 10:02 o'clock am. OHIO, FEE: \$ 82.80.

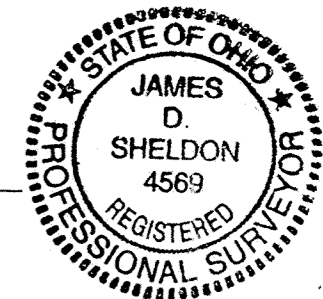
Edward P Kirk
ALLEN COUNTY RECORDER
by EM

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN OCTOBER, 1999 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

11 Sept 2000
DATE

James D. Sheldon
JAMES D. SHELDON, P.E., P.S.
OHIO REGISTERED SURVEYOR #4569



COUNTY ENGINEER'S CERTIFICATION

HAVING CHECKED THE CONSTRUCTION OF THE STREETS IN THE SUBDIVISION, I FIND THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH ON THE PLANS AND REGULATIONS THEREOF, AND THAT THEY ARE IN GOOD REPAIR AND THIS ENDORSEMENT SHALL CONSTITUTE ACCEPTANCE OF THE STREETS FOR PUBLIC USE.

IF THE STREETS HAVE NOT BEEN INSTALLED, I AM IN AGREEMENT WITH THE PERFORMANCE BOND TO ENSURE THE COMPLETION OF CONSTRUCTION WHICH HAS BEEN FILED WITH AND APPROVED BY THE PLANNING COMMISSION.

11-17-00
DATE

James L Schmenk
COUNTY ENGINEER

**PLAT OF A SURVEY
OF DEDICATOR'S LAND
SHARON PARK BUSINESS CENTER
IN THE S.W. 1/4 OF SECTION 34
T 3 S - R 6 E
AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO**

SHARON PARK BUSINESS CENTER
20.977 ACRES
JOB #18700
DEDICATORS' LAND

TAX PARCEL # 36-3410-02-002.000
TAX PARCEL # 36-3410-02-001.002
TAX PARCEL # 36-3410-02-003.000

Being Tax Parcels Number 36-3410-02-002.000, 36-3410-02-001.002 and 36-3410-02-003.000 situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and more particularly described as follows:

Commencing for reference at a chiseled "X" in the lid of a monument box found marking the northwest corner of the Southwest Quarter of Section 34 and the intersection of the legal centerline of Easttown Road with the legal centerline of Elm Street -

Thence North 89°-46'-51" East (bearing base) on and along the north line of said Southwest Quarter and the centerline of Elm Street for a distance of 1358.07 feet to a PK nail set marking the PRINCIPAL POINT OF BEGINNING for the parcel to be described herein -

Thence continuing North 89°-46'-51" East on and along said north line and said centerline for a distance of 518.20 feet to a PK nail set -

Thence South 00°-04'-27" East for a distance of 200.00 feet to a 5/8-inch iron pin set, passing at 40.00 feet a 5/8-inch iron pin set -

Thence North 89°-46'-51" East for a distance of 60.00 feet to a 5/8-inch iron pin set on the west line of Sharon Addition #1 (Plat Book 9, Page 100) -

Thence South 00°-04'-27" East for a distance of 656.90 feet to an uncapped 3/4-inch iron pipe found -

Thence South 76°-49'-04" West for a distance of 172.96 feet to an uncapped 5/8-inch iron pin found -

Thence South 06°-05'-19" East for a distance of 268.17 feet to an uncapped 5/8-inch iron pin found on the north line of Heritage No. 2 Subdivision (Plat Book 10, Page 154) -

Thence South 83°-19'-34" West on and along the north line of said Subdivision for a distance of 948.60 feet to an uncapped 5/8-inch iron pin found -

Thence North 00°-09'-37" East for a distance of 598.15 feet to a 1/2-inch iron pin with "4738/5638" found, passing at 69.38 feet an uncapped 5/8-inch iron pin found -

Thence North 89°-45'-30" East for a distance of 500.34 feet to a 5/8-inch iron pin set -

Thence North 00°-04'-10" East for a distance of 670.77 feet to the point of beginning, passing at 469.01 feet an uncapped 5/8-inch iron pin found, at 630.77 feet a 5/8-inch iron pin set, and at 650.77 feet an uncapped 5/8-inch iron pin found.

The foregoing description is based on a field survey performed in October, 1999, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569) and the tract as described contains in all 20.977 acres of land subject, however, to all legal easements and rights of way and of which:

9.995 acres are in Tax Parcel 36-3410-02-002.000 (Eunice M. Shock, Trustee, Vol. 691, Page 136);
1.056 acres are in Tax Parcel 36-3410-02-001.002 (Eunice M. Shock, Trustee, Vol. 864, Page 268); 9.926 acres are in Tax Parcel 36-3410-02-003.000 (Jeffrey M. Ciminillo, Vol. 864, Page 271).

NOTE: 1. All iron pins set are 5/8" x 30" rebar with "Sheldon E&S Lima, OH" cap.
2. 0.476 acres in Elm Street right of way.

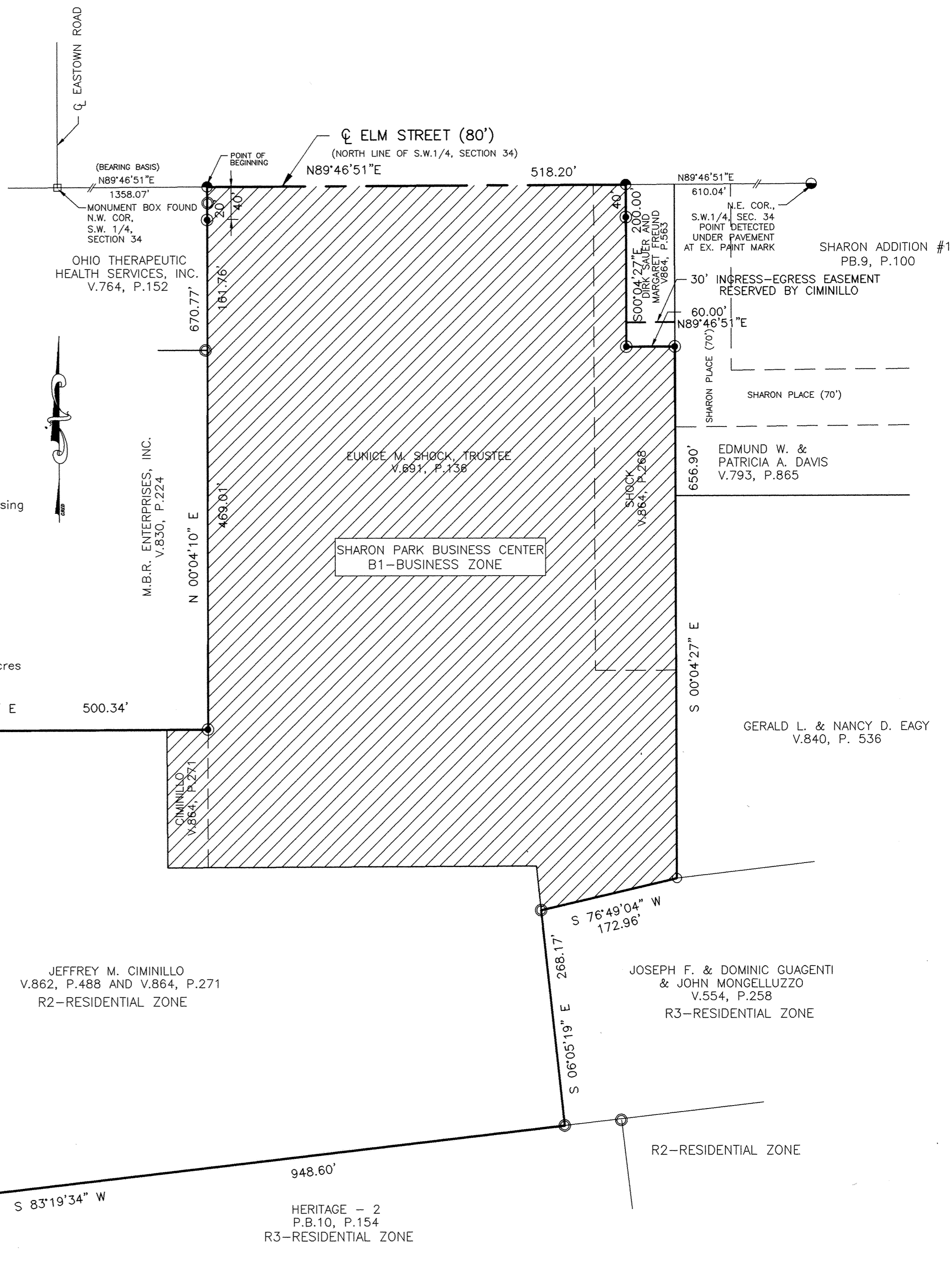
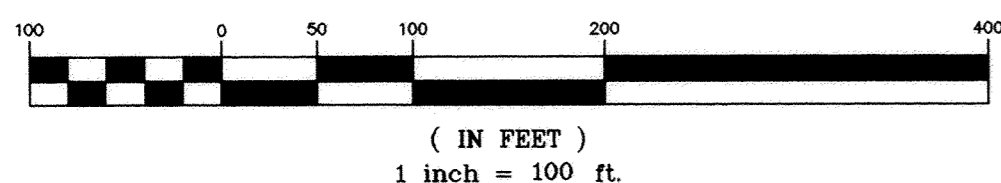
REVIEWED BY:
M. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 11/20/00

LEGEND

- 5/8" IRON PIN SET & CAPPED WITH A MARKER
STAMPED "SHELDON E & S / LIMA, OH"
- 5/8" IRON PIN FOUND (NO CAP)
- 3/4" IRON PIPE FOUND (NO CAP)
- PK NAIL FOUND
- PK NAIL SET
- 1/2" IRON PIN FOUND & CAPPED WITH A MARKER
STAMPED "4738/5646"

PREPARED BY:
SHELDON ENGINEERING & SURVEYING
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E. & P.S.

GRAPHIC SCALE



SUBDIVISION RESTRICTIONS
SHARON PARK BUSINESS CENTER

The property contained in the Sharon Park Business Center is to be made subject to the restrictions, rights, reservations, limitations, agreements, covenants, and conditions set forth below. These are being imposed to create a planned development of high quality, to assure the orderly and attractive development of the property in an efficient and harmonious manner, and to maintain a harmonious relationship among the structures and the natural vegetation and topography thereon.

These restrictions, rights, reservations, limitations, agreements, covenants, and conditions are intended to complement the American Township Zoning Ordinances and other laws and, where conflict occurs, the more rigid requirement shall prevail.

1. INTRODUCTION.

No improvement of any kind shall be constructed, erected, placed, altered, maintained or permitted to remain on any of the building sites until the plans and specifications with respect thereto showing the nature, shape, size, architectural design, material, location, and landscaping, paving plans, curbing and storm drainage have been submitted to and approved, in writing, by the Architectural Review Committee or its designee (hereafter "Committee") established hereafter.

The statement of intended use shall include all uses, presently and in the future, to which the owner or lessee will put the improvement which is submitted for approval. The drawings shall include, without limitation, plot plans showing proposed land contouring or grades, buildings, parking areas with parking stalls indicated, loading facilities, access areas, elevations, and signs. The specifications shall describe types of construction, colors and materials to be used. Approval of drawings shall be obtained from the Committee before application for a building permit is made and before plans are filed.

2. LANDSCAPING.

A) Landscaping Standards and Approval. Natural resources will be utilized within the Business Center wherever possible. Detailed landscaping plans, together with irrigation plans, must be approved by the Committee. All lots must leave a grass border of not less than seven feet (7') along any property line bordering on a road right of way. Where no platted easements interfere, trees, appropriately spaced, must be planted in the grass border.

B) Outside Storage and Equipment. Outdoor storage (i.e., materials, supplies, equipment, waste containers, etc.) shall be permitted only where screened from view by a permanent wall or other appropriate permanent screen approved by the Committee and shall be confined to approved locations. This provision shall not be applicable to the materials, equipment and supplies stored in relation to and as a part of the construction of the permanent structures upon a parcel, which materials, equipment and supplies shall be removed immediately upon completion of construction. Auto repair shops or other shops which would store automobiles or parts outside are prohibited.

C) Fences and Exterior Attachments. No fence, wall, or mass planting shall be erected or installed without the prior approval of the Committee. These, and exterior attachments and lighting, must be approved in the same manner as buildings or other improvements.

D) Lighting. All lighting, including business identification signs, must be arranged or shielded so as to avoid excessive glare reflecting onto any adjacent parcel. All lots bordering on the interior streets must have at least one (1) uniform street light located on the side of the parcel that borders on the interior street and must be within the seven-foot (7') grass border specified in Paragraph A above. The type and size of this light will be decided by the Committee.

3. YARD REQUIREMENTS.

A) Building Lines and Construction Requirements. All buildings and improvements shall be erected in conformity with the platted building lines. All unplatted parcels and future plats will conform, in general, to the building lines of parcels already platted within the properties, particularly with adjacent parcels. In any event, all front yard building setbacks shall be as platted. All interior side yard setbacks and all rear yard setbacks shall conform to American Township Zoning Regulations. Any accessory buildings and enclosures, whether attached to or detached from main building, shall be constructed of similar compatible design and materials.

B) Parking Requirements and Driveways. All parking areas shall be paved unless otherwise approved by the Committee. Off-street parking within the right of way of a dedicated street shall not be permitted. The number of parking spaces shall conform to any minimum set by American Township Zoning Regulations, or one space for every one and one-half (1-1/2) employees in the largest working shift, whichever is greater.

C) Loading Areas. All loading and unloading of vehicles shall be conducted upon the parcel and not on any right of way. No loading dock may be placed on any side of a building having street frontage. Sufficient loading and unloading places, with provisions for handling all freight regardless of method of delivery, shall be provided for each parcel and shall be located only on the sides or the back of the building. Loading docks and doors shall be screened from view by appropriate planting or screen walls which are compatible with the building design and materials.

D) Maintenance. The grounds of each parcel shall be maintained in a neat, presentable manner. It shall be the duty of the owners, lessees, sub-lessees, and/or occupants of each and every unimproved parcel with access to a road to keep the weeds and/or grass cut in their respective portions.

All owners, lessees, sub-lessees, and/or occupants shall carefully maintain their parcels and all improvements of whatever nature thereon in a safe, clean and wholesome manner and in first-class condition and repair at all times. All exterior painted surfaces shall be maintained in first-class condition. Any metal surfaces shall be kept free of rust and corrosion.

E) Refuse Removal and Storage Facilities. All trash, refuse, and waste materials shall be regularly removed from the premises of each parcel occupied and until such removal shall be stored (a) in adequate containers, which such containers shall be located so as not to be visible to the general public, and (b) so as not to constitute any health or fire hazard or nuisance to any occupant of any parcel.

F) Utilities and Services. All utilities' services from the property line to the front of any building must be underground. Exterior power equipment in front and side or rear yards must blend with other improvements.

4. SIGN REQUIREMENTS.

The Committee has control over all signage for the properties and must approve the size, location, height, letter styles, colors, lighting, and materials. Building identification signs must be located in a landscaped setting to provide the desired continuity and street scene effect. All business identification signs must not be over ten feet (10') in height and must conform to American Township Zoning Regulations for setback requirements, but in no event shall a sign be erected less than ten feet (10') from the established right of way of any street or road in the Business Center. Temporary signs will be permitted during construction or for a major activity, but must be approved by the Committee for the time of installation and the time of removal. No flashing, moving, or audible signs will be permitted.

5. BUILDING DESIGN AND MATERIALS.

A) Materials. All exterior building materials and colors must be approved by the Committee so as to be compatible with neighboring properties.

B) Standards of Harmony. The Committee will consider the following standards to be equally as important as any previous requirements:
(i) Conformity and harmony of external designs and general quality with the existing standards of the neighborhood and adjacent properties.
(ii) The use, suitability, and materials of the proposed building or improvement in relation to the parcel upon which same is proposed to be erected.
(iii) The effect such building or improvement as planned will have on the view from the adjacent neighboring properties.

6. VARIANCES.

In those instances where strict compliance with these specific standards would create an undue hardship by depriving the owner or lessee of the reasonable use of its parcel, or where unusual characteristics which affect the parcel or use in question would make strict compliance with these standards an undue hardship, the Committee shall, in its sole discretion, have the authority to grant a variance for the parcel so long as the general purpose of the standards herein are maintained. Any such variance granted from the provisions of these standards shall only be applicable to the specific parcel and conditions for which the variance was granted and shall in no respect constitute a change in or affect the terms or conditions set out in the standards as the same apply to other parcels or conditions.

7. ARCHITECTURAL REVIEW COMMITTEE.

The Architectural Review Committee initially shall be composed of Jeffrey M. Ciminillo (Developer), his successor or assignee. In the event of the resignation of the Developer, a successor shall first be appointed by him or, in the event of the death of Developer, a successor shall be appointed by Cara M. Ciminillo.

After all the lots in the Business Center are sold and transferred, Developer, his successor or assignee, will step down and relinquish all authority granted under the provisions of the Architectural Review Committee.

8. PARAGRAPH.

The paragraph headings are intended for convenience only and are not intended to be a part of these restrictions or in any way to define, limit or describe the scope or intent of the particular section to which they refer.

9. EFFECT OF INVALIDATION.

If any provision of these restrictions is held to be invalid by any court of competent jurisdiction, the invalidity of such provision shall not affect the validity of the remaining provisions hereof.

10. APPROVALS.

Any approvals required under these restrictions shall be deemed granted if not disapproved, in writing, within one (1) month after submission of a written request for approval.

11. AMENDMENTS

The restrictions, rights, reservations, limitations, agreements, covenants, and conditions herein may be amended at anytime by an affirmative vote of 75% of all lot owners in the Business Center. Each lot shall be entitled to one (1) vote and that vote cannot be split.

12. TERMS OF COVENANTS AND RESTRICTIONS.

The herein enumerated restrictions, rights, reservations, limitations, agreements, covenants, and conditions shall be deemed as covenants and shall run with the land and bind all lot owners, their successors, and their heirs, executors, administrators and assigns for a period of five (5) years and shall be automatically extended for successive periods of five (5) years unless amended or repealed by an affirmative vote of 75% of all lot owners in the Business Center. Each lot shall be entitled to one (1) vote and that vote cannot be split.

13. ROADSIDE DRAINAGE.

No owner of any lot within this Business Center shall interfere with the flow of storm runoff water through roadway drainage, swales, creeks, or drainage pipes on owner's lot. Lot owners shall install drainage-control measures as needed to ensure that the difference between pre-construction storm runoff (as computed for platting) and post-construction runoff (as computed at the time of construction) is retained on the premises during a 10-year storm peak (which for this location is twelve [12] minutes). Pro rata detention shall be computed where construction is on more than one platted lot.

14. EASEMENT/UTILITY RESTRICTION.

Easements and rights of way are reserved under, in and over lots as shown on the plat for the construction, operation and maintenance of electric power, telephone facilities, pipelines supplying natural gas, roads, drainage facilities, sanitary sewers and lift station, waterlines and cablevision. Easements shown on the plat may be used by public and private utilities as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements within the platted easements. No permanent structures or permanent plantings of trees or shrubs shall be placed on easements designated on the plat.

JEFF CIMINILLO SUBDIVISION
 IN THE S.W. 1/4 OF SECTION 34
 T 3 S - R 6 E
 AMERICAN TOWNSHIP
 ALLEN COUNTY, OHIO

PART OF TAX PARCEL # 36-3410-02-003.000

For Amendment to Restrictions
 See Deed Vol 895 Pg 82.

LEGEND

- BRONZE SURVEYORS MARKER
- 5/8" IRON PIN SET & CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- 5/8" IRON PIN FOUND & CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- CONCRETE MONUMENT SET
- CONCRETE MONUMENT FOUND
- 5/8" IRON PIN FOUND (NO CAP)

SHARON PARK BUSINESS CENTER
 B1-BUSINESS ZONE

EUNICE M. SHOCK, TRUSTEE
 V.691, P.136

JOSEPH F. & DOMINIC GUAGENTI
 & JOHN MONGELLUZZO
 V.554, P.258
 R3-RESIDENTIAL ZONE

R2-RESIDENTIAL ZONE

JEFF CIMINILLO SUBDIVISION
 9.727 ACRES
 JOB #18700

Being a part of Tax Parcel Number 36-3410-02-003.000 situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and more particularly described as follows:

BEGINNING FOR THE SAME at a concrete monument set around existing 5/8" iron pin marking the northwest corner of the Heritage No. 2 Subdivision (Plat Book 10, Page 154), also being the northwest corner of Lot Number 24551 in said Subdivision -

Thence North 00°-09'-37" East (bearing base) for a distance of 598.15 feet to a concrete monument set around existing 1/2-inch iron pin with "4738/5646" cap -

Thence North 89°-45'-30" East for a distance of 449.05 feet to a concrete monument found -

Thence South 00°-14'-34" East for a distance of 170.42 feet to a concrete monument found -

Thence North 89°-48'-07" East for a distance of 456.50 feet to a concrete monument found, passing at 50.36 feet a 5/8-inch iron pin with "Sheldon E&S/ Lima, OH" cap found and passing at 277.51 feet and at 338.31 feet concrete monuments set -

Thence South 06°-05'-19" East for a distance of 322.78 feet to a concrete monument set on the north line of said Heritage No. 2 Subdivision, passing at 54.61 feet a concrete monument found -

Thence South 83°-19'-34" West on and along the north line of said Subdivision for a distance of 948.60 feet to the point of beginning, passing at 757.74 feet and at 807.74 feet concrete monuments set.

Containing in all 9.727 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on a field survey performed in October, 1999, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

DEVELOPER : JEFF CIMINILLO
 2811 KIMBERLY DRIVE
 LIMA, OHIO 45807
 TEL 419-224-1114

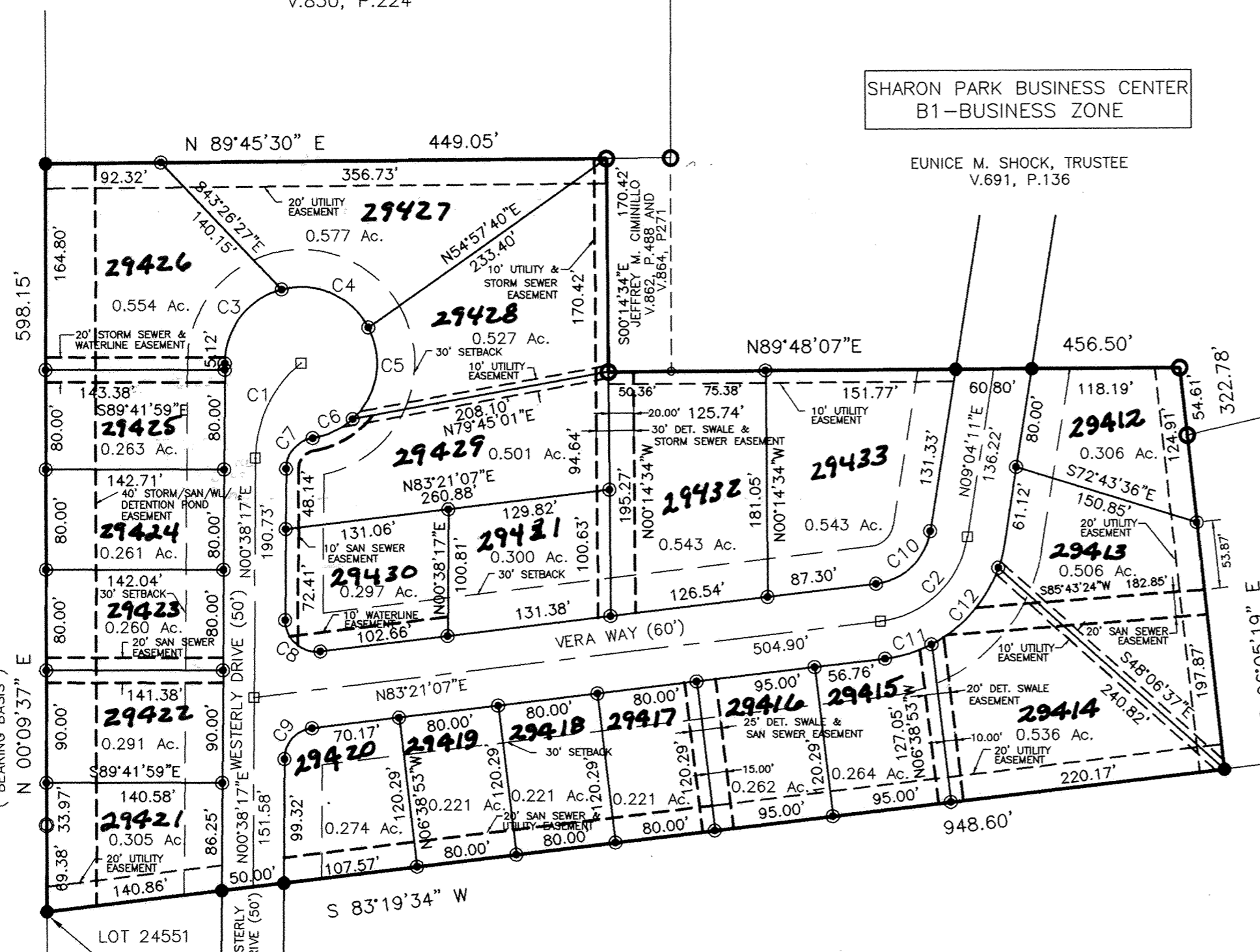
PREPARED BY:
 SHELDON ENGINEERING & SURVEYING
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E. & P.S.

R2-RESIDENTIAL ZONE

M.B.R. ENTERPRISES, INC.
 V.830, P.224

FRANCES L. LARSSCHIED
 V.448, P.727

(BEARING BASIS)
 N 00°09'37" E



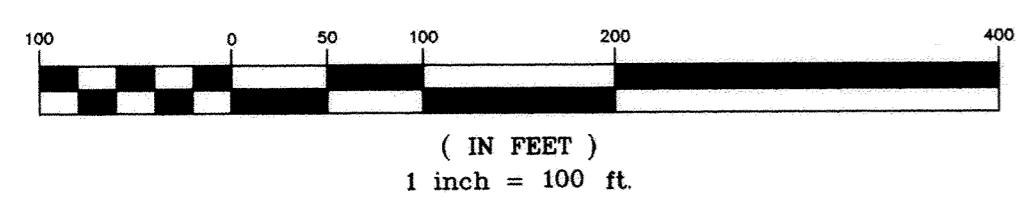
HERITAGE - 2
 P.B.10, P.154
 R3-RESIDENTIAL ZONE

POINT OF BEGINNING
 N.W. CORNER OF LOT 24551
 HERITAGE - 2 SUBDIVISION

CURVE TABLE

STREET	CURVE	LENGTH	RADIUS	TANGENT	BEARING	CHORD	DELTA
WESTERLY DR.	C1	87.36	99.36	46.73	S 25°49'40" W	84.57	50°22'46"
VERA WAY	C2	84.57	80.00	46.72	N 39°21'21" E	80.69	60°34'20"
	C3	80.42	61.00	47.26	S 37°45'58" W	74.72	75°31'57"
	C4	81.76	61.00	48.34	N 66°04'15" W	75.77	76°47'36"
	C5	80.24	61.00	47.12	N 10°00'38" E	74.58	75°22'10"
	C6	36.03	61.00	18.56	N 64°37'02" E	35.51	33°50'38"
	C7	35.30	25.00	21.31	S 41°05'19" W	32.44	80°54'04"
	C8	42.45	25.00	28.40	S 48°00'18" E	37.53	97°17'10"
	C9	36.09	25.00	22.01	S 41°59'42" W	33.04	82°42'50"
	C10	64.82	50.00	37.87	N 46°12'39" E	60.38	74°16'56"
	C11	39.06	110.00	19.74	N 73°10'49" E	38.85	20°20'37"
	C12	82.95	110.00	43.56	N 41°24'23" E	80.99	43°12'15"

GRAPHIC SCALE



DRAINAGE MAINTENANCE ASSESSMENT

ALL FEE HOLDERS AND ALL RECEIVING TITLE TO THE FEE THROUGH THEM ARE SUBJECT TO PAYMENT OF DRAINAGE MAINTENANCE FEES ASSESSED OR TO BE ASSESSED BY THE COUNTY PURSUANT TO OHIO REVISED CODE SECTIONS 6131 AND 6137. A SPECIFIC AND DISTINCT DITCH MAINTENANCE FUND SHALL BE CREATED AS PER THE REFERENCED SECTIONS OF THE OHIO REVISED CODE FOR THIS PROJECT.

OWNERS' DEDICATION AND ACKNOWLEDGMENT

I, THE UNDERSIGNED, BEING THE OWNER OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN THEREON, COMPRISING A TOTAL OF 1.695 ACRES, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, STORM SEWER, OPEN DITCH, SANITARY SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

[Signatures]
WITNESS
WITNESS
JEFFREY M. CIMINILLO

NOTARY PUBLIC

STATE OF OHIO
ss:
ALLEN COUNTY

BE IT REMEMBERED THAT ON THIS 16th DAY OF Nov., 2000, PERSONALLY CAME THE SAID JEFFREY M. CIMINILLO, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE HIS VOLUNTARY ACT AND DEED.

[Signature]
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO

SHIRLEY SHELTON DAVIS
Notary Public, State of Ohio
My Commission Expires Sept. 19, 2001

MY COMMISSION EXPIRES: 9/19/01

APPROVAL BY THE REGIONAL PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON 24 OCTOBER 2000. THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

20 NOV. 2000
DATE

[Signature]
DIRECTOR OF THE LIMA-ALLEN COUNTY
REGIONAL PLANNING COMMISSION

ALLEN COUNTY COMBINED HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE ALLEN COUNTY COMBINED HEALTH DISTRICT.

11/17/00
DATE

[Signature]
DIRECTOR, ALLEN COUNTY
COMBINED HEALTH DISTRICT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON Nov 20, 2000. FEE: \$ 11.00.

[Signature]
ALLEN COUNTY AUDITOR

COUNTY RECORDER 2000 19074

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON November 20, 2000 AND THAT IT WAS RECORDED ON November 20, 2000 IN VOL. 24, PAGE 22 PLAT RECORDS OF ALLEN COUNTY, OHIO, FEE: \$ 82.80 at 10:03 o'clock am

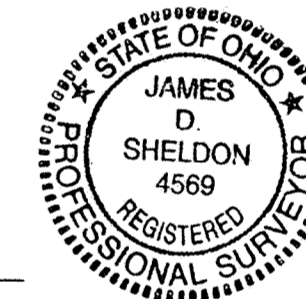
[Signature]
ALLEN COUNTY RECORDER

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN OCTOBER, 1999 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

11 Sept 2000
DATE

[Signature]
JAMES D. SHELDON, P.E., P.S.
OHIO REGISTERED SURVEYOR #4569



COUNTY ENGINEER'S CERTIFICATION

HAVING CHECKED THE CONSTRUCTION OF THE STREETS IN THE SUBDIVISION, I FIND THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH ON THE PLANS AND REGULATIONS THEREOF, AND THAT THEY ARE IN GOOD REPAIR AND THIS ENDORSEMENT SHALL CONSTITUTE ACCEPTANCE OF THE STREETS FOR PUBLIC USE.

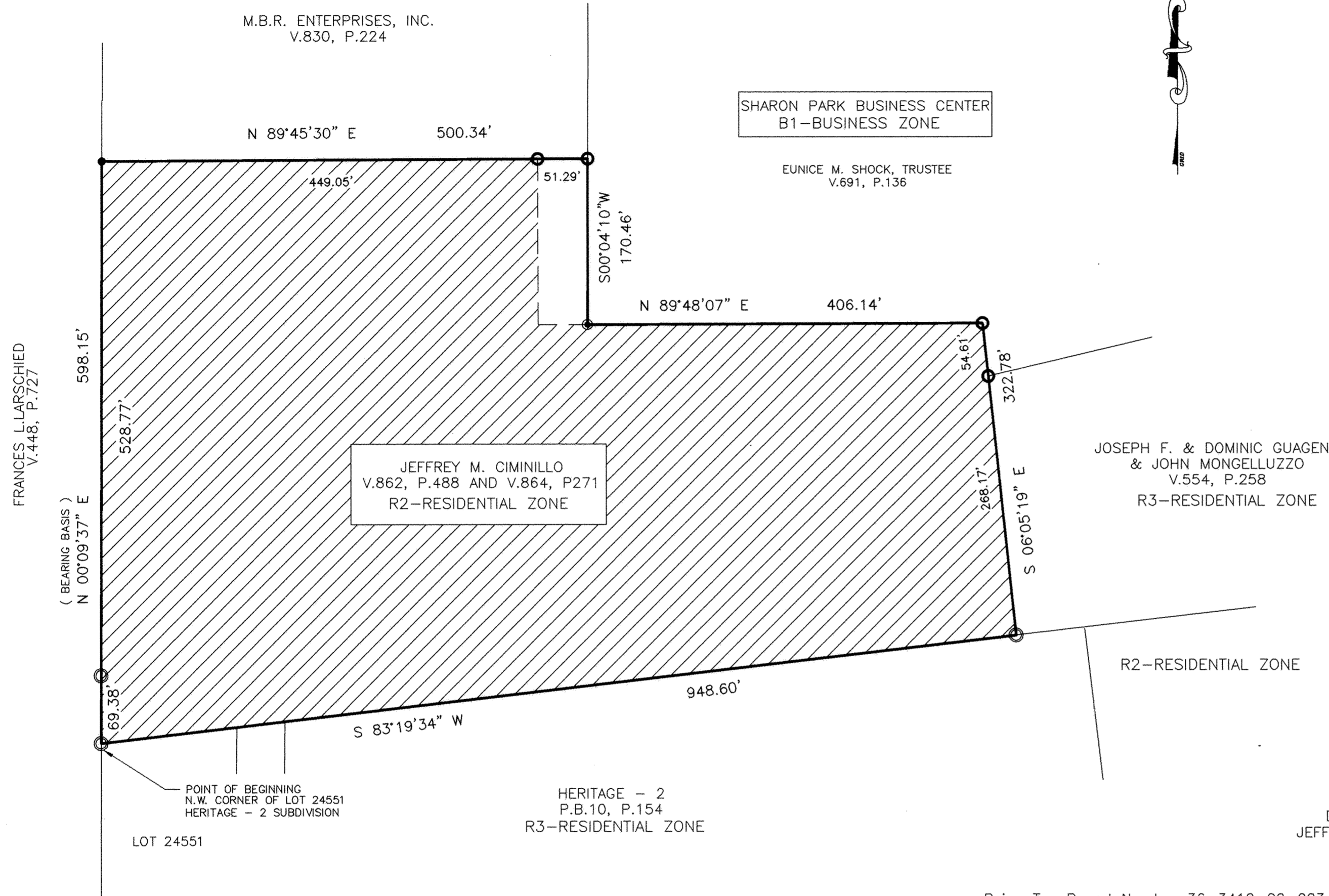
IF THE STREETS HAVE NOT BEEN INSTALLED, I AM IN AGREEMENT WITH THE PERFORMANCE BOND TO ENSURE THE COMPLETION OF CONSTRUCTION WHICH HAS BEEN FILED WITH AND APPROVED BY THE PLANNING COMMISSION.

11-17-00
DATE

[Signature]
COUNTY ENGINEER

PLAT OF A SURVEY
 OF DEDICATOR'S LAND
 JEFF CIMINILLO SUBDIVISION
 IN THE S.W. 1/4 OF SECTION 34
 T 3 S - R 6 E
 AMERICAN TOWNSHIP
 ALLEN COUNTY, OHIO

TAX PARCEL # 36-3410-02-003.000



LEGEND

- CONCRETE MONUMENT FOUND
- 5/8" IRON PIN FOUND (NO CAP)
- 5/8" IRON PIN FOUND & CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- 1/2" IRON PIN FOUND & CAPPED WITH A MARKER STAMPED "4738/5646"

DEDICATOR'S LAND
 JEFF CIMINILLO SUBDIVISION
 9.926 ACRES
 JOB #18700

Being Tax Parcel Number 36-3410-02-003.000 situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and more particularly described as follows:

BEGINNING FOR THE SAME at an uncapped 5/8-inch iron pin found marking the northwest corner of the Heritage No. 2 Subdivision (Plat Book 10, Page 154), also being the northwest corner of Lot Number 24551 in said Subdivision -

Thence North 00°-09'-37" East (bearing base) for a distance of 598.15 feet to a 1/2-inch iron pin with "4738/5646" capfound, passing at 69.38 feet an uncapped 5/8-inch iron pin found -

Thence North 89°-45'-30" East for a distance of 500.34 feet to a concrete monument found, passing at 449.05 feet a concrete monument found -

Thence South 00°-04'-10" West for a distance of 170.46 feet to a 5/8-inch iron pin with "Sheldon E&S" cap found -

Thence North 89°-48'-07" East for a distance of 406.14 feet to a concrete monument found -

Thence South 06°-05'-19" East for a distance of 322.78 feet to an uncapped 5/8-inch iron pin found on the north line of said Heritage No. 2 Subdivision, passing at 54.61 feet a concrete monument found -

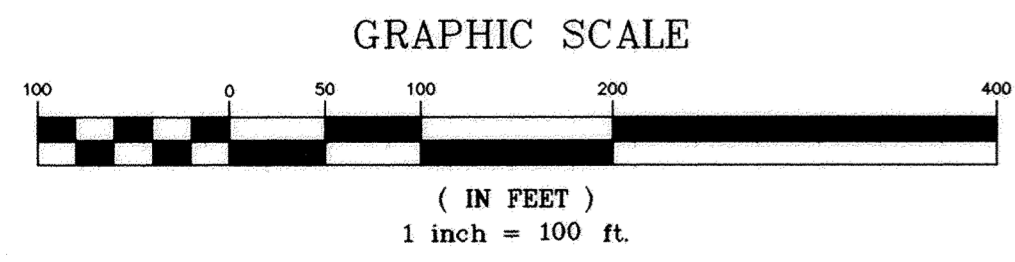
Thence South 83°-19'-34" West on and along the north line of said Subdivision for a distance of 948.60 feet to the point of beginning.

Containing in all 9.926 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on a field survey performed in October, 1999, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 11/20/00

PREPARED BY:
 SHELDON ENGINEERING & SURVEYING
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E. & P.S.



**RESTRICTIONS
JEFF CIMINILLO SUBDIVISION**

These restrictions, rights, reservations, limitations, agreements, covenants, and conditions are intended to complement the American Township Zoning Ordinances and other laws and, where conflict occurs, the more rigid requirement shall prevail.

1. Lots shall be used and occupied solely and exclusively for private residential purposes and shall not be used for any trade, business or industrial purposes, except for home workshops and home greenhouses incidental to the residential use.
2. No residential single-family dwelling in this Subdivision shall exceed 2-1/2 stories in height in conformance with American Township Zoning Ordinances. No residential single-family dwelling shall be erected which has a habitable floor area, exclusive of basements, open porches, verandahs and garages, of less than 1300 square feet. If such residential dwelling exceeds 1-1/2 stories in height, the habitable floor area shall contain no less than 1600 square feet.
No residential 2-unit multi-family dwelling in this Subdivision shall exceed 2-1/2 stories in height in conformance with American Township Zoning Ordinances. No residential 2-unit multi-family dwelling shall be erected which has a habitable floor area, exclusive of basements, open porches, verandahs and garages, of less than 1000 square feet per unit; any deviation from this square-footage requirement must have the written approval of the Architectural Committee. If such multi-family dwelling exceeds 1-1/2 stories in height, the habitable floor area shall contain no less than 1300 square feet per unit.
3. No structure other than a residential unit not to exceed 2-1/2 stories in height with a minimum of a two-car garage shall be erected, maintained or permitted to remain on the premises. No old buildings or structures shall be moved onto any of the building lots in said Subdivision either temporarily or permanently and no structure of a temporary character, trailer, recreational vehicle, basement, tent, shack, garage or other outbuilding shall be used on any lot at any time as a residence, either temporarily or permanently. The residential unit, including installation of lawn, must be completed within a nine-month period from the start of construction.
4. Out buildings, such as storage sheds or barns, home workshops, and greenhouses, shall be no larger than 10' x 16' or no more than 160 square feet and shall conform in style and architecture to the appearance of the residence.
5. No building shall be erected, placed, or altered on any lot in this Subdivision until construction plans and specifications and a plot plan showing the location of the structure shall have been approved in writing by the Architectural Committee as to construction materials and harmony of exterior design with the existing structures and as to location with respect to topographic and finish grade elevation.
6. The top of the house foundation shall be three (3) feet higher than the elevation of the top of the curb at the midpoint of the lot on which the house is to be built. All foundations shall be of poured concrete. Any deviation from this requirement must have the written approval of the Architectural Committee.
7. All driveways shall be constructed of concrete. Any alternate surface must have the prior written approval of the Architectural Committee.
8. Only open-type fences or hedges not to exceed four (4) feet in height above ground level shall be erected or planted on said lots and shall not extend closer to the street than the front of the house. A privacy fence of wood construction with a maximum height of six (6) feet may be used around a pool or patio area.
9. No animals, livestock or poultry shall be kept or maintained on any part of this Subdivision, except that ordinary household pets may be kept provided they are not kept, bred or maintained for any commercial purpose and do not constitute an annoyance or nuisance.
10. No nuisance, advertising signs, billboards and/or other advertising devices, except such as pertain to the sale of land upon which said sign is located, shall be permitted on said lots, nor shall said lots be used in any way which may endanger the health or unreasonably distract the quiet of other occupants of the Subdivision. Without limiting any of the foregoing, no loudspeakers, horns, whistles, bells or other sound-producing devices, except security devices used exclusively for security purposes, shall be located or used on the exterior of any building on any lot, nor shall exterior lights be installed or used, the principal beam of which would shine onto adjoining lots.
11. No intoxicating beverages or habit-producing drugs shall be manufactured or sold nor shall commercial gambling be permitted in said subdivision.
12. Nothing shall be permitted on said lots which may be or may become an annoyance or nuisance to the neighborhood.
13. There shall be no satellite dishes placed in the Subdivision.
14. All utility services to structures must be underground.
15. The Architectural Review Committee initially shall be composed of Jeffrey M. Ciminillo (Developer), his successor or assignee. In the event of the resignation of the Developer, a successor shall first be appointed by him or, in the event of the death of Developer, a successor shall be appointed by Cara M. Ciminillo. After all the lots in the Subdivision are sold and transferred, Developer, his successor or assignee, will step down and relinquish all authority granted under the provisions of the Architectural Review Committee.
16. When approval of the Architectural Committee is required, application shall be made in writing to the Committee by the lot owner(s) requesting the necessary approval. Application shall be deemed to be filed when it has been delivered to a Committee member and receipt obtained indicating proof of delivery. Sufficient information shall be provided to the Committee to enable it to make a proper decision on the matter. The Committee shall either approve or disapprove the application in writing on or before ten (10) days from the date that the application and all necessary information to make a decision is filed with the Committee. The ten (10)-day period may be extended by the Committee for good cause related to the decision-making process for the application.
17. Easements shown on this plat are for the construction, operation, maintenance, repair, replacement or removal of all utilities, public and private, including, but not limited to, water, storm sewer, open ditch, sanitary sewer, gas, electric, telephone or other utility lines or services, and for the express privilege of removing any trees or other obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes, and are to be maintained as such forever. Easements shown on this plat may be used by public and private utilities as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements located within the platted easements. No permanent structures or permanent plantings of trees or shrubs shall be placed on easements designated on plat.
18. No owner of any lot within this Subdivision shall interfere with the flow of storm runoff water through roadway drainage, swales, creeks, or drainage pipes on owner's lot. Lot owners shall install drainage-control measures as needed to ensure that the difference between pre-construction storm runoff (as computed for platting) and post-construction runoff (as computed at the time of construction) is retained on the premises during a 10-year storm peak (which for this location is twelve [12] minutes). Pro rata detention shall be computed where construction is on more than one platted lot.
19. Enforcement of the within conditions or restrictions shall be by proceedings at law in equity against any person or persons violating or attempting to violate the same, either to restrain violation or to recover damages.
20. Invalidation of any of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.
21. These covenants, restrictions, and limitations shall be binding on all parties hereto and on all owners of lots in said Subdivision for a period of twenty-five (25) years from the date of recording, after which time such covenants, restrictions, and limitations shall automatically extend for successive periods of ten (10) years each.
22. The foregoing reservations, restrictions, conditions, covenants, obligations and charges may be changed, modified, altered, amended or annulled at any time upon the action, in writing, of the owners of a three-fourths majority of the lots.

SONGBIRD SOUTH JUNEAU VILLAS CONDOMINIUMS
LOTS NUMBER 28041 & 28042
IN AMERICAN VILLAGE #3
PLAT BOOK 15 PAGE 143
IN THE N.W. 1/4 OF SECTION 23
T 3 S - R 6 E
AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO

BBA BUILDERS, INC.
VOL. 868 PAGE 415
VOL. 868 PAGE 419
TAX PARCEL #36-2307-03-015.000
2060-2070-2080 JUNEAU DRIVE

SONGBIRD SOUTH JUNEAU VILLAS CONDOMINIUMS
0.588 ACRES
DESCRIPTION

Being Lots Number 28041 and 28042 (Tax Parcel Number 36-2307-03-015.000) in American Village Section No. 3 (Plat Book 15, Page 143) situated in the Northwest Quarter of Section 23, Township 3 South, Range 6 East, American Township, Allen County, Ohio, granted to BBA Builders, Inc. by Warranty Deeds recorded in Volume 868, Pages 415 and 419, of the deed records of Allen County and more particularly described as follows:

BEGINNING FOR THE SAME at an uncapped 5/8-inch iron pin found on the east line of Juneau Drive marking the northwest corner of Lot 28041 in said American Village Section No. 3 -

Thence **South 60°-58'-02" East (bearing base)** on and along the north line of said Lot 28041 for a distance of 147.23 feet to a 5/8-inch iron pin set on the west line of American Village Section No. 5B (Plat Book 23, Page 71) marking the northeast corner of said Lot -

Thence **South 06°-59'-59" West** on and along the east line of Lots 28041 and 28042 for a distance of 102.00 feet to an uncapped 5/8-inch iron pin found, passing at 16.00 feet a 3/4-inch iron pipe with "K&K/Lima, OH" plug found and at 62.00 feet a 5/8-inch iron pin set -

Thence **South 18°-00'-00" West** for a distance of 25.00 feet to a 5/8-inch iron pin set marking the southeast corner of Lot 28042 -

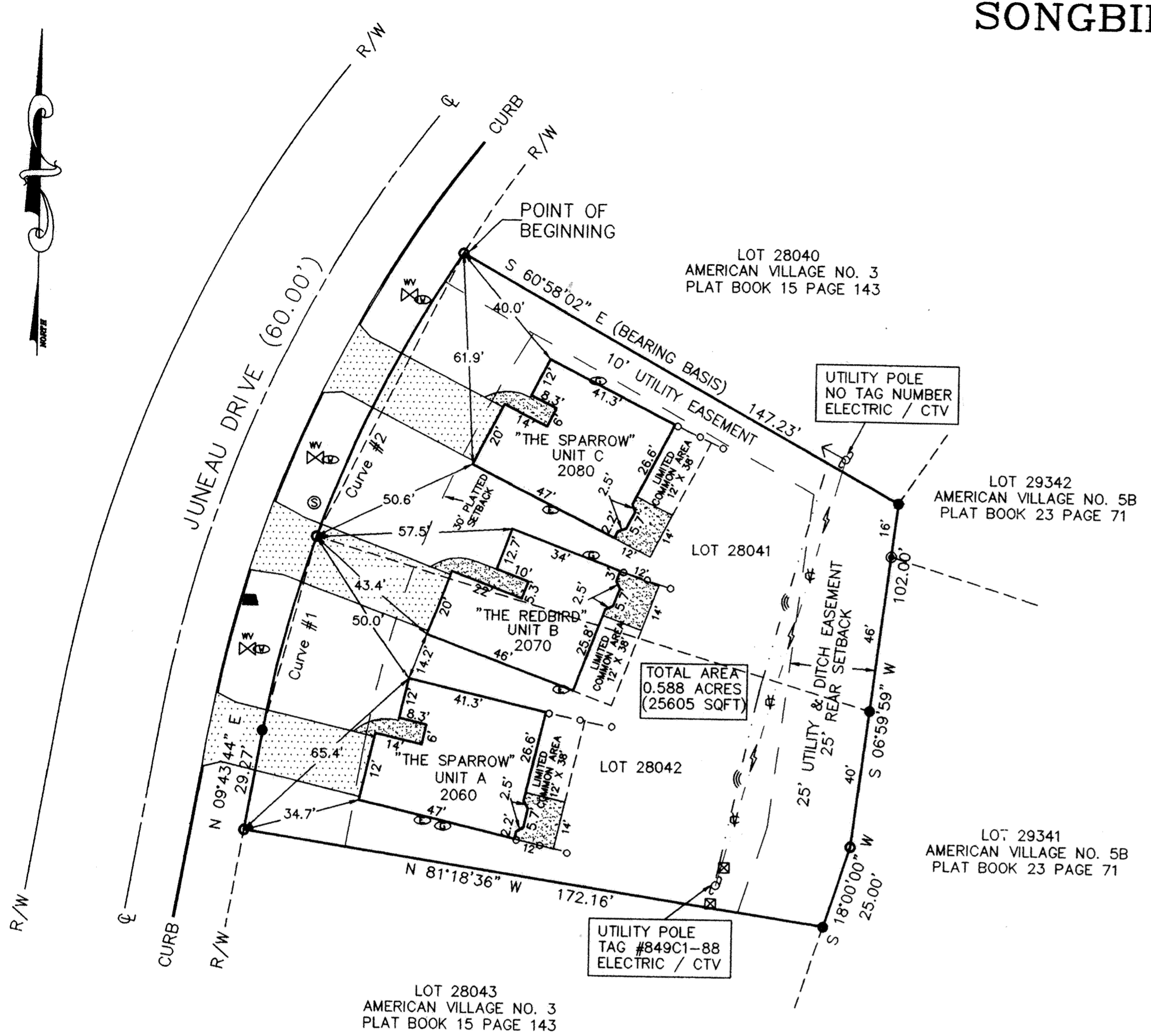
Thence **North 81°-18'-36" West** on and along the south line of said Lot 28042 for a distance of 172.16 feet to an uncapped 5/8-inch iron pin found on the east line of Juneau Drive marking the southwest corner of said Lot -

Thence on and along the east line of Juneau Drive with the following three courses:

- 1) North 09°-43'-44" East for a distance of 29.27 feet to a 5/8-inch iron pin set -
- 2) On and along a curve to the right having a radius of 364.36 feet, an arc length of 59.62 feet and a chord bearing North 14°-25'-00" East for a distance of 59.55 feet to an uncapped 5/8-inch iron pin found marking the northwest corner of Lot 28041 -
- 3) On and along a curve to the right having a radius of 364.36 feet, an arc length of 94.04 feet and a chord bearing North 26°-29'-51" East for a distance of 93.78 feet to the **place of beginning**.

The foregoing description is based on a field survey completed October 27, 2000, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569) and the tract as described contains in **all 25,605 square feet or 0.588 acres of land** subject, however, to all legal easements and rights of way.

NOTE: All iron pins set are 5/8" x 30" rebar with yellow "She'don E&S Lima, OH" cap.



TOTAL AREA
0.588 ACRES
(25605 SQFT)

CURVE	ARC LENGTH	CHORD LENGTH	CHORD BEARING	RADIUS
1	59.62'	59.55'	N 14°25'00" E	364.36'
2	94.04'	93.78'	N 26°29'51" E	364.36'

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.

LEGEND

- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- ⊙ 3/4" IRON PIPE PLUGGED WITH A MARKER STAMPED "K & K / LIMA, OH" FOUND
- 5/8" IRON PIN FOUND (NOT CAPPED)
- ⊕ GAS METER
- ⊙ SANITARY MANHOLE
- WOOD FENCE
- COMMON MAILBOX
- ⊕ ELECTRIC METER
- ▨ CONCRETE SURFACE
- ⊕ WATER METER
- ⊕ UTILITY POLE
- GUY WIRE
- INDICATES OVERHEAD ELECTRIC LINES
- INDICATES BURIED TELEPHONE LINES
- INDICATES OVERHEAD CABLE LINES
- ⊕ TELEPHONE PEDESTAL
- ⊕ WATER VALVE
- ▨ ASPHALT SURFACE

200019285
 Filed and Recorded
 November 22, 2000 at
 10:54 o'clock am in Plat
 Book 24 Page 26
 Edward P Kirk Recorder
 Allen Co. Ohio Fee \$ 82.80 paid

See deed VOL 876
 Pg. 88.

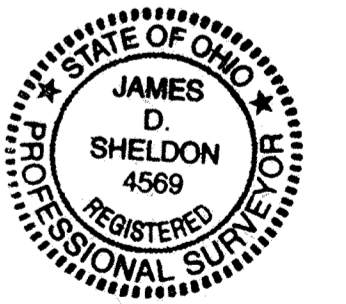
THE SIDEYARD SETBACK FOR R2 ZONING MUST BE A COMBINED TOTAL OF AT LEAST 15' WITH A MINIMUM OF 7' ON ONE OF THE SIDES. THE EXISTING STRUCTURES ARE FOUND TO HAVE 10.60' SETBACK ON THE SOUTH SIDE AND 12.48' OF SETBACK ON THE NORTH SIDE.

PREPARED BY:
 SHELDON ENGINEERING & SURVEYING, INC.
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E., P.S.

THIS PLAT REPRESENTS AN ACTUAL SURVEY COMPLETED ON FRIDAY OCTOBER 27, 2000. REFERENCES INCLUDE TAX MAPS, DEEDS OFFICE RECORDS AND FLOOR LAYOUTS PROVIDED BY A. & A. ENTERPRISES

Date: 8 Nov 2000

James D. Sheldon
 James D. Sheldon, P.E., P.S.
 Registered Surveyor # 4569



SHELDON ENGINEERING & SURVEYING, INC.



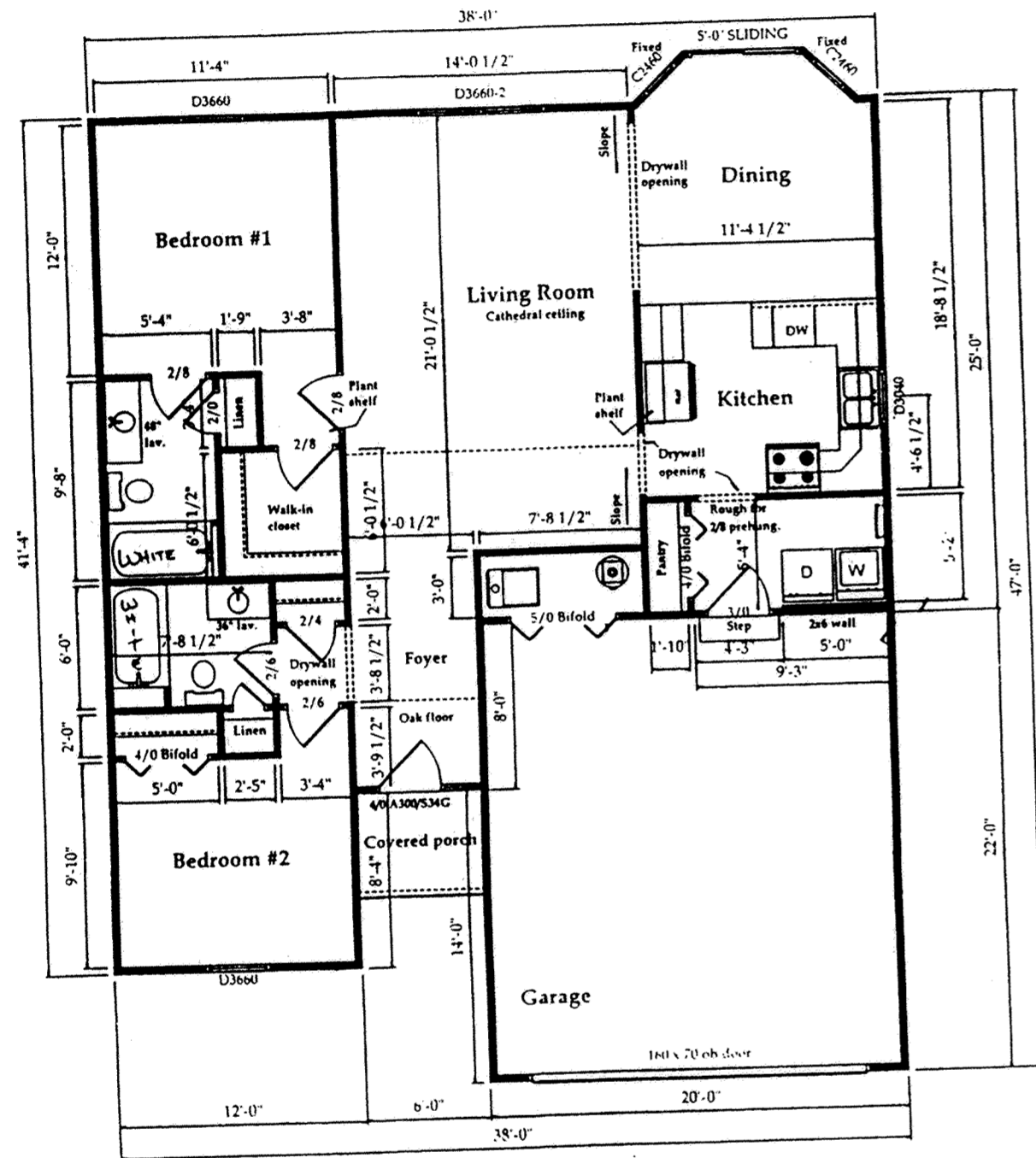
LIMA, OHIO

DRAWN	ERIK	JOB NO.	20517
CHECKED	JDS	SCALE	1" = 30'
APPROVED	JDS		

NO.	DATE	DESCRIPTION	BY
1	-	-	-

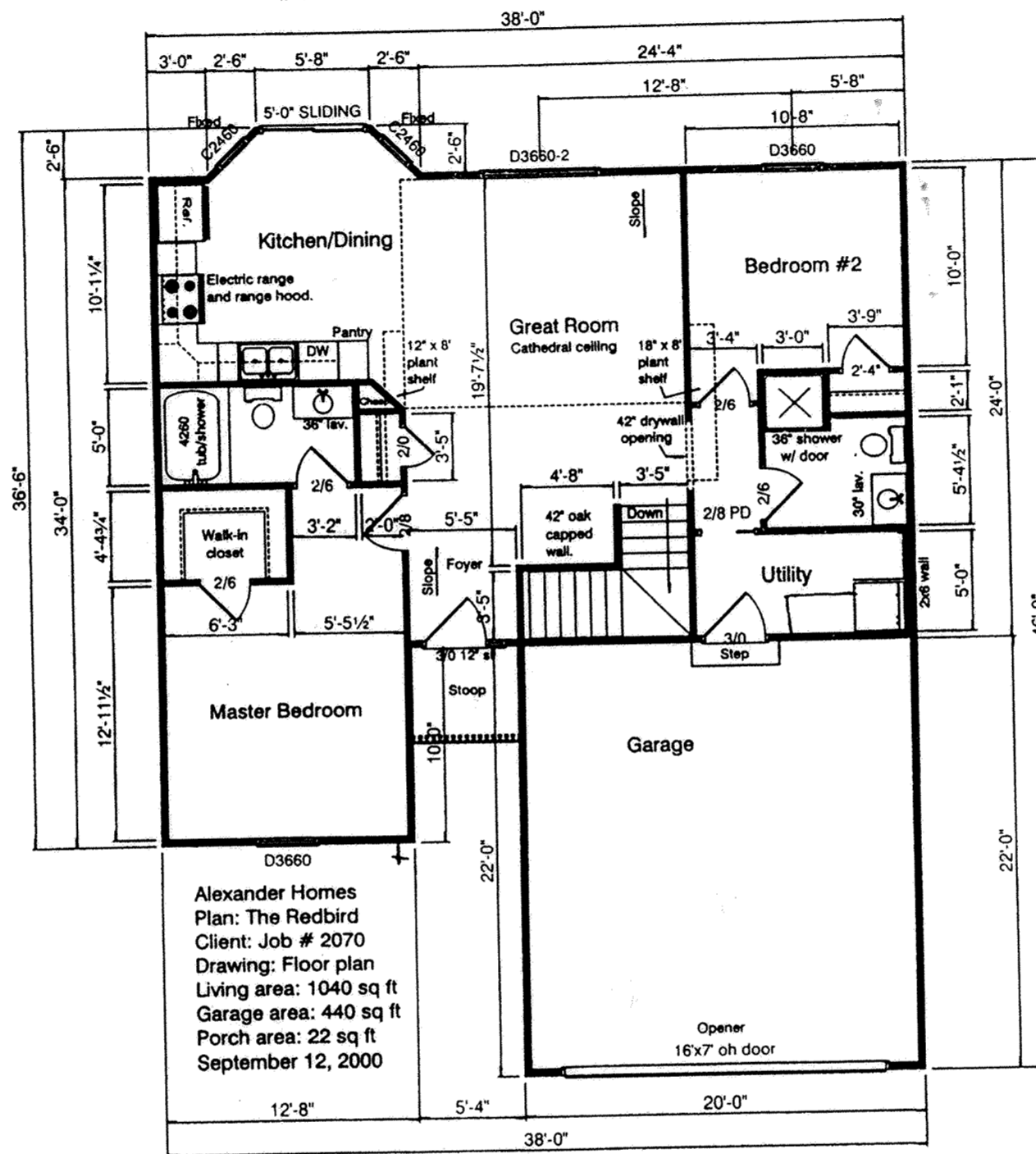
SONGBIRD SOUTH JUNEAU VILLAS CONDOMINIUMS FLOOR PLAN

UNIT A



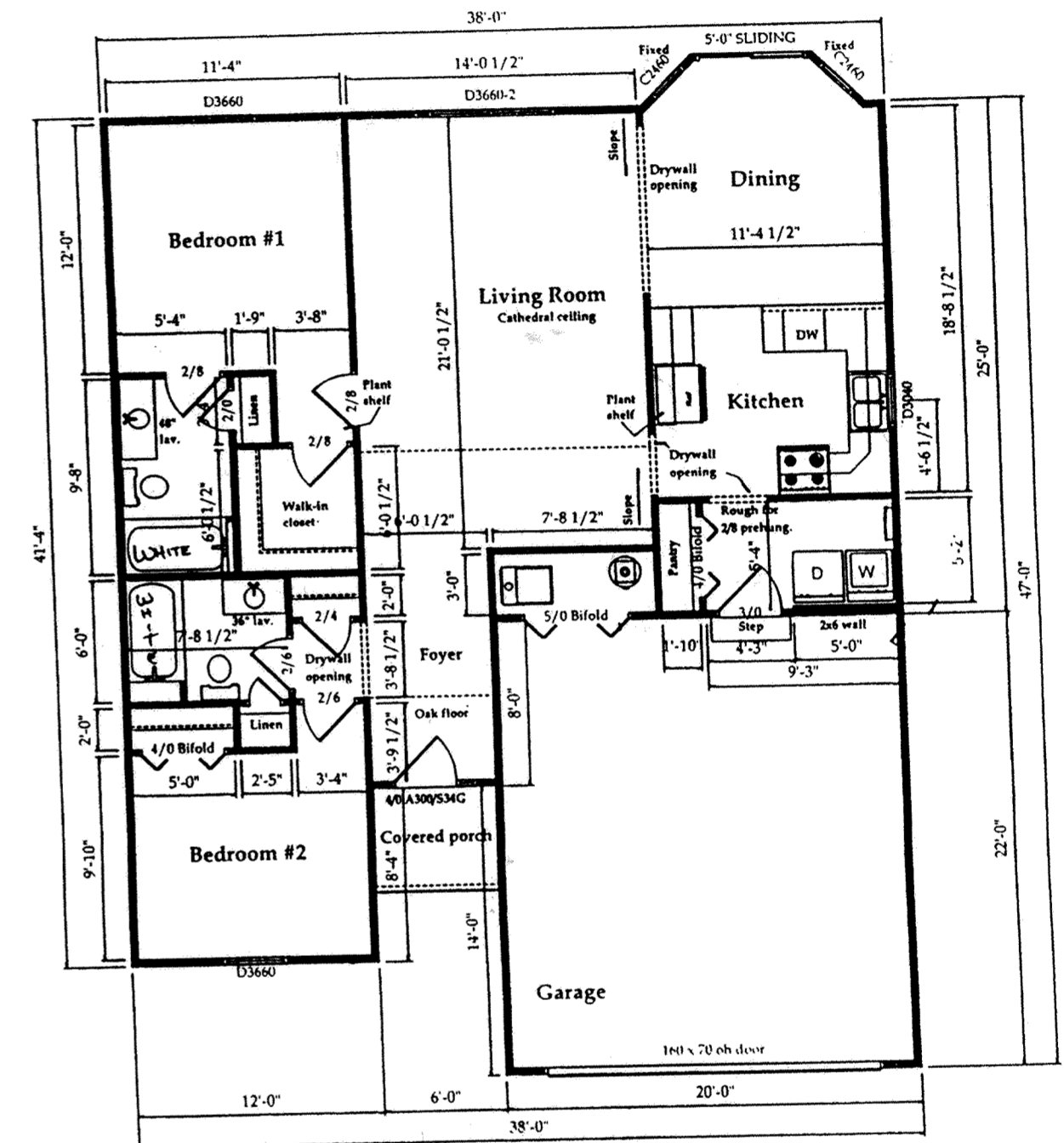
Alexander Homes
Plan: The Sparrow
Client:
Drawing: Floor plan
Living area : 1200 sq ft
Garage area : 440 sq ft
Porch area : 30 sq ft
March 31, 2000

UNIT B



Alexander Homes
Plan: The Redbird
Client: Job # 2070
Drawing: Floor plan
Living area: 1040 sq ft
Garage area: 440 sq ft
Porch area: 22 sq ft
September 12, 2000

UNIT C



Alexander Homes
Plan: The Sparrow
Client:
Drawing: Floor plan
Living area : 1200 sq ft
Garage area : 440 sq ft
Porch area : 30 sq ft
March 31, 2000

PREPARED BY:
SHELDON ENGINEERING & SURVEYING, INC.
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E., P.S.

NO.	DATE	DESCRIPTION	BY
1	-	-	-

SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO

DRAWN: 11/3/00 ERIK
CHECKED: ERIK
APPROVED: JDS
JOB NO. 20517
SCALE NONE

SHEET 2 OF 4

SONGBIRD SOUTH JUNEAU VILLAS CONDOMINIUMS ELEVATIONS

UNIT A



Alexander Homes
Client:
Plan: The Sparrow
Client:
Drawing: Front &
March 31, 2000

UNIT B

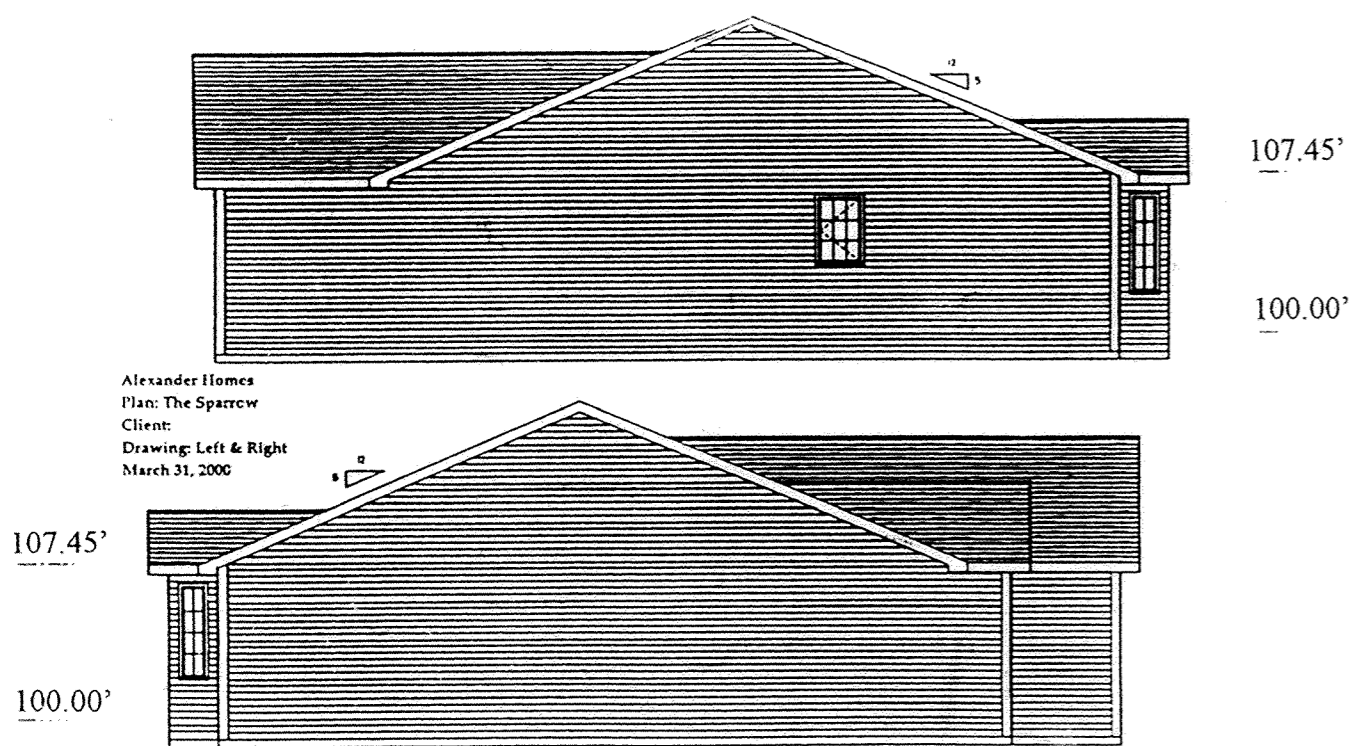


Alexander Homes
Client:
Plan: The Redbird
Drawing: Front & rear
March 31, 2000

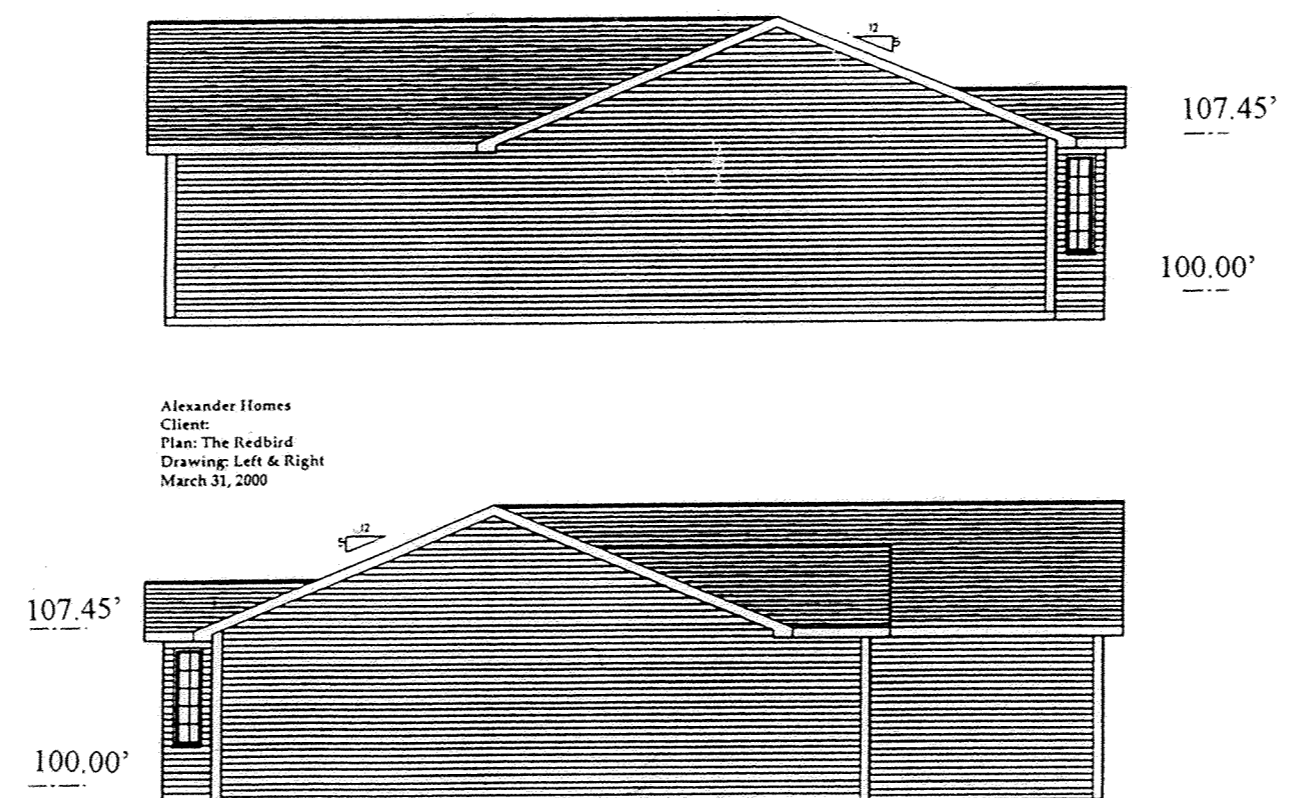
UNIT C



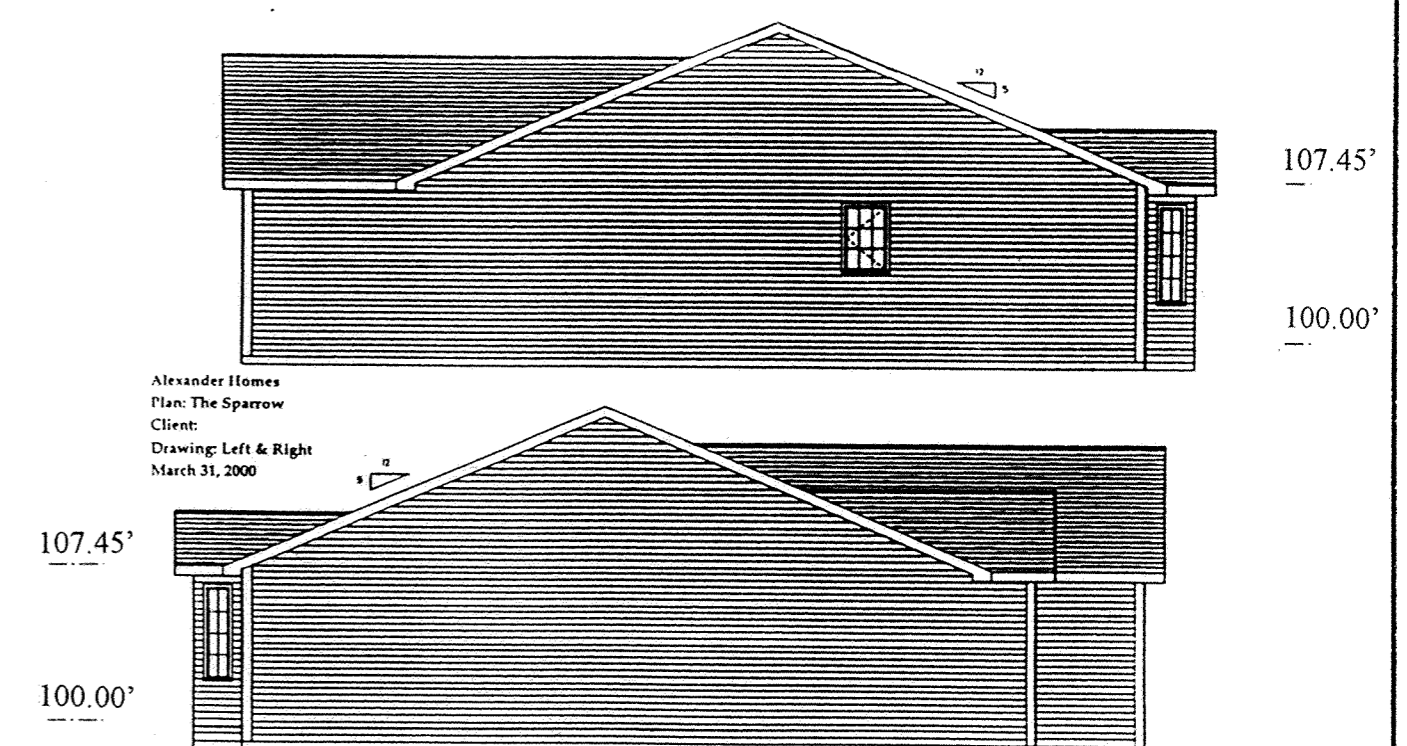
Alexander Homes
Plan: The Sparrow
Client:
Drawing: Front &
March 31, 2000



Alexander Homes
Plan: The Sparrow
Client:
Drawing: Left & Right
March 31, 2000



Alexander Homes
Client:
Plan: The Redbird
Drawing: Left & Right
March 31, 2000




Alexander Homes
Plan: The Sparrow
Client:
Drawing: Left & Right
March 31, 2000

PREPARED BY:
SHELDON ENGINEERING & SURVEYING, INC.
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E., P.S.

NO.	DATE	DESCRIPTION	BY
1	-	-	-

**SHELDON ENGINEERING
& SURVEYING, INC.**



LIMA, OHIO

DRAWN	ERIK	JOB NO.
CHECKED	ERIK	20517
APPROVED	JDS	SCALE NONE

SHEET 3 OF 4

DEDICATOR'S PLAT SONGBIRD SOUTH JUNEAU VILLAS CONDOMINIUMS

LOTS NUMBER 28041 & 28042
IN AMERICAN VILLAGE #3
PLAT BOOK 15 PAGE 143
IN THE N.W. 1/4 OF SECTION 23
T 3 S - R 6 E
AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO

BBA BUILDERS, INC.
VOL. 868 PAGE 415
VOL. 868 PAGE 419
TAX PARCEL #36-2307-03-015.000
2060-2070-2080 JUNEAU DRIVE

SONGBIRD SOUTH JUNEAU VILLAS CONDOMINIUMS
0.588 ACRES
DEDICATOR'S LAND

REVIEWED BY:
Michael L. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 11/22/09

Being Lots Number 28041 and 28042 (Tax Parcel Number 36-2307-03-015.000) in American Village Section No. 3 (Plat Book 15, Page 143) situated in the Northwest Quarter of Section 23, Township 3 South, Range 6 East, American Township, Allen County, Ohio, granted to BBA Builders, Inc. by Warranty Deeds recorded in Volume 868, Pages 415 and 419, of the deed records of Allen County and more particularly described as follows:

BEGINNING FOR THE SAME at an uncapped 5/8-inch iron pin found on the east line of Juneau Drive marking the northwest corner of Lot 28041 in said American Village Section No. 3 -

Thence **South 60°-58'-02" East (bearing base)** on and along the north line of said Lot 28041 for a distance of 147.23 feet to a 5/8-inch iron pin set on the west line of American Village Section No. 5B (Plat Book 23, Page 71) marking the northeast corner of said Lot -

Thence **South 06°-59'-59" West** on and along the east line of Lots 28041 and 28042 for a distance of 102.00 feet to an uncapped 5/8-inch iron pin found, passing at 16.00 feet a 3/4-inch iron pipe with "K&K/Lima, OH" plug found and at 62.00 feet a 5/8-inch iron pin set -

Thence **South 18°-00'-00" West** for a distance of 25.00 feet to a 5/8-inch iron pin set marking the southeast corner of Lot 28042 -

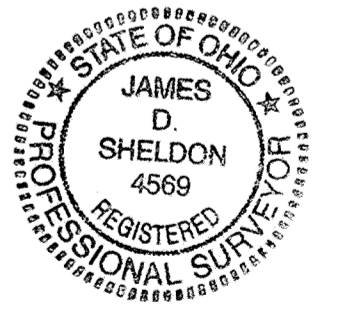
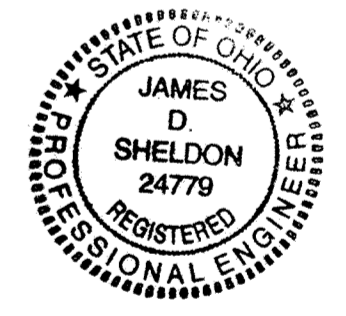
Thence **North 81°-18'-36" West** on and along the south line of said Lot 28042 for a distance of 172.16 feet to an uncapped 5/8-inch iron pin found on the east line of Juneau Drive marking the southwest corner of said Lot -

Thence on and along the east line of Juneau Drive with the following three courses:

- 1) North 09°-43'-44" East for a distance of 29.27 feet to a 5/8-inch iron pin set -
- 2) On and along a curve to the right having a radius of 364.36 feet, an arc length of 59.62 feet and a chord bearing North 14°-25'-00" East for a distance of 59.55 feet to an uncapped 5/8-inch iron pin found marking the northwest corner of Lot 28041 -
- 3) On and along a curve to the right having a radius of 364.36 feet, an arc length of 94.04 feet and a chord bearing North 26°-29'-51" East for a distance of 93.78 feet to the **place of beginning**.

The foregoing description is based on a field survey completed October 27, 2000, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569) and the tract as described contains in all 25,605 square feet or 0.588 acres of land subject, however, to all legal easements and rights of way.

NOTE: All iron pins set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.



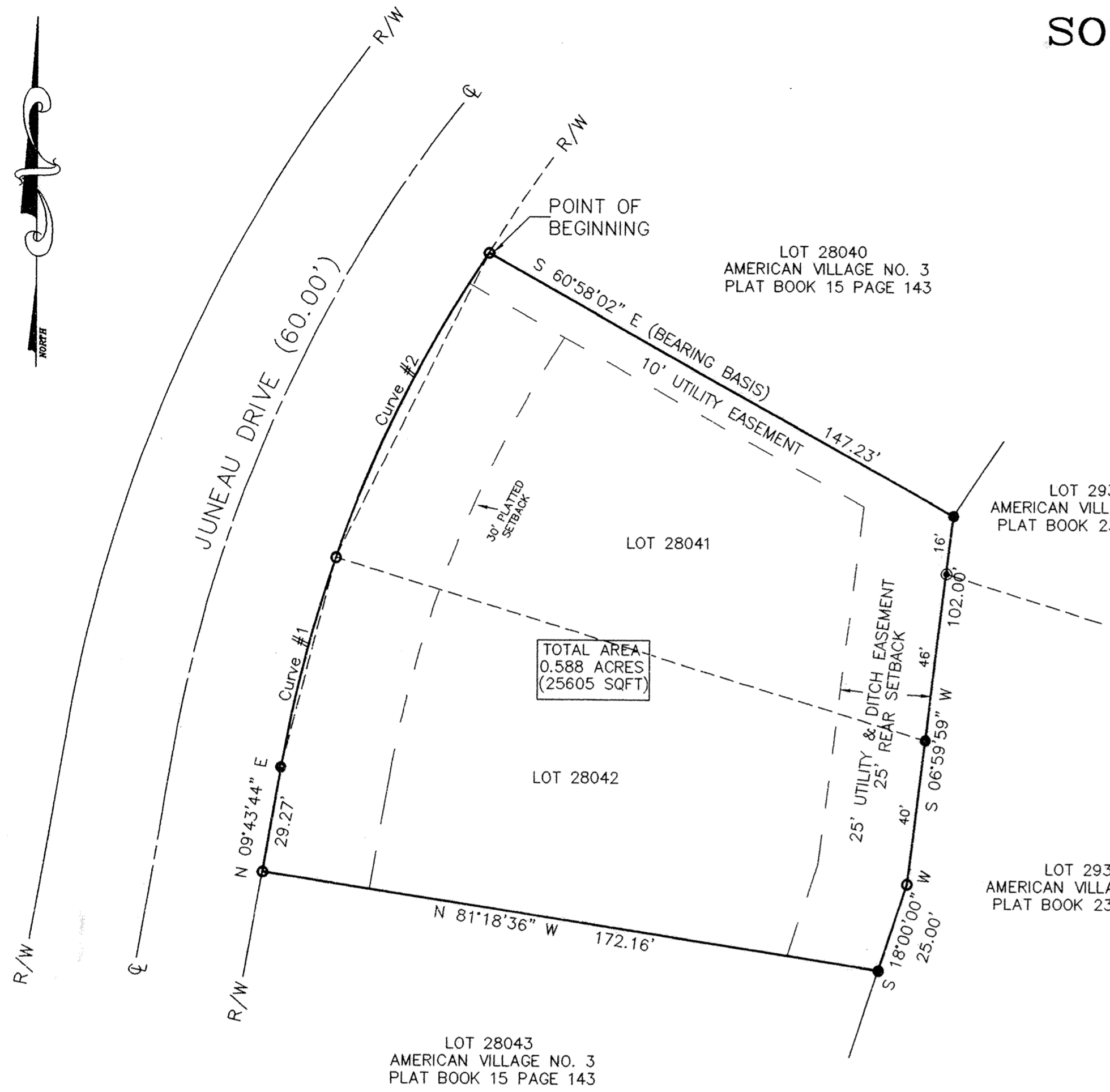
Date: *11/22/09*
James D. Sheldon
James D. Sheldon, P.E., P.S.
Registered Surveyor # 4569

SHELDON ENGINEERING & SURVEYING, INC.



LIMA, OHIO
DRAWN: 11/3/00
ERIK
NO. 20517
CHECKED: JDS
APPROVED: JDS
SCALE: 1" = 30'

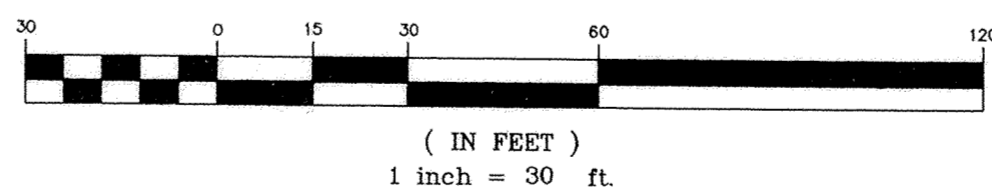
SHEET 4 OF 4



TOTAL AREA
0.588 ACRES
(25605 SQFT)

CURVE	ARC LENGTH	CHORD LENGTH	CHORD BEARING	RADIUS
1	59.62'	59.55'	N 14°25'00" E	364.36'
2	94.04'	93.78'	N 26°29'51" E	364.36'

GRAPHIC SCALE



THE SIDEYARD SETBACK FOR R2 ZONING MUST BE A COMBINED TOTAL OF AT LEAST 15' WITH A MINIMUM OF 7' ON ONE OF THE SIDES. THE EXISTING STRUCTURES ARE FOUND TO HAVE 10.60' SETBACK ON THE SOUTH SIDE AND 12.48' OF SETBACK ON THE NORTH SIDE.

LEGEND

- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- ⊙ 3/4" IRON PIPE PLUGGED WITH A MARKER STAMPED "K & K / LIMA, OH" FOUND
- 5/8" IRON PIN FOUND (NOT CAPPED)

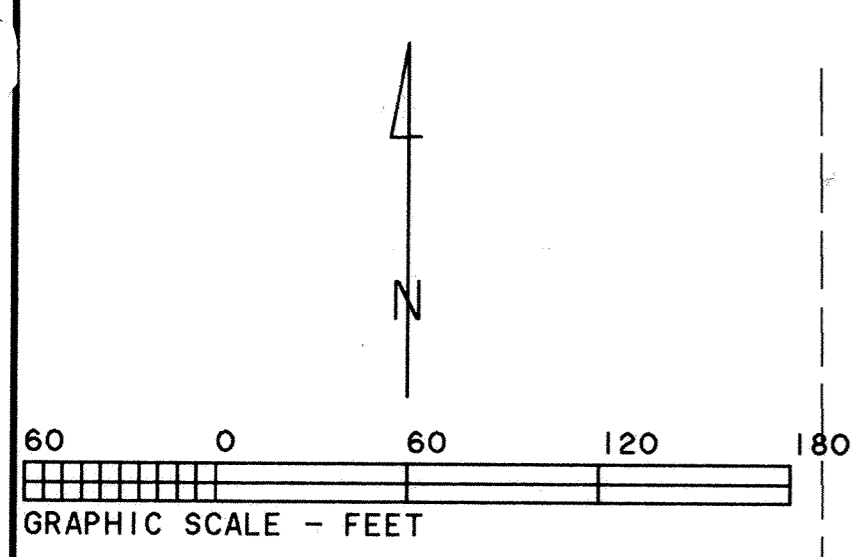
PREPARED BY:
SHELDON ENGINEERING & SURVEYING, INC.
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E., P.S.

THIS PLAT REPRESENTS AN ACTUAL SURVEY COMPLETED ON FRIDAY OCTOBER 27, 2000. REFERENCES INCLUDE TAX MAPS, DEEDS OFFICE RECORDS AND FLOOR LAYOUTS PROVIDED BY A. & A. ENTERPRISES

NO.	DATE	DESCRIPTION	BY
1	-	-	-

SPRINGBROOK GREENS CONDOMINIUMS NO. 1

Part of the NW 1/4 of Section 7, T3S, R7E, Bath Twp., Allen Co., Oh.



R.J. Stone Development Group, Inc.
D.B. 875 Pg. 350

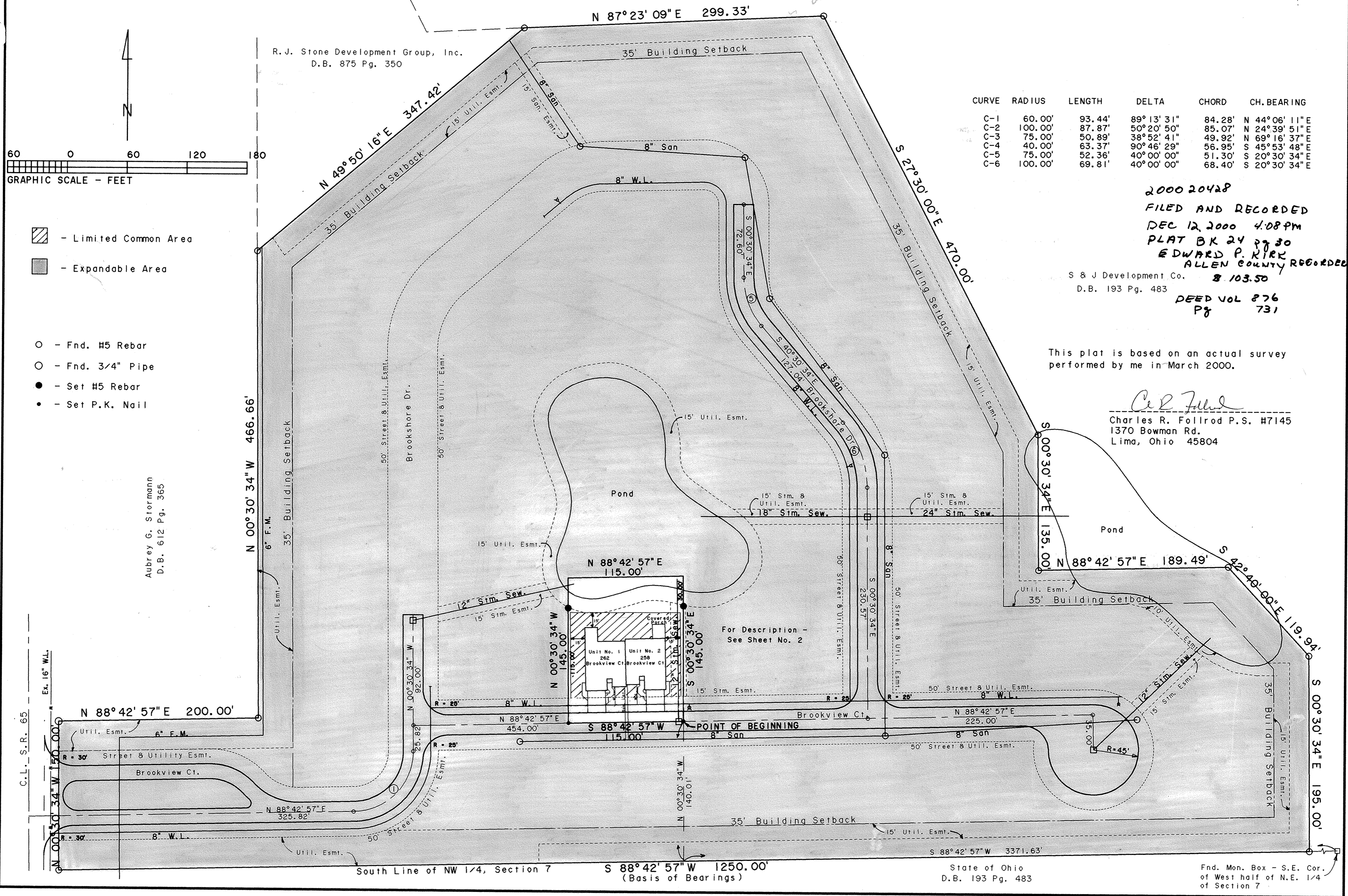
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	60.00'	93.44'	89° 13' 31"	84.28'	N 44° 06' 11" E
C-2	100.00'	87.87'	50° 20' 50"	85.07'	N 24° 39' 51" E
C-3	75.00'	50.89'	38° 52' 41"	49.92'	N 69° 16' 37" E
C-4	40.00'	63.37'	90° 46' 29"	56.95'	S 45° 53' 48" E
C-5	75.00'	52.36'	40° 00' 00"	51.30'	S 20° 30' 34" E
C-6	100.00'	69.81'	40° 00' 00"	68.40'	S 20° 30' 34" E

2000 20428
FILED AND RECORDED
DEC 12 2000 4:08 PM
PLAT BK 24 PG 30
EDWARD P. KIRK
ALLEN COUNTY RECORDER
8.103.50
DEED VOL 876
Pg 731

S & J Development Co.
D.B. 193 Pg. 483

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
Charles R. Follrod P.S. #7145
1370 Bowman Rd.
Lima, Ohio 45804



Aubrey G. Stormann
D.B. 612 Pg. 365

C.L. S.R. 65

South Line of NW 1/4, Section 7
S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483

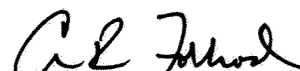
Pond Mon. Box - S.E. Cor.
of West half of N.E. 1/4
of Section 7

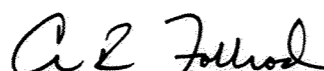
SPRINGBROOK GREENS CONDOMINIUMS NO. 1

DESCRIPTION (Springbrook Greens Condominiums No. 1 Dedicator's Land)

SPRINGBROOK GREENS CONDOMINIUMS NO. 1, consists of a part of the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of SPRINGBROOK GREENS CONDOMINIUMS NO. 1, one page of descriptions, one page of floor plans, one page of elevation views of the buildings and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities and the expandable area. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.


Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.


Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

No. _____
Filed for record this _____ day of _____, 20____ at _____ o'clock
_____ M. in the office of the Allen County Recorder and recorded in Plat Book _____ on Page _____.

Fee: _____
RECORDER, Allen County, Ohio

For DECLARATIONS see Deed Volume _____ Page _____.

DESCRIPTION (Springbrook Greens Condominiums No. 1)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3371.63' to a point, thence N00°30'34"W, 140.01' to a set P.K. nail and being the POINT OF BEGINNING, thence the following courses:

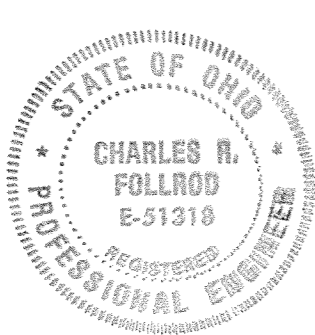
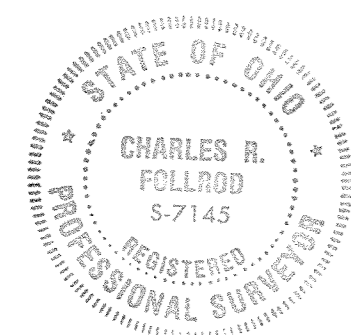
1. S88°42'57"W, 115.00' to a set P.K. nail;
2. N00°30'34"W, 145.00' to a point, passing over a set #5 rebar at 115.00';
3. N88°42'57"E, 115.00' to a point;
4. S00°30'34"E, 145.00' to the POINT OF BEGINNING, passing over a set #5 rebar at 30.00';

The above described parcel contains 0.383 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001



Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar and being the POINT OF BEGINNING, thence the following courses:

1. S88°42'57"W with the south line of the NW 1/4 of Section 7, 1250.00' to a found #5 rebar on the right-of-way line of S.R. 65, passing over a found #5 rebar at 1200.00' also on the right-of-way line of S.R. 65;
2. N00°30'34"W with the right-of-way line of S.R. 65, 150.00' to a found 1/2" pipe;
3. N88°42'57"E, 200.00' to a found #5 rebar;
4. N00°30'34"W, 466.66' to a found #5 rebar;
5. N49°50'16"E, 347.42' to a found #5 rebar;
6. N87°23'09"E, 299.33' to a found #5 rebar;
7. S27°30'00"E, 470.00' to a found #5 rebar;
8. S00°30'34"E, 135.00' to a found #5 rebar;
9. N88°42'57"E, 189.49' to a found #5 rebar;
10. S42°40'00"E, 119.94' to a found #5 rebar;
11. S00°30'34"E, 195.00' to the POINT OF BEGINNING.

The above described parcel contains 15.673 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

DESCRIPTION (Private Street & Utility Easement - Brookview Ct./Brookshore Dr.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3996.64' to a found #5 rebar on the right-of-way line of S.R. 65, thence N00°30'34"W with said right-of-way, 30.00' to the POINT OF BEGINNING, thence the following courses:

1. N00°30'34"W with said right-of-way, 90.01';
2. N88°42'57"E, 150.50';
3. Southeasterly on a curve to the right an arc distance of 63.08', said curve having a radius of 75.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 61.24';
4. Southeasterly on a curve to the left an arc distance of 37.85', said curve having a radius of 45.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 36.74';
5. N88°42'57"E, 55.00';
6. Northeasterly on a curve to the left an arc distance of 54.50', said curve having a radius of 35.00', a delta angle of 89°13'31", and an L.C. of N44°06'12"E, 49.16';
7. N00°30'34"W, 400.00';
8. Northeasterly on a curve to the right an arc distance of 109.84', said curve having a radius of 125.00', a delta angle of 50°20'50", and an L.C. of N24°39'51"E, 106.34';
9. N49°50'16"E, 140.00';
10. Northeasterly on a curve to the right an arc distance of 67.86', said curve having a radius of 100.00', a delta angle of 38°52'41", and an L.C. of N69°16'37"E, 66.56';
11. N88°42'57"E, 100.00';
12. Southeasterly on a curve to the right an arc distance of 102.98', said curve having a radius of 65.00', a delta angle of 90°46'29", and an L.C. of S45°53'49"E, 92.54';
13. S00°30'34"E, 72.60';
14. Southeasterly on a curve to the left an arc distance of 34.91', said curve having a radius of 50.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 34.20';
15. S40°30'34"E, 127.04';
16. Southeasterly on a curve to the right an arc distance of 87.27', said curve having a radius of 125.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 85.51';

17. S00°30'34"E, 205.23';
18. S88°42'57"W, 50.00';
19. N00°30'34"W, 205.90';
20. Northwesterly on a curve to the left an arc distance of 52.36', said curve having a radius of 75.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 51.30';
21. N40°30'34"W, 127.04';
22. Northwesterly on a curve to the right an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 68.40';
23. N00°30'34"W, 72.60';
24. Northwesterly on a curve to the left an arc distance of 23.76', said curve having a radius of 15.00', a delta angle of 90°46'29", and an L.C. of N45°53'48"W, 21.36';
25. S88°42'57"W, 100.00';
26. Southwesterly on a curve to the left an arc distance of 33.93', said curve having a radius of 50.00', a delta angle of 38°52'41", and an L.C. of S69°16'36"W, 33.28';
27. S49°50'16"W, 140.00';
28. Southwesterly on a curve to the left an arc distance of 65.90', said curve having a radius of 75.00', a delta angle of 50°20'50", and an L.C. of S24°39'51"W, 63.80';
29. S00°30'34"E, 400.00';
30. Southwesterly on a curve to the right an arc distance of 132.37', said curve having a radius of 85.00', a delta angle of 89°13'31", and an L.C. of S44°06'12"W, 119.39';
31. S88°42'57"W, 296.16' to the POINT OF BEGINNING.

The above described easement contains 2.202 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

(Private Street & Utility Easement - Brookview Ct.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:


Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3616.62' to a point, thence N00°30'34"W, 115.01' to the POINT OF BEGINNING, thence the following courses:

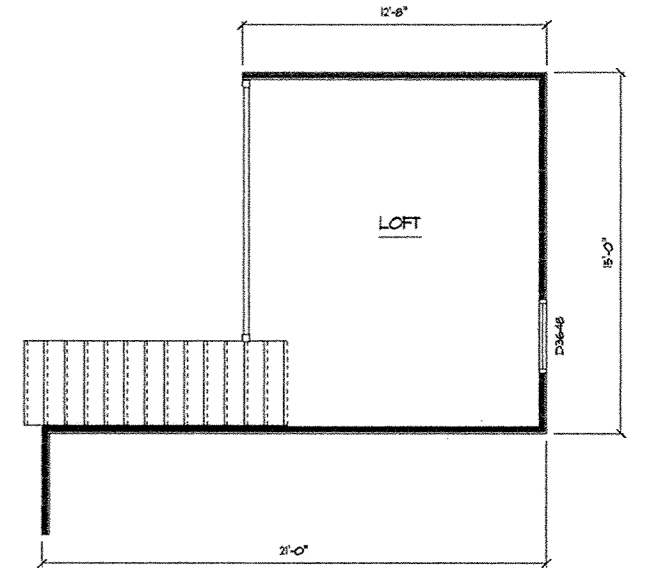
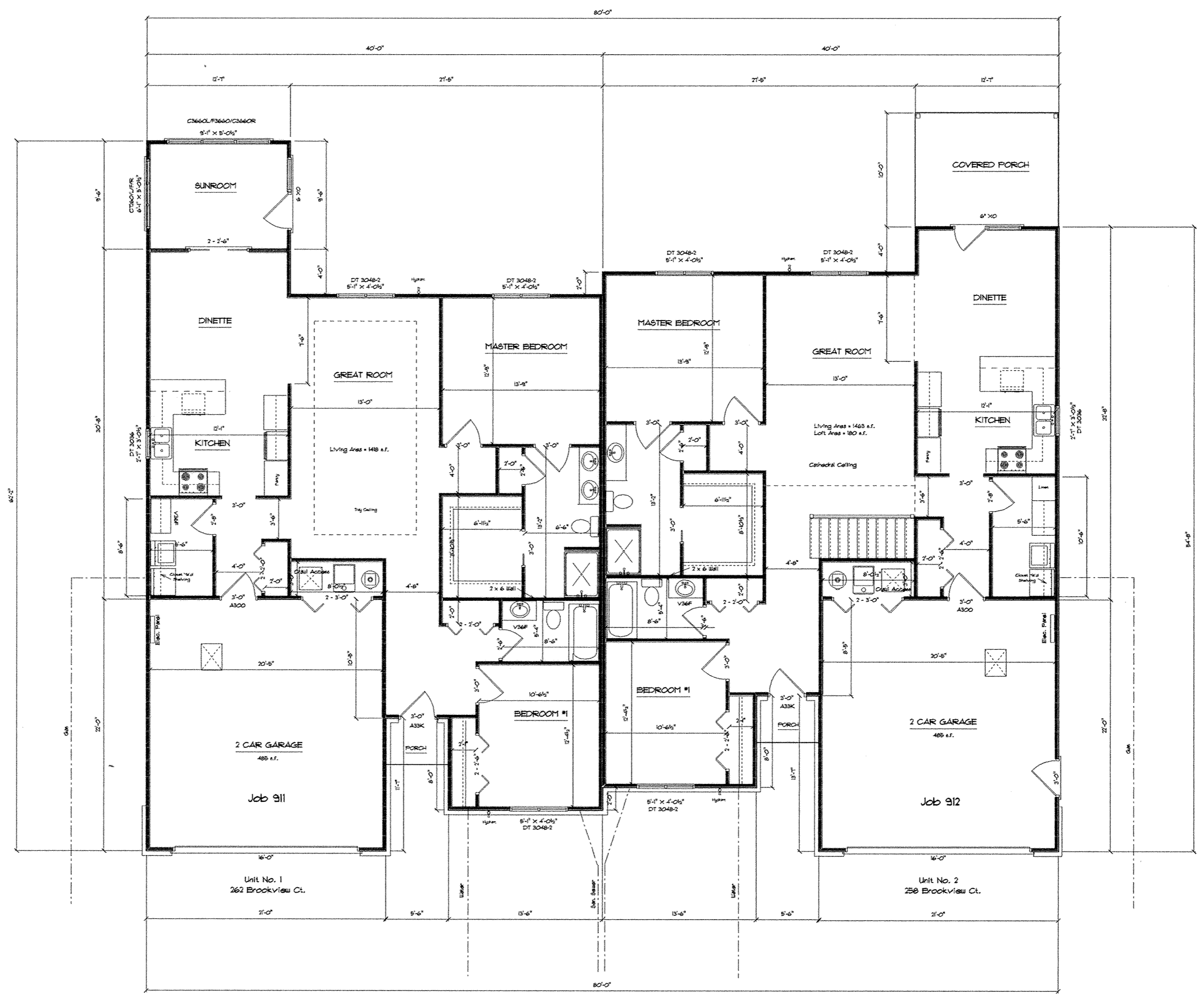
1. N00°30'34"W, 50.00';
2. N88°42'57"E, 653.66';
3. Southwesterly on a curve to the right an arc distance of 292.79', said curve having a radius of 60.00', a delta angle of 279°35'39" and an L.C. of S48°30'46"W, 77.46';
4. S88°42'57"W, 595.17' to the POINT OF BEGINNING.

The above described easement contains 0.959 acres more or less, subject to all legal highways and easements of record.

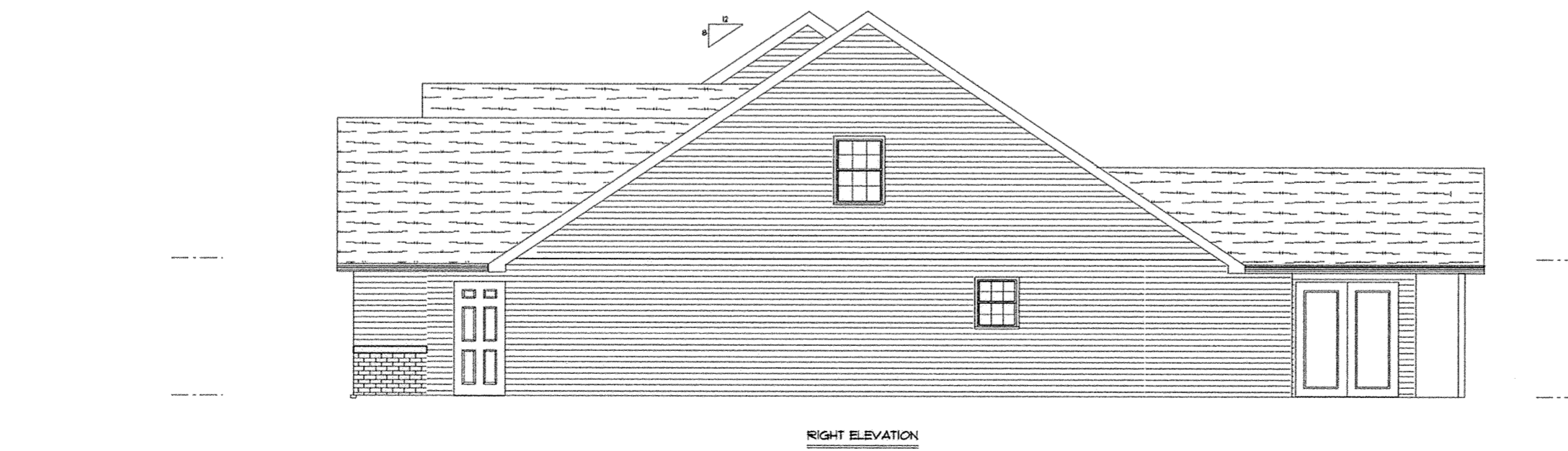
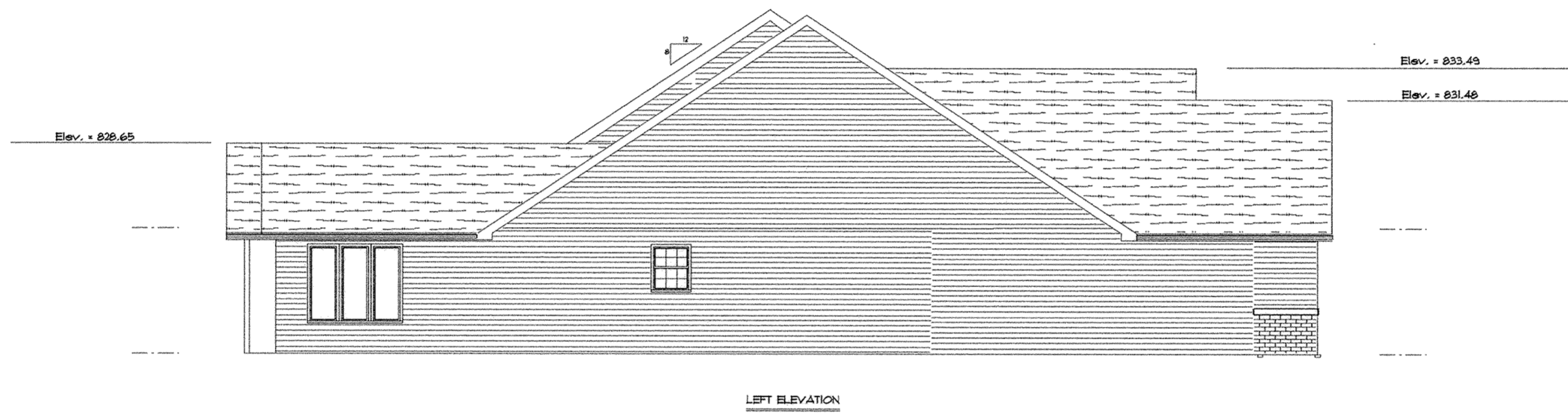
Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Total Private Street & Utility Easement = 3.161 acres

REVIEWED BY:

MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 12/18/00



Springbrook Greens Condominiums
 SCALE: 1/8" = 1'-0"
 200 00 1 00
 8-01-00

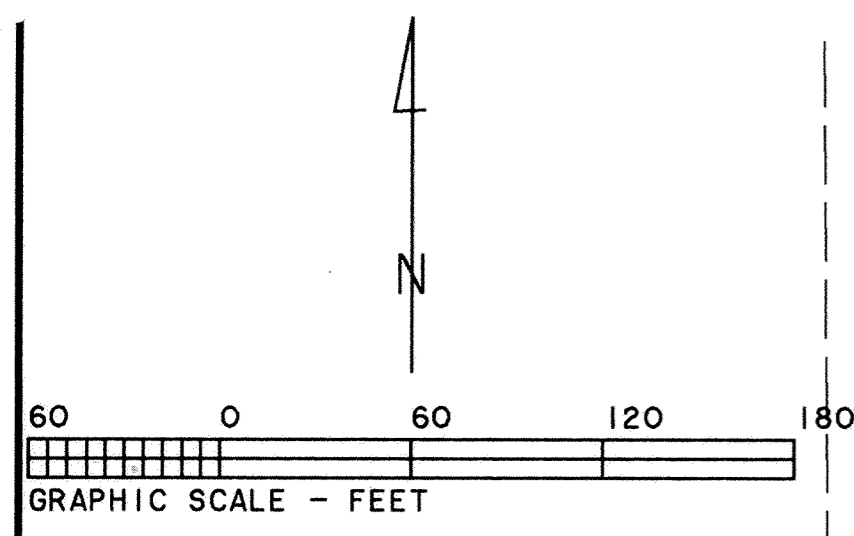


B.M. - Top of Steam Nozzle on Fire Hydrant Located just East of 262 Brookview Ct. on the North Side of the Street. Elev. = 815.12

Springbrook Greens Condominiums
Job 911/912
SCALE: 1/8" = 1'-0"
JES 01/02
12/00

SPRINGBROOK GREENS CONDOMINIUMS NO. 1

Survey of Dedicator's Land



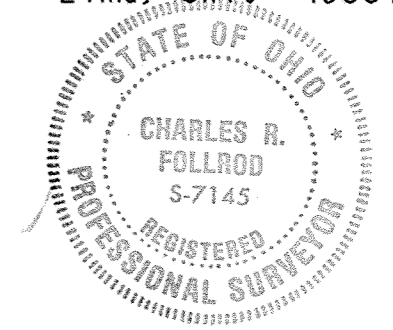
R.J. Stone Development Group, Inc.
D.B. 875 Pg. 350

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	75.00'	63.08'	48° 11' 23"	61.24'	S 67° 11' 22" E
C-2	45.00'	37.85'	48° 11' 23"	36.74'	S 67° 11' 22" E
C-3	35.00'	54.50'	89° 13' 31"	49.16'	N 44° 06' 12" E
C-4	125.00'	109.84'	50° 20' 50"	106.34'	N 24° 39' 51" E
C-5	100.00'	67.86'	38° 52' 41"	66.56'	N 69° 16' 37" E
C-6	65.00'	102.98'	90° 46' 29"	92.54'	S 45° 53' 49" E
C-7	50.00'	34.91'	40° 00' 00"	34.20'	S 20° 30' 34" E
C-8	125.00'	87.27'	40° 00' 00"	85.51'	S 20° 30' 34" E
C-9	75.00'	52.36'	40° 00' 00"	51.30'	N 20° 30' 34" W
C-10	100.00'	69.81'	40° 00' 00"	68.40'	N 20° 30' 34" W
C-11	15.00'	23.76'	90° 46' 29"	21.36'	N 45° 53' 48" W
C-12	50.00'	33.93'	38° 52' 41"	33.28'	S 69° 16' 36" W
C-13	75.00'	65.90'	50° 20' 50"	63.80'	S 24° 39' 51" W
C-14	85.00'	132.37'	89° 13' 31"	119.39'	S 44° 06' 12" W
C-15	60.00'	292.79'	279° 35' 39"	77.46'	S 48° 30' 46" W

S & J Development Co.
D.B. 193 Pg. 483

This plat is based on an actual survey performed by me in March 2000.

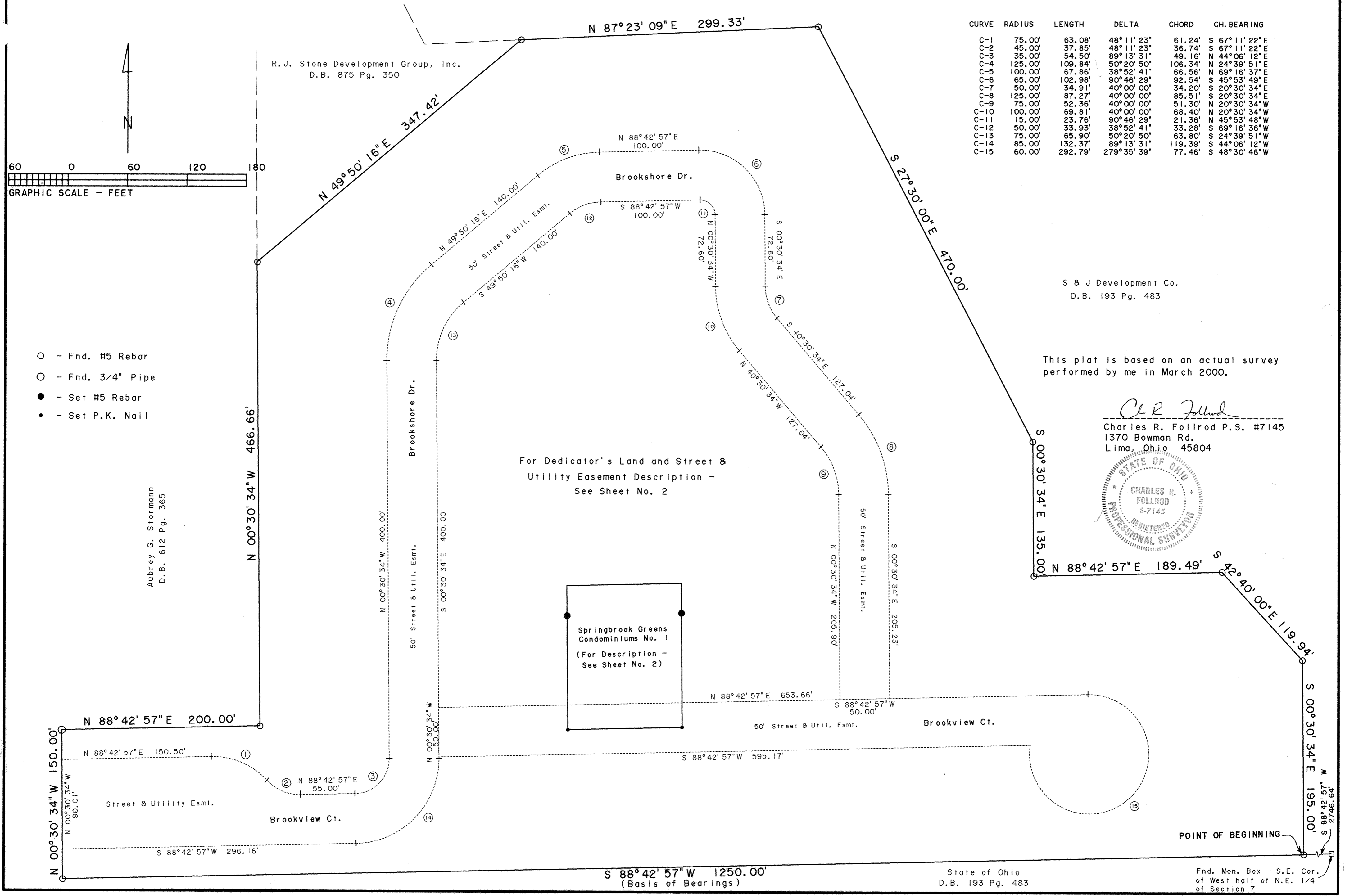
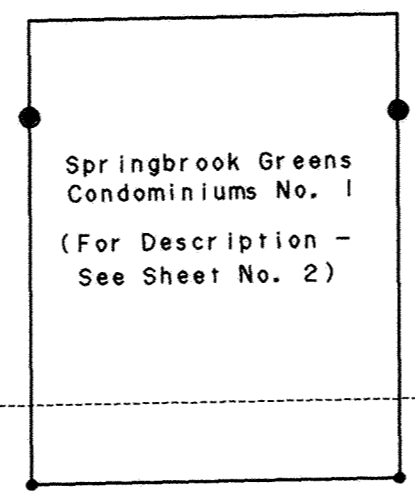
Charles R. Follrod
Charles R. Follrod P.S. #7145
1370 Bowman Rd.
Lima, Ohio 45804



- - Fnd. #5 Rebar
- - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365

For Dedicator's Land and Street & Utility Easement Description - See Sheet No. 2



State of Ohio
D.B. 193 Pg. 483

Fnd. Mon. Box - S.E. Cor. of West half of N.E. 1/4 of Section 7

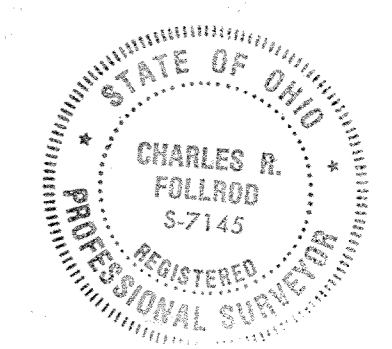
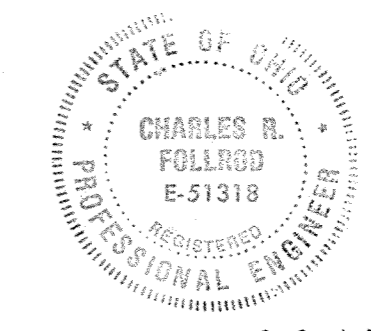
SPRINGBROOK GREENS CONDOMINIUMS NO. 2

Part of the NW 1/4 of Section 7, T3S, R7E, Bath Twp., Allen Co., Oh.

For Affidavit Correcting Address on Units 3 & 4 See Deed Vol 878 Pg 73

R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

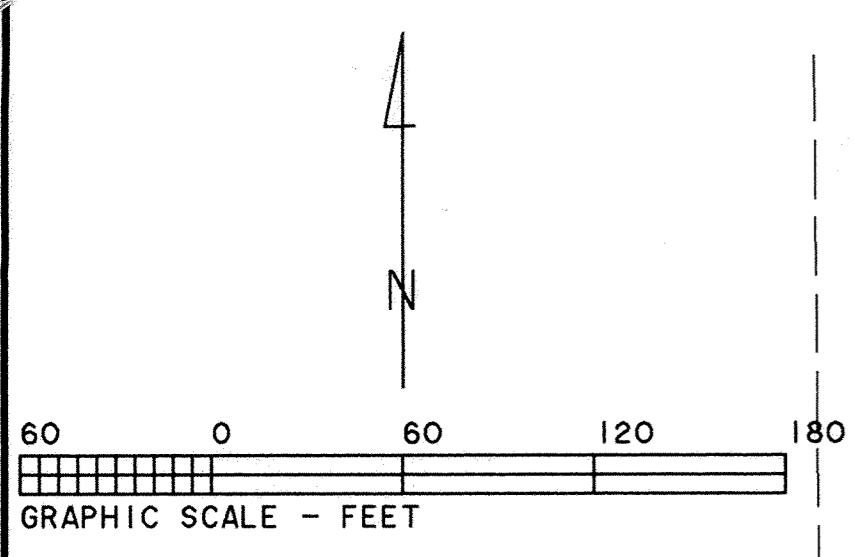
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	60.00'	93.44'	89° 13' 31"	84.28'	N 44° 06' 11" E
C-2	100.00'	87.87'	50° 20' 50"	85.07'	N 24° 39' 51" E
C-3	75.00'	50.89'	38° 52' 41"	49.92'	N 69° 16' 37" E
C-4	40.00'	63.37'	90° 46' 29"	56.95'	S 45° 53' 48" E
C-5	75.00'	52.36'	40° 00' 00"	51.30'	S 20° 30' 34" E
C-6	100.00'	69.81'	40° 00' 00"	68.40'	S 20° 30' 34" E



S & J Development Co.
D.B. 193 Pg. 483

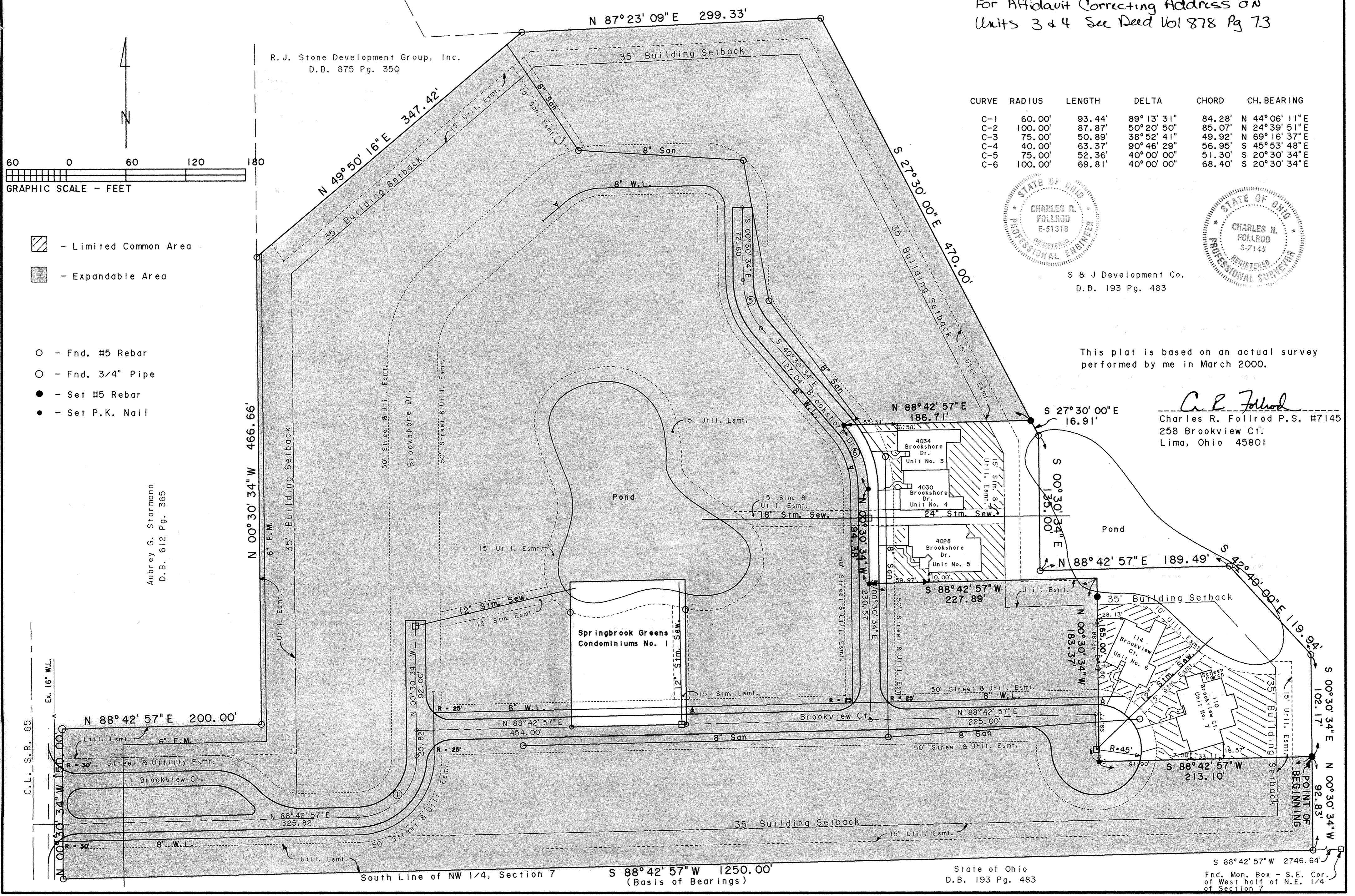
This plat is based on an actual survey performed by me in March 2000.

C.R. Follrod
 Charles R. Follrod P.S. #7145
 258 Brookview Ct.
 Lima, Ohio 45801



- Limited Common Area
- Expandable Area
- Fnd. #5 Rebar
- Fnd. 3/4" Pipe
- Set #5 Rebar
- Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365



State of Ohio
D.B. 193 Pg. 483

S 88° 42' 57" W 2746.64'
Fnd. Mon. Box - S.E. Cor.
of West half of N.E. 1/4
of Section 7

S 88° 42' 57" W 1250.00'
(Basis of Bearings)

South Line of NW 1/4, Section 7

SPRINGBROOK GREENS CONDOMINIUMS NO. 2

DESCRIPTION (Springbrook Greens Condominiums No. 2 Dedicator's Land)

SPRINGBROOK GREENS CONDOMINIUMS NO. 2, consists of a part of the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of SPRINGBROOK GREENS CONDOMINIUMS NO. 2, one page of descriptions, four pages of floor plans, four pages of elevation views of the buildings and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities and the expandable area. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc..

No. 200021127
Filed for record this 21st day of DEC, 2000 at 3:11 o'clock
P.M. in the office of the Allen County Recorder and recorded in Plat Book 24 on Page 35.

Fee: 227.70
Edward P. Kind
RECORDER, Allen County, Ohio

For DECLARATIONS see Deed Volume 877 Page 199.

DESCRIPTION (Springbrook Greens Condominiums No. 2)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar, thence N00°30'34"W, 92.83' to a set #5 rebar and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W, 213.10' to a set P.K. nail;
- N00°30'34"W, 183.37' to a point, passing over a set #5 rebar at 165.00';
- S88°42'57"W, 227.89' to a set P.K. nail;
- N00°30'34"W, 94.38' to set P.K. nail;
- Northwesterly with a curve to the left an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00" and an L.C. of N20°30'34"W, 68.40' to a set P.K. nail;
- N88°42'57"E, 186.71' to a set #5 rebar;
- S27°30'00"E, 16.91' to a found #5 rebar;
- S00°30'34"E, 135.00' to a found #5 rebar;
- N88°42'57"E, 189.49' to a found #5 rebar;
- S42°40'00"E, 119.94' to a found #5 rebar;
- S00°30'34"E, 102.17' to the POINT OF BEGINNING.

The above described parcel contains 1.502 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W with the south line of the NW 1/4 of Section 7, 1250.00' to a found #5 rebar on the right-of-way line of S.R. 65, passing over a found #5 rebar at 1200.00' also on the right-of-way line of S.R. 65;
- N00°30'34"W with the right-of-way line of S.R. 65, 150.00' to a found 1/2" pipe;
- N88°42'57"E, 200.00' to a found #5 rebar;
- N00°30'34"W, 466.66' to a found #5 rebar;
- N49°50'16"E, 347.42' to a found #5 rebar;
- N87°23'09"E, 299.33' to a found #5 rebar;
- S27°30'00"E, 470.00' to a found #5 rebar;
- S00°30'34"E, 135.00' to a found #5 rebar;
- N88°42'57"E, 189.49' to a found #5 rebar;
- S42°40'00"E, 119.94' to a found #5 rebar;
- S00°30'34"E, 195.00' to the POINT OF BEGINNING.

The above described parcel contains 15.673 acres more or less, subject to all legal highways and easements of record.

SAVE AND EXCEPT (Springbrook Greens Condominiums No. 1 - Acreage = 0.383 ac.) (For Description - See P.B. 24, Pg. 30)

The total dedicator's land contains 15.290 acres more or less subject to all legal highways and easements of record.

DESCRIPTION (Private Street & Utility Easement - Brookview Ct./Brookshore Dr.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3996.64' to a found #5 rebar on the right-of-way line of S.R. 65, thence N00°30'34"W with said right-of-way, 30.00' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W with said right-of-way, 90.01';
- N88°42'57"E, 150.50';
- Southeasterly on a curve to the right an arc distance of 63.08', said curve having a radius of 75.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 61.24';
- Southeasterly on a curve to the left an arc distance of 37.85', said curve having a radius of 45.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 36.74';
- N88°42'57"E, 55.00';
- Northeasterly on a curve to the left an arc distance of 54.50', said curve having a radius of 35.00', a delta angle of 89°13'31", and an L.C. of N44°06'12"E, 49.16';
- N00°30'34"W, 400.00';
- Northeasterly on a curve to the right an arc distance of 109.84', said curve having a radius of 125.00', a delta angle of 50°20'50", and an L.C. of N24°39'51"E, 106.34';
- N49°50'16"E, 140.00';
- Northeasterly on a curve to the right an arc distance of 67.86', said curve having a radius of 100.00', a delta angle of 38°52'41", and an L.C. of N69°16'37"E, 66.56';
- N88°42'57"E, 100.00';
- Southeasterly on a curve to the right an arc distance of 102.98', said curve having a radius of 65.00', a delta angle of 90°46'29", and an L.C. of S45°53'49"E, 92.54';
- S00°30'34"E, 72.60';

- Southeasterly on a curve to the left an arc distance of 34.91', said curve having a radius of 50.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 34.20';
- S40°30'34"E, 127.04';
- Southeasterly on a curve to the right an arc distance of 87.27', said curve having a radius of 125.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 85.51';
- S00°30'34"E, 205.23';
- S88°42'57"W, 50.00';
- N00°30'34"W, 205.90';
- Northwesterly on a curve to the left an arc distance of 52.36', said curve having a radius of 75.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 51.30';
- N40°30'34"W, 127.04';
- Northwesterly on a curve to the right an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 68.40';
- N00°30'34"W, 72.60';
- Northwesterly on a curve to the left an arc distance of 23.76', said curve having a radius of 15.00', a delta angle of 90°46'29", and an L.C. of N45°53'48"W, 21.36';
- S88°42'57"W, 100.00';
- Southwesterly on a curve to the left an arc distance of 33.93', said curve having a radius of 50.00', a delta angle of 38°52'41", and an L.C. of S69°16'36"W, 33.28';
- S49°50'16"W, 140.00';
- Southwesterly on a curve to the left an arc distance of 65.90', said curve having a radius of 75.00', a delta angle of 50°20'50", and an L.C. of S24°39'51"W, 63.80';
- S00°30'34"E, 400.00';
- Southwesterly on a curve to the right an arc distance of 132.37', said curve having a radius of 85.00', a delta angle of 89°13'31", and an L.C. of S44°06'12"W, 119.39';
- S88°42'57"W, 296.16' to the POINT OF BEGINNING.

The above described easement contains 2.202 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

(Private Street & Utility Easement - Brookview Ct.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3616.62' to a point, thence N00°30'34"W, 115.01' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W, 50.00';
- N88°42'57"E, 653.66';
- Southwesterly on a curve to the right an arc distance of 292.79', said curve having a radius of 60.00', a delta angle of 279°35'39" and an L.C. of S48°30'46"W, 77.46';
- S88°42'57"W, 595.17' to the POINT OF BEGINNING.

The above described easement contains 0.959 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Total Private Street & Utility Easement = 3.161 acres

REVIEWED BY:
M. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 12/21/00



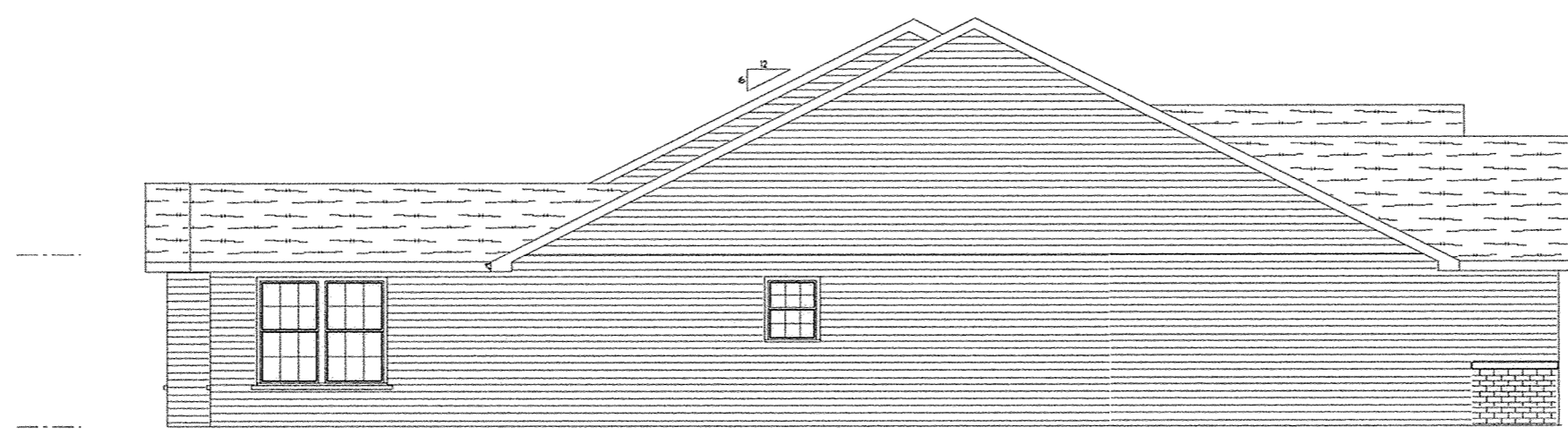
4034 Brookshore Dr.
Unit No. 3

4030 Brookshore Dr.
Unit No. 4

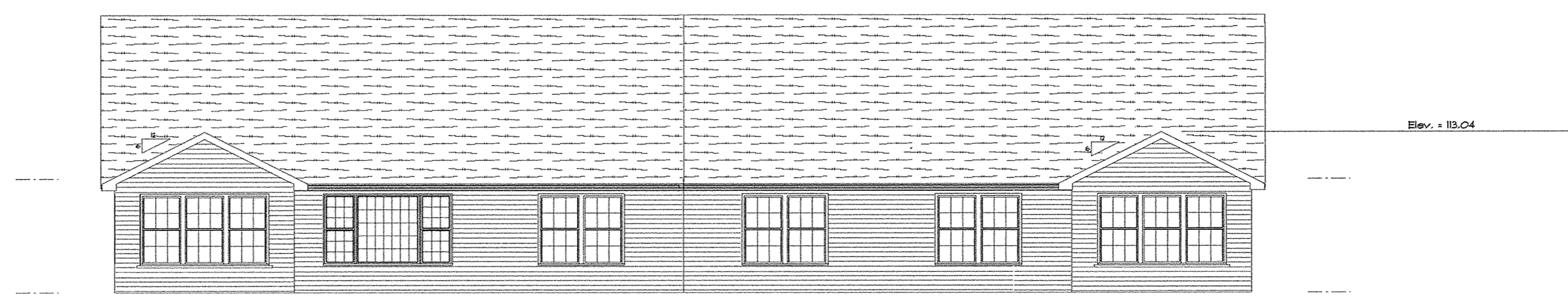
Springbrook Greens Condominiums
4030-4034 Brookshore Dr.
SCALE: 1/8" = 1'-0"
5-5-00



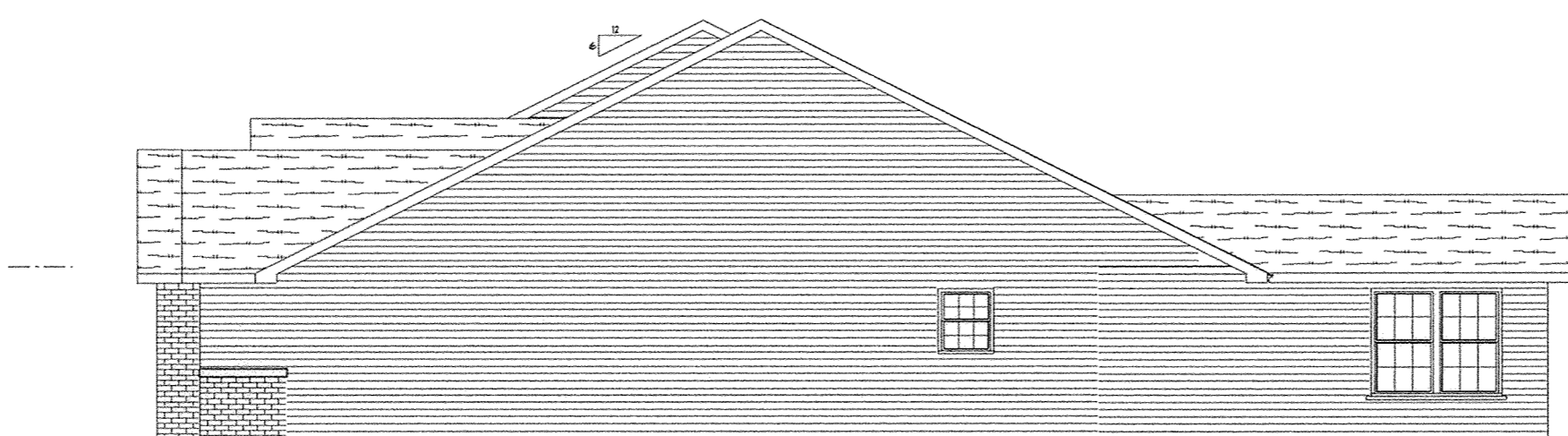
FRONT ELEVATION



LEFT ELEVATION



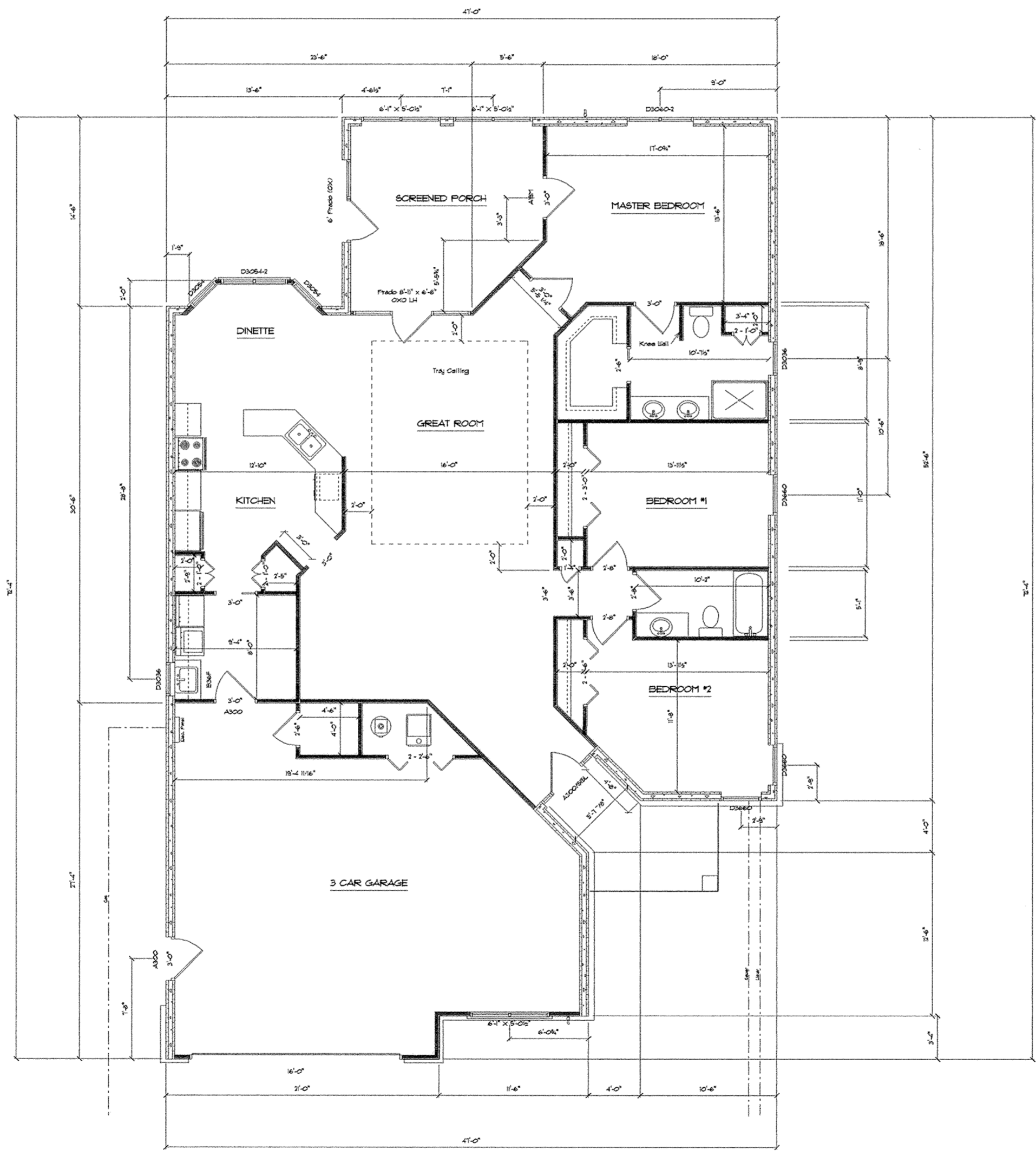
REAR ELEVATION



RIGHT ELEVATION

Benchmark for all Elevation Views

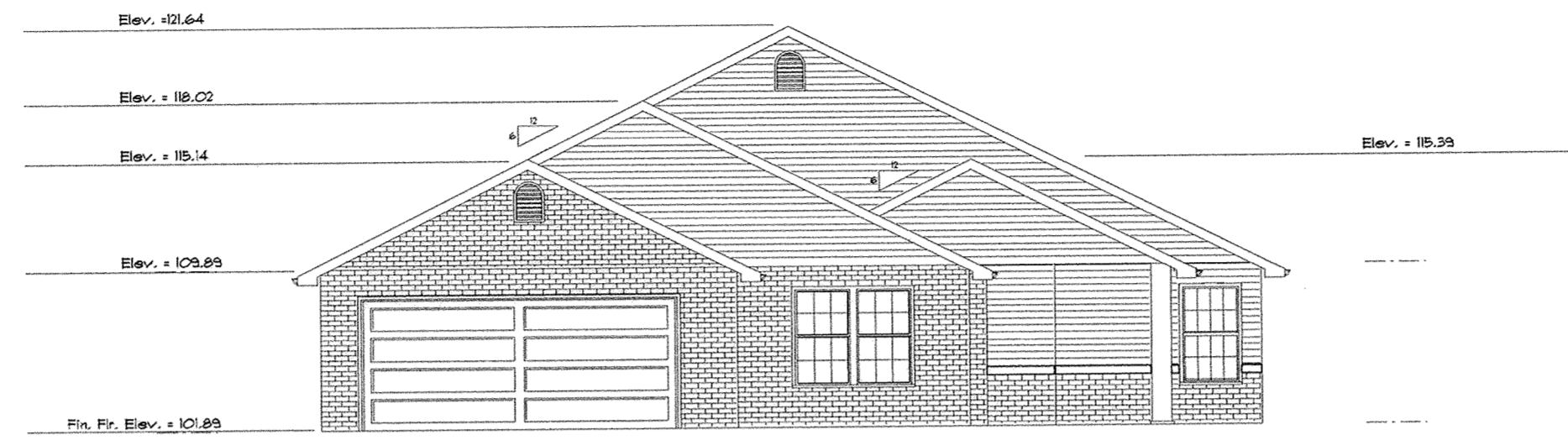
B.M. - Top of Steamer Nozzle on Fire Hydrant
Located in Front of 114 Brookview Ct. Elev. = 100.00



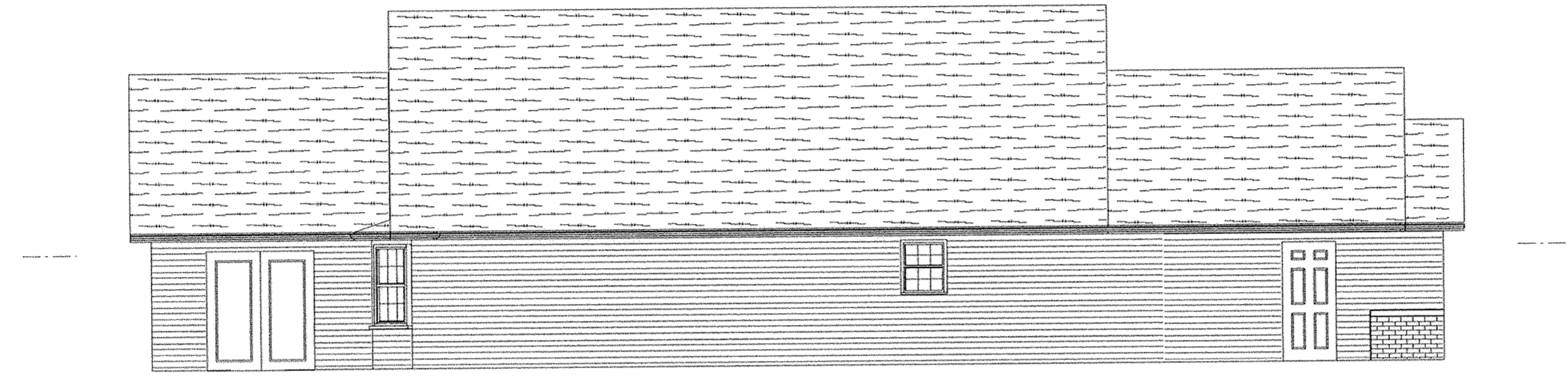
4028 Brookshore Dr.
Unit No. 5

Living Area = 1960 s.f.
Garage Area = 381 s.f.
Screened Porch = 308 s.f.

Springbrook Greens Condominiums
4028 Brookshore Dr.
SCALE: 1/8" = 1'-0"
10-02-00



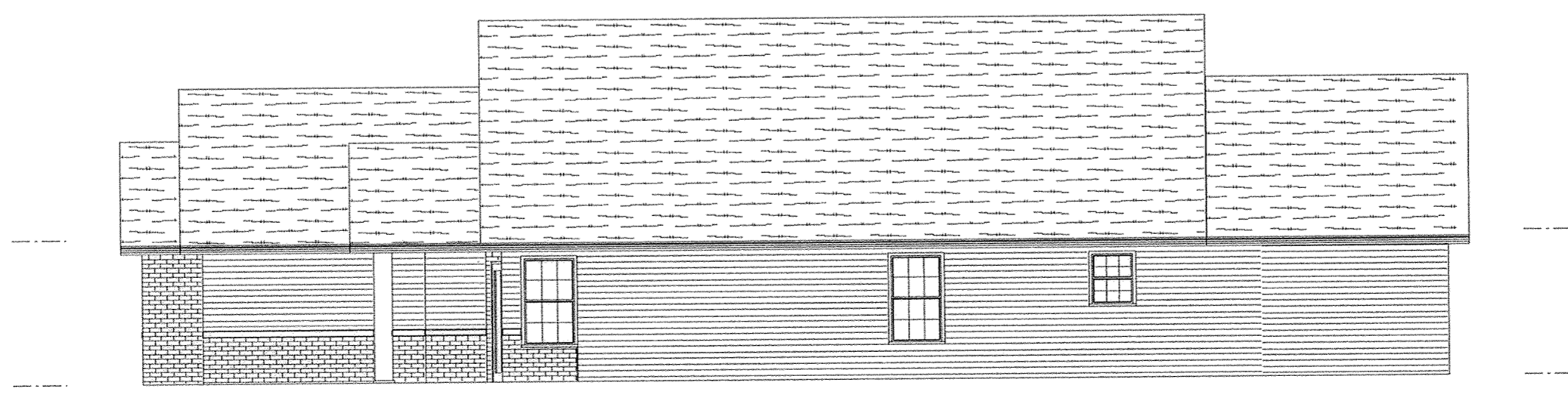
FRONT ELEVATION



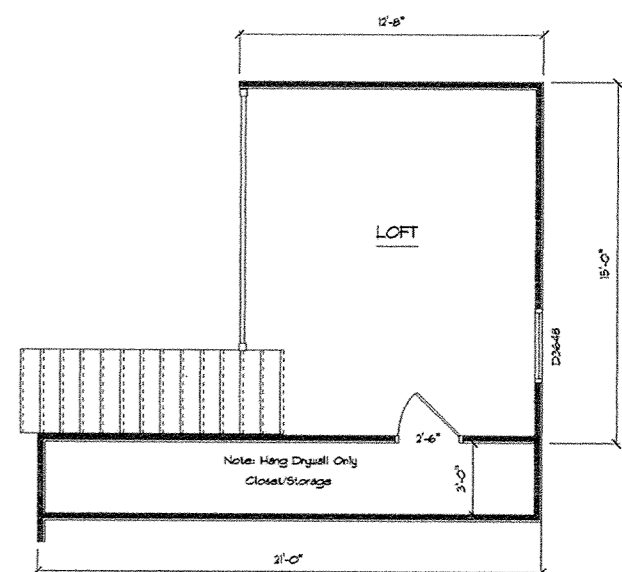
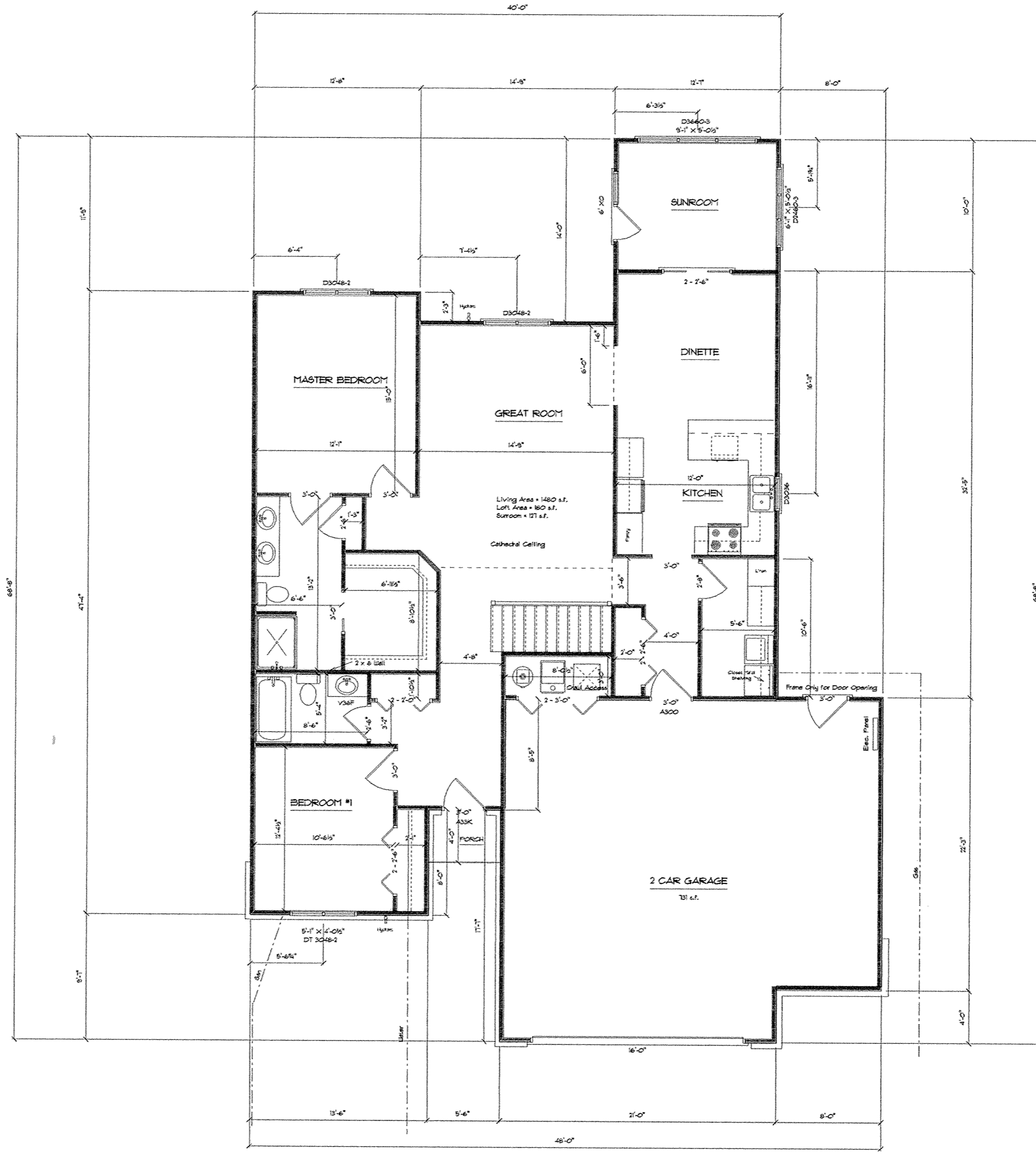
LEFT ELEVATION



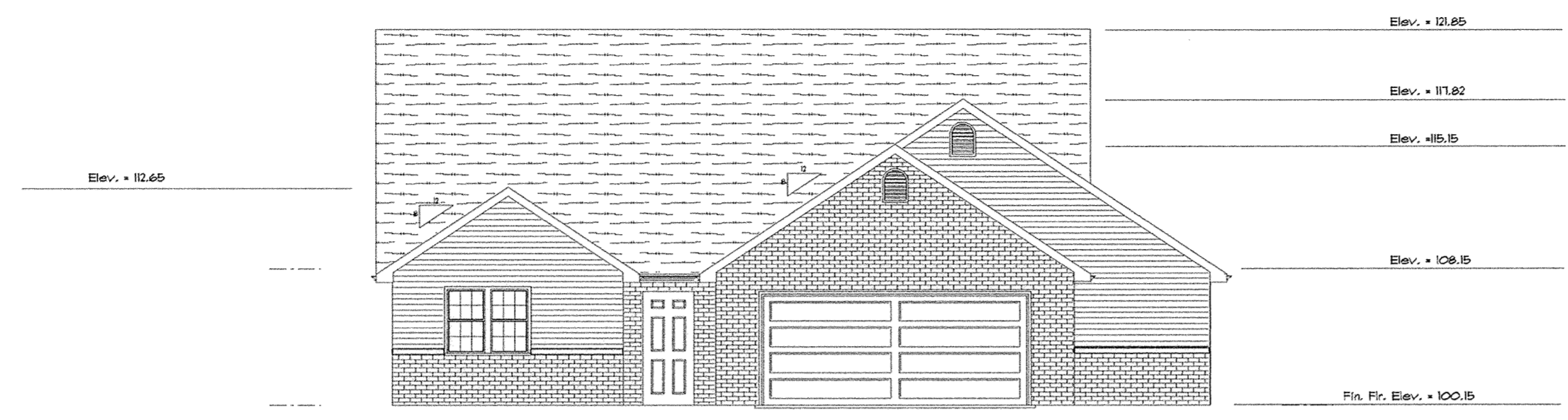
REAR ELEVATION



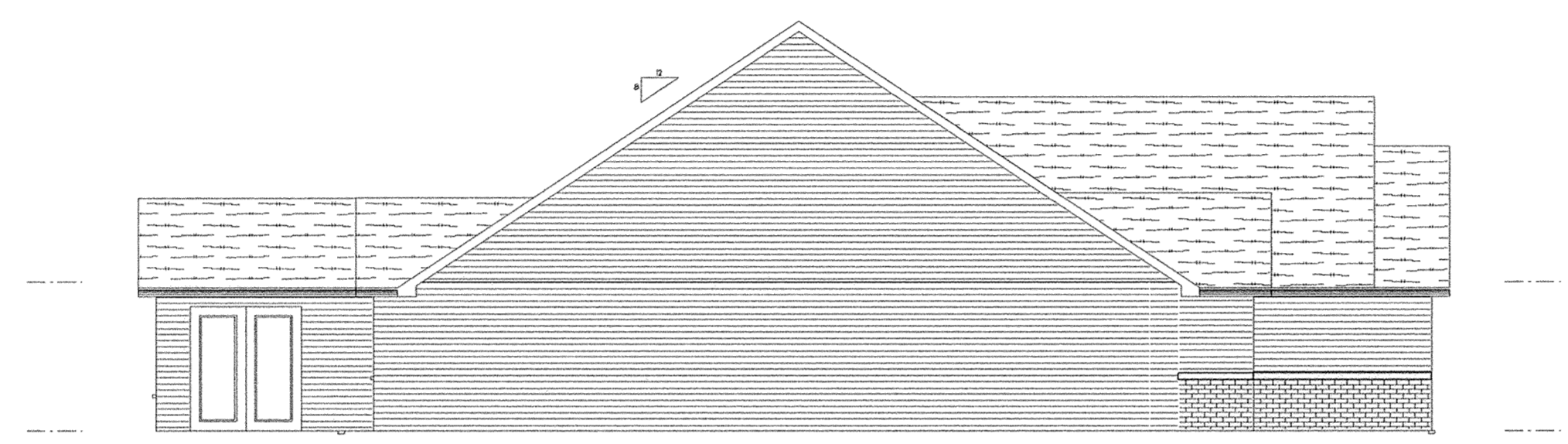
RIGHT ELEVATION



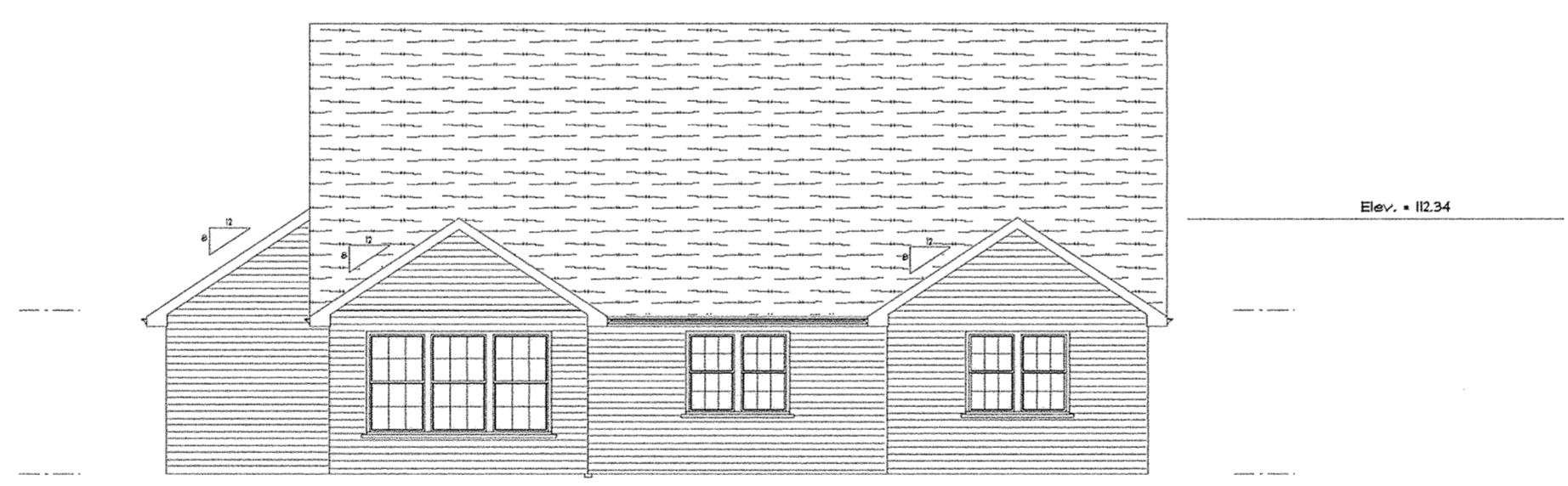
114 Brookview Ct.
Unit No. 6



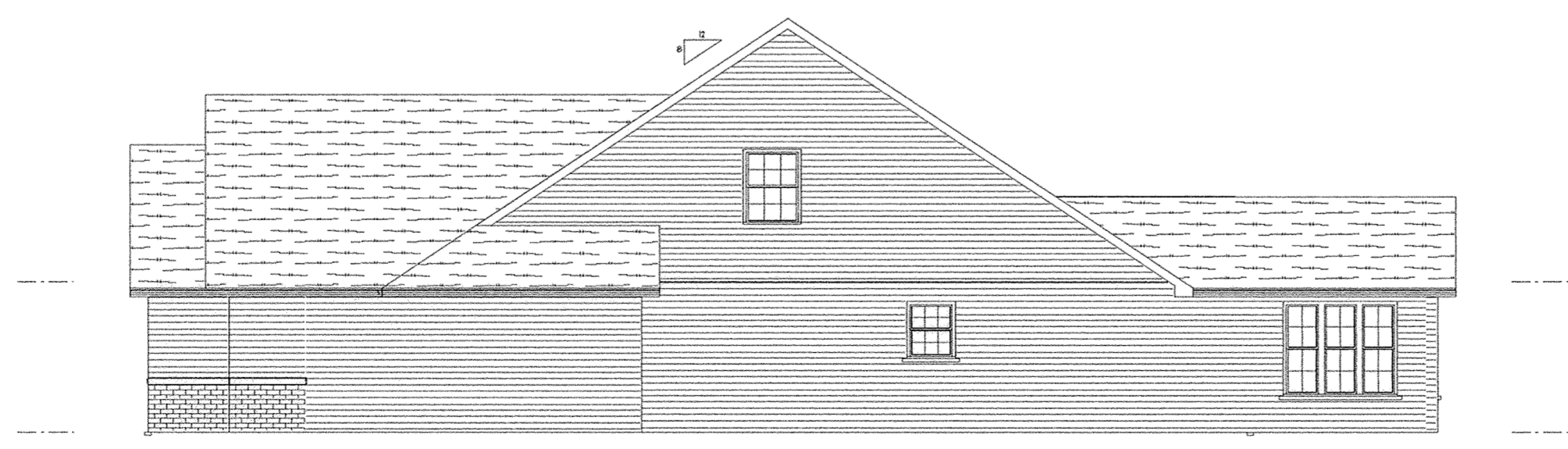
FRONT ELEVATION



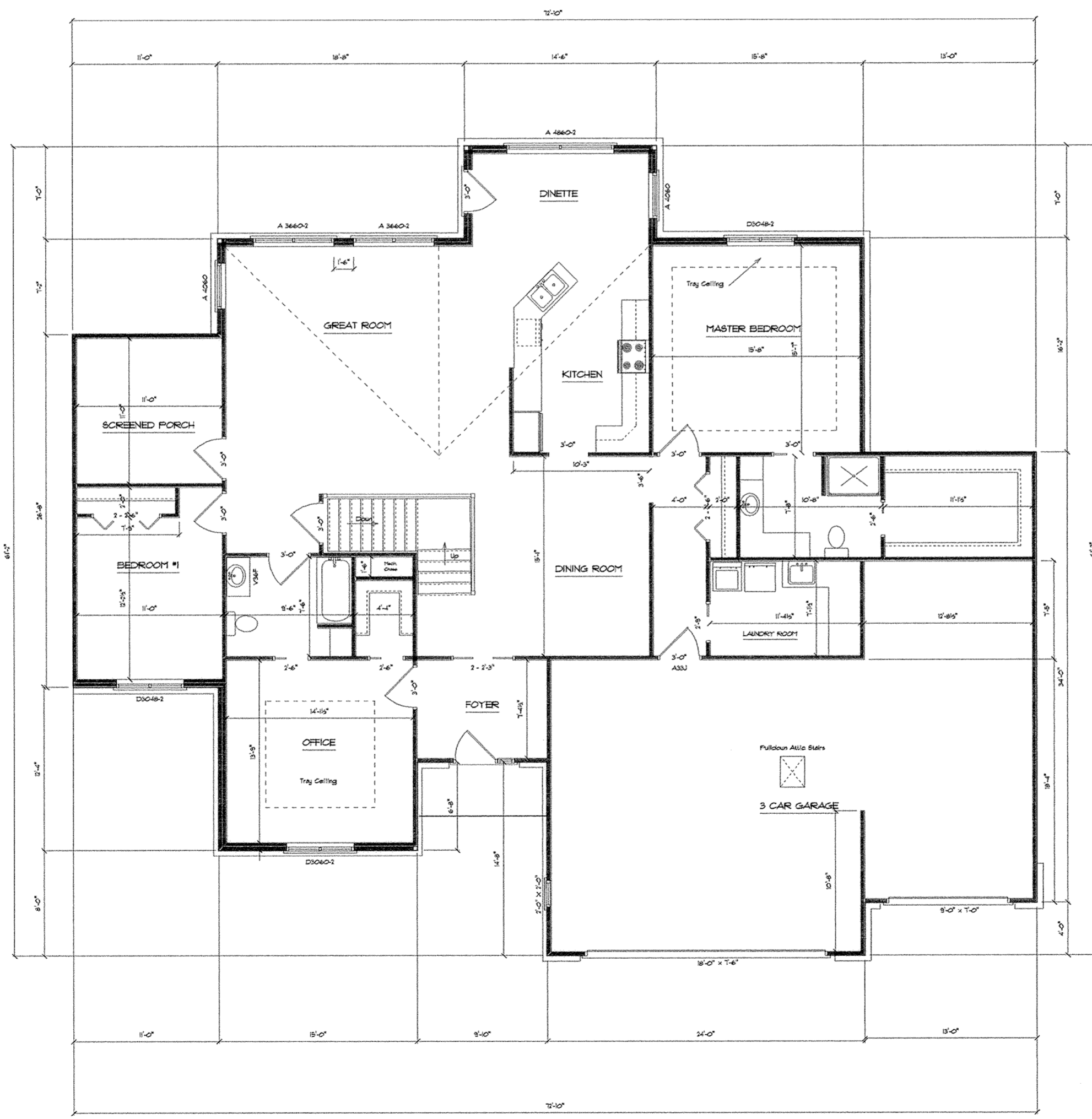
LEFT ELEVATION



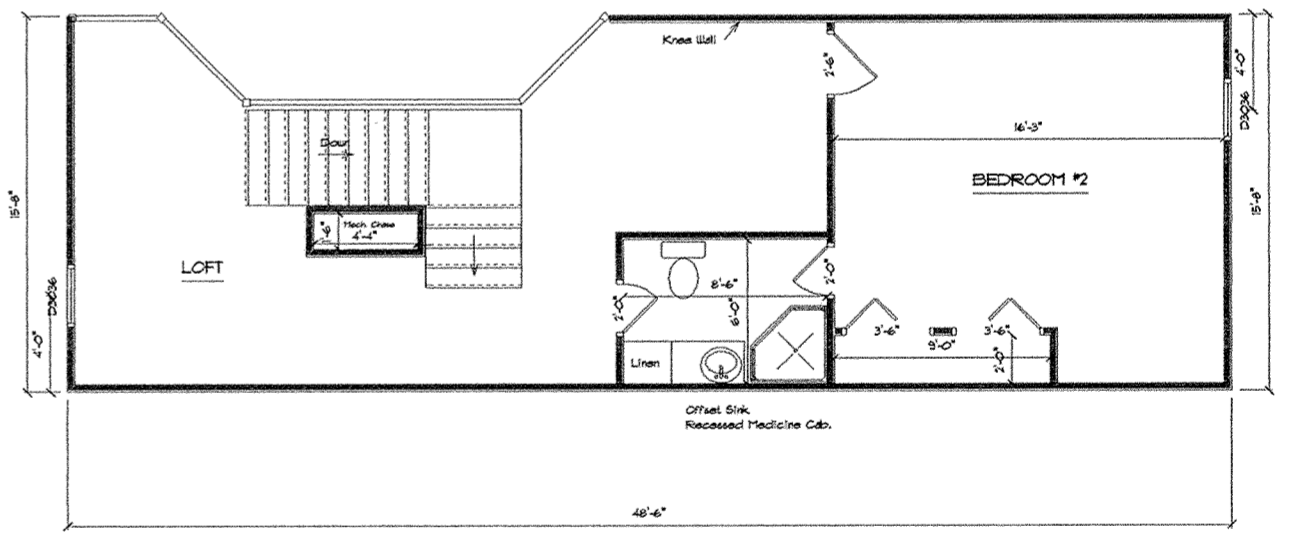
REAR ELEVATION



RIGHT ELEVATION



110 Brookview Ct.
Unit No. 1



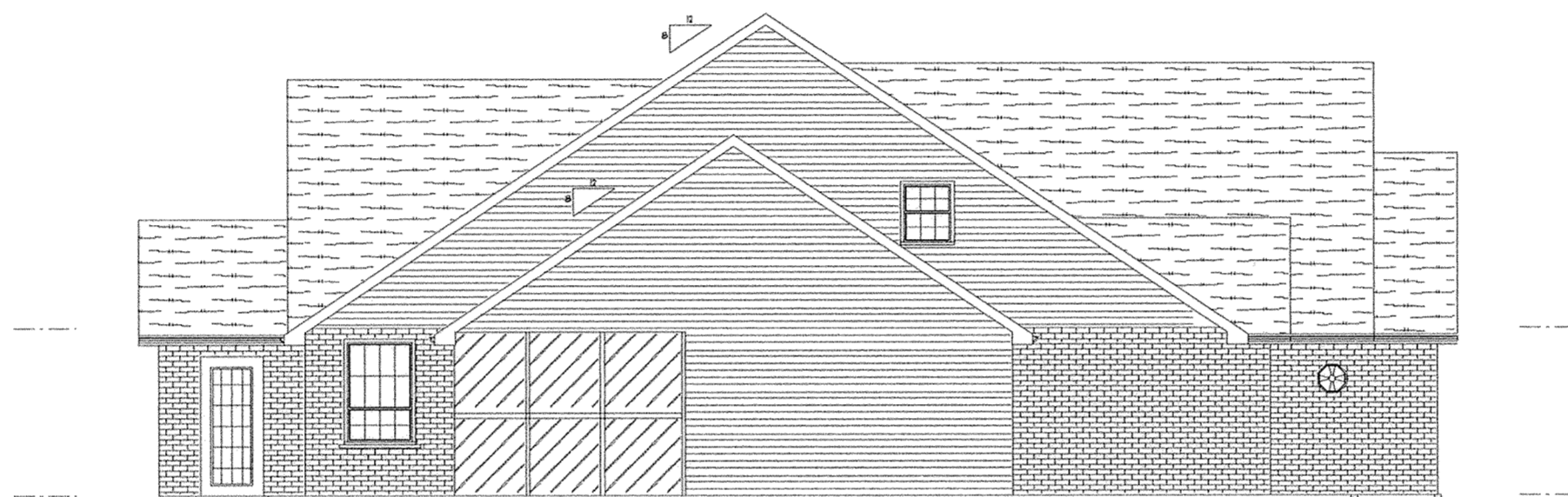
Living Area = 2239 s.f.
 Loft Area = 687 s.f.
 Screen Porch = 121 s.f.
 Garage = 875 s.f.

Note: All window openings except the Office window shall be recessed 6" on each side to allow for verticals.

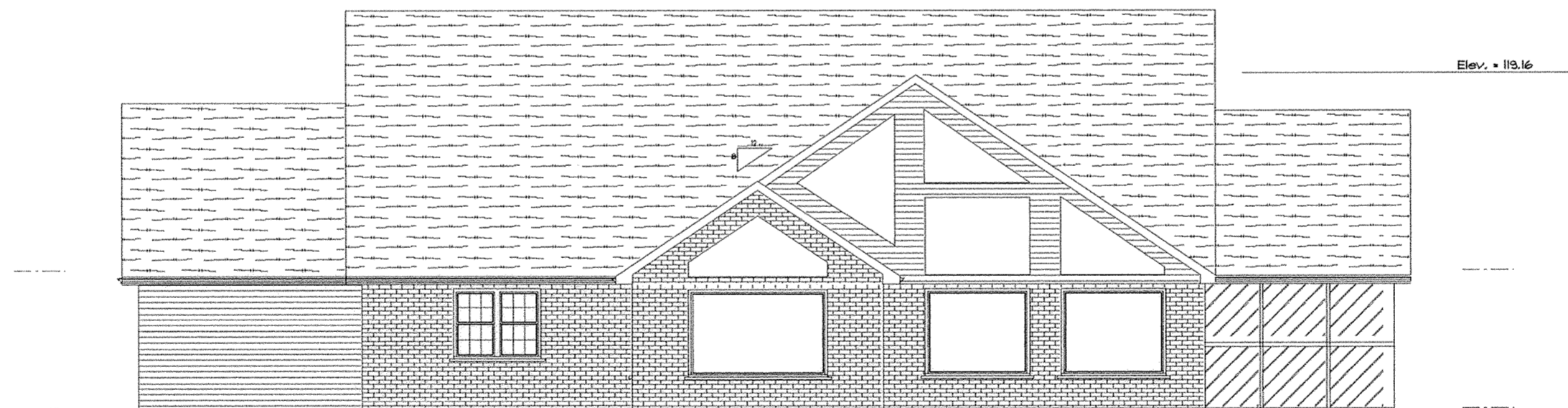
Springbrook Greens Condominiums
 110 Brookview Ct.
 SCALE: 1/8" = 1'-0"
 6-21-00



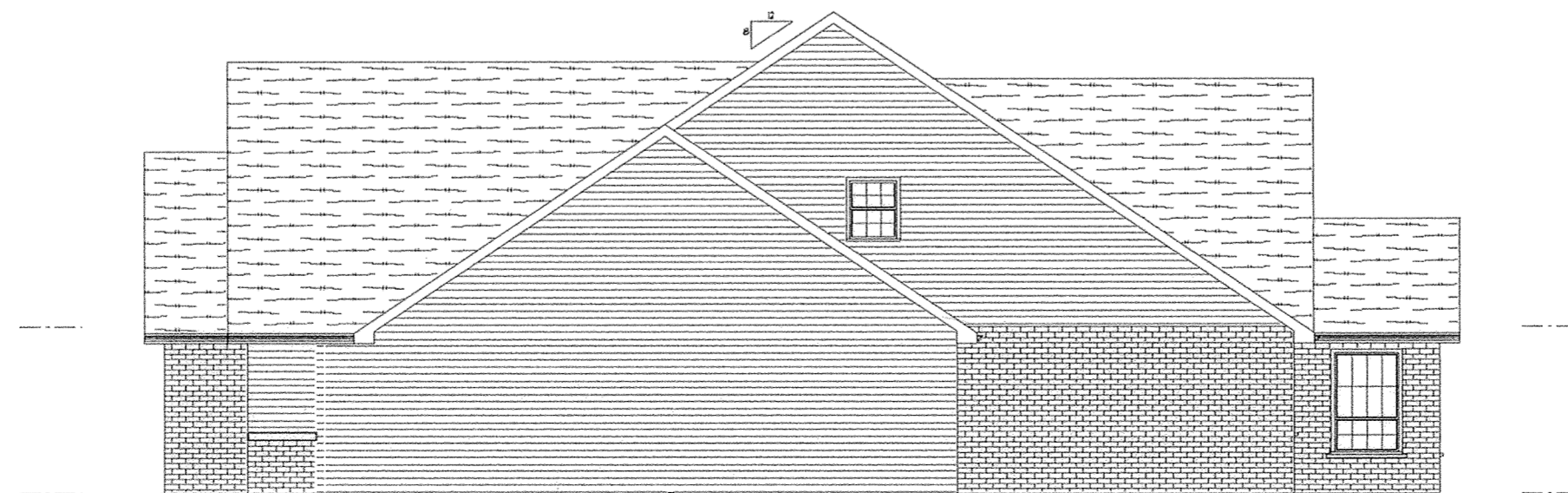
FRONT ELEVATION



LEFT ELEVATION



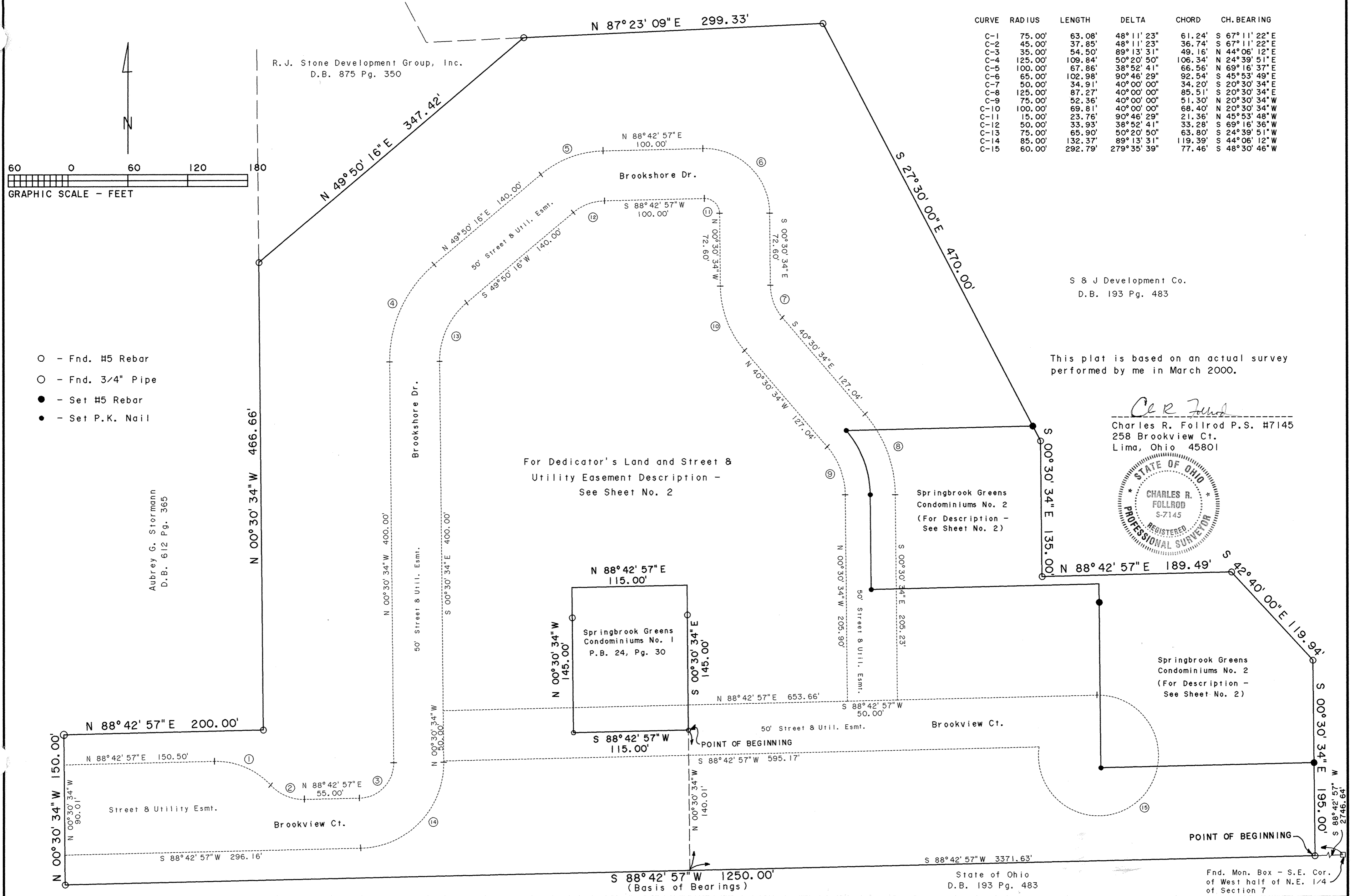
REAR ELEVATION



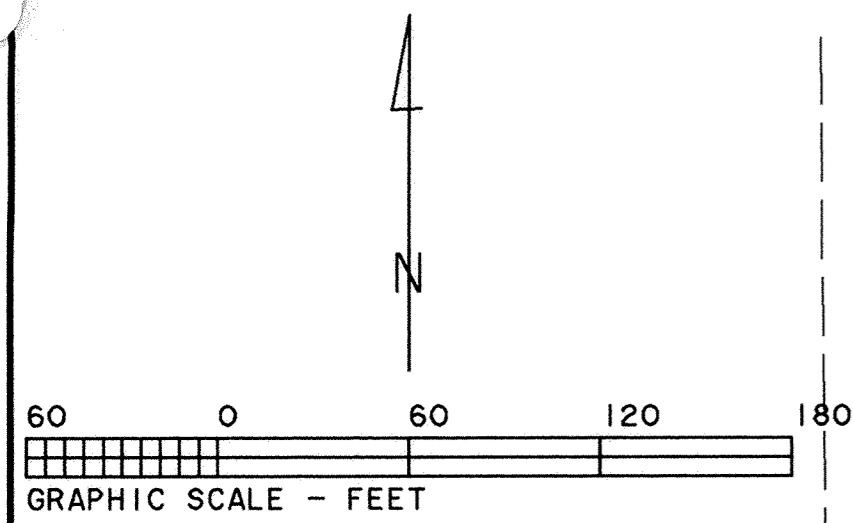
RIGHT ELEVATION

SPRINGBROOK GREENS CONDOMINIUMS NO. 2

Survey of Dedicator's Land



CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	75.00'	63.08'	48° 11' 23"	61.24'	S 67° 11' 22" E
C-2	45.00'	37.85'	48° 11' 23"	36.74'	S 67° 11' 22" E
C-3	35.00'	54.50'	89° 13' 31"	49.16'	N 44° 06' 12" E
C-4	125.00'	109.84'	50° 20' 50"	106.34'	N 24° 39' 51" E
C-5	100.00'	67.86'	38° 52' 41"	66.56'	N 69° 16' 37" E
C-6	65.00'	102.98'	90° 46' 29"	92.54'	S 45° 53' 49" E
C-7	50.00'	34.91'	40° 00' 00"	34.20'	S 20° 30' 34" E
C-8	125.00'	87.27'	40° 00' 00"	85.51'	S 20° 30' 34" E
C-9	75.00'	52.36'	40° 00' 00"	51.30'	N 20° 30' 34" W
C-10	100.00'	69.81'	40° 00' 00"	68.40'	N 20° 30' 34" W
C-11	15.00'	23.76'	90° 46' 29"	21.36'	N 45° 53' 48" W
C-12	50.00'	33.93'	38° 52' 41"	33.28'	S 69° 16' 36" W
C-13	75.00'	65.90'	50° 20' 50"	63.80'	S 24° 39' 51" W
C-14	85.00'	132.37'	89° 13' 31"	119.39'	S 44° 06' 12" W
C-15	60.00'	292.79'	279° 35' 39"	77.46'	S 48° 30' 46" W



R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

S & J Development Co.
D.B. 193 Pg. 483

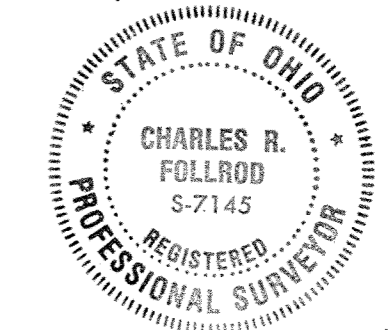
- - Fnd. #5 Rebar
- - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

This plat is based on an actual survey performed by me in March 2000.

Aubrey G. Stormann
D.B. 612 Pg. 365

For Dedicator's Land and Street & Utility Easement Description - See Sheet No. 2

Springbrook Greens Condominiums No. 2
(For Description - See Sheet No. 2)



Charles R. Follrod P.S. #7145
258 Brookview Ct.
Lima, Ohio 45801

N 88° 42' 57" E 115.00'

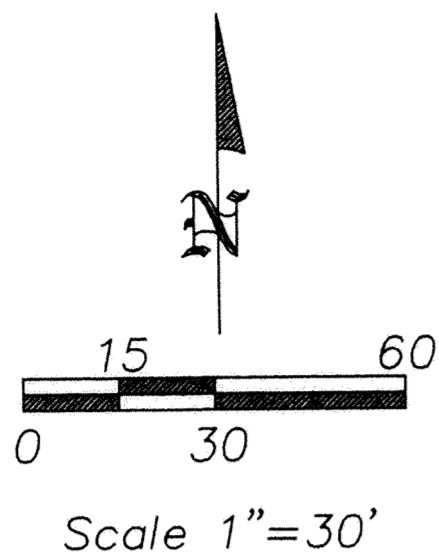
Springbrook Greens Condominiums No. 1
P.B. 24, Pg. 30

Springbrook Greens Condominiums No. 2
(For Description - See Sheet No. 2)

State of Ohio
D.B. 193 Pg. 483

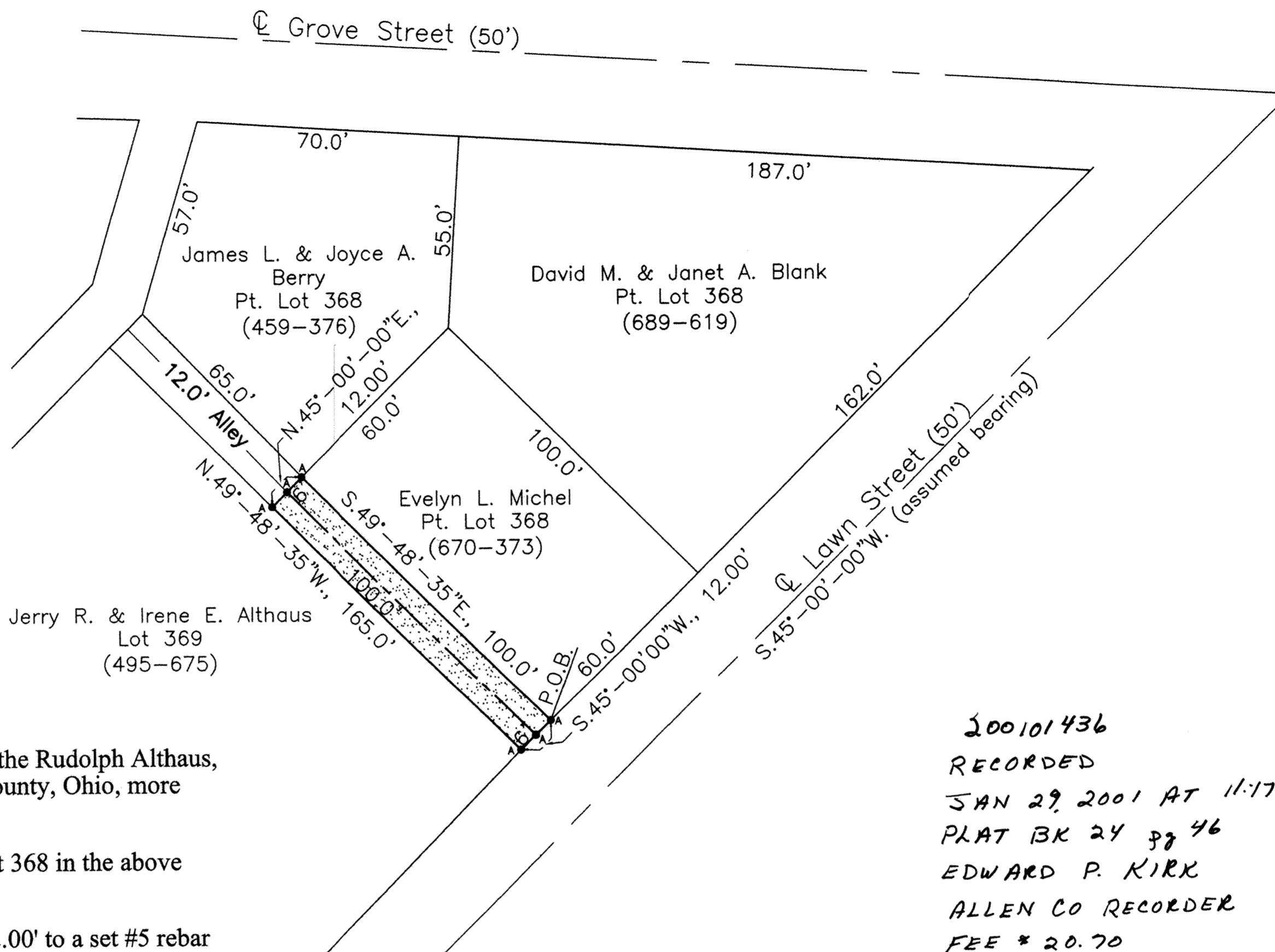
Fnd. Mon. Box - S.E. Cor. of West half of N.E. 1/4 of Section 7

ALLEY VACATION PLAT



LEGEND

A - Set #5 rebar



DESCRIPTION

Being part of a 12' wide alley between Lot 368 & 369 in the Rudolph Althaus, etal Addition (P.B. 4, Pg. 40), Village of Bluffton, Allen County, Ohio, more particularly described as follows:

Beginning at a set #5 rebar at the southeast corner of Lot 368 in the above referenced subdivision, thence the following courses;

1. S.45°-00'-00"W. on the west side of Lawn Street, 12.00' to a set #5 rebar at the east corner of Lot 369, passing over a set #5 rebar at 6.00';
2. N.49°-48'-35"W. on the north line of Lot 369, 100.00' to a set #5 rebar;
3. N.45°-00'-00"E., 12.00' to a set #5 rebar at the northwest corner of the Evelyn J. Michel property as described in D.V. 670-373, passing over a set #5 rebar at 6.00';
4. S.49°-48'-35"E. on the south line of Lot 368, 100.00' to the POINT OF BEGINNING.

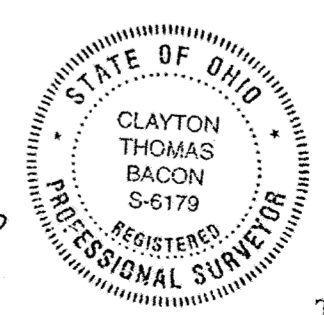
The above-described area to be vacated is 0.028 acre, subject to any legal easements or restrictions of record. A bearing of S.45°-00'-00"W. was assumed for the centerline of Lawn Street.

This description and plat is based on an actual field survey performed by Bacon & Associates, LLC on 9-17-00.

200101436
 RECORDED
 JAN 29 2001 AT 11:17AM
 PLAT BK 24 pg 46
 EDWARD P. KIRK
 ALLEN CO RECORDER
 FEE * 20.70

DEED VOL 878
 Pg 330

Clayton J. Bacon
 Clayton J. Bacon, Reg. Sur. #6179
 9-25-00



This plat represents an actual field survey performed on 9-6-00.

Prepared By
Bacon & Associates, L.L.C.
 4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

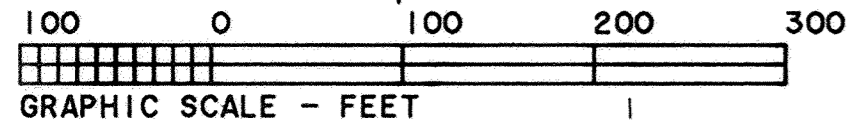
Althaus & Sutter
 Richland Township, Allen County, Ohio
 Lots 368 & 369 Rudolph Althaus etal Addition

File:
 150-00
 Revisions:
 Date: 9-26-00
 Drawn: msh

AMANDA LAKES NO. 3

PART OF THE NW 1/4 OF SECTION 16 & NE 1/4 OF SECTION 17 T4S, R6E, SHAWNEE TWP., ALLEN CO., OHIO

For Affidavit as to
Witness See Deed
Vol 880, Pg 58



Amanda Lakes No. 1
P.B. 19 Pg. 32 28884

Wintergreen Dr.

Amanda Lakes No. 2
P.B. 23 Pg. 17

Shawnee Meadows No. 7
P.B. 15 Pg. 1 27635

For Curve Data - See
Sheet No. 2

Zurmehly Rd. R/W = 1.130 ac.
New Streets R/W = 5.715 ac.
Total Area of Lots = 38.008 ac.

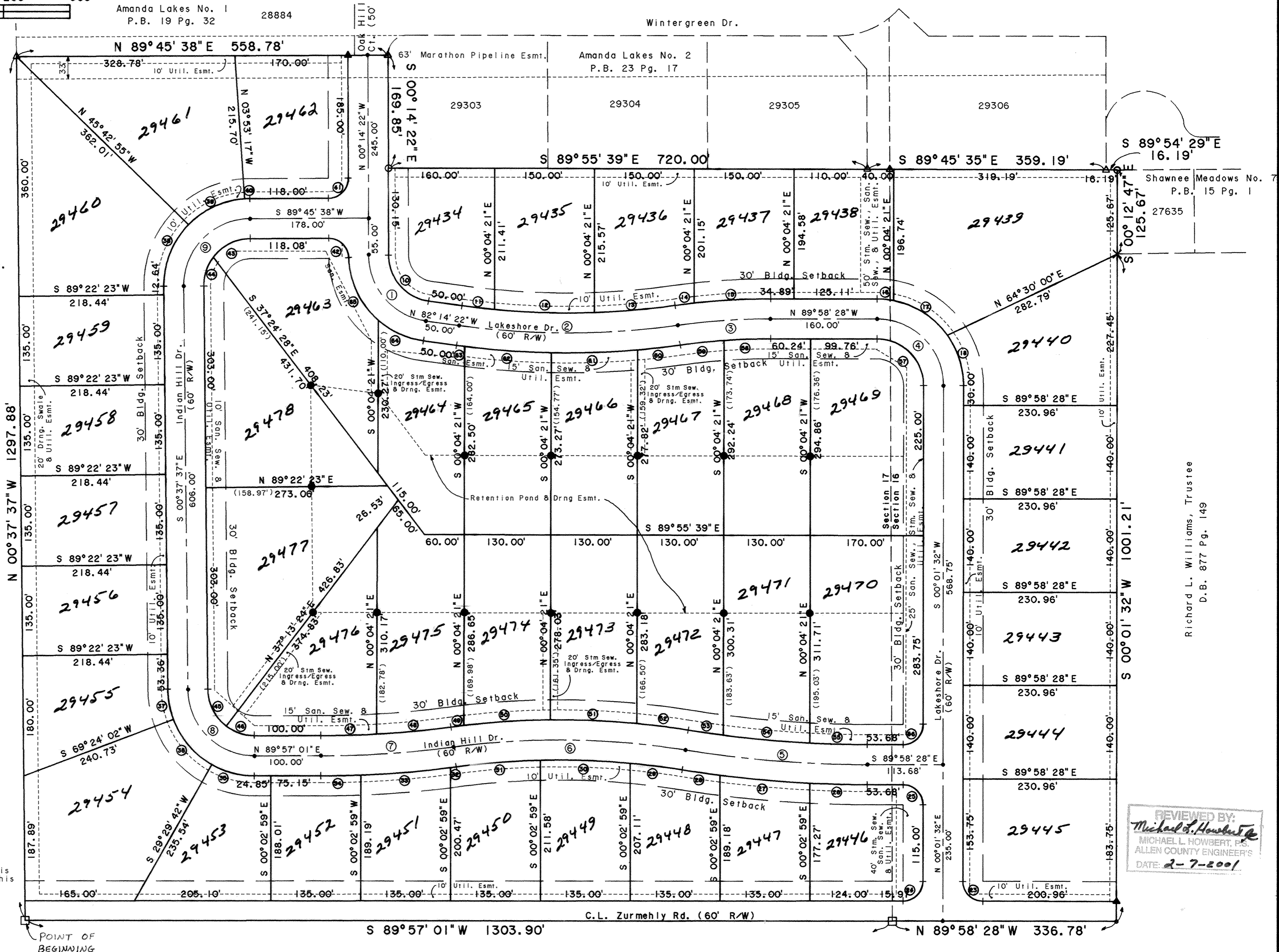
Carl E. & Jody Feliz
D.B. 729 Pg. 466

Richard L. Williams, Trustee
D.B. 877 Pg. 149

- - Found Monument Box
- △ - Found Concrete Mon.
- - Found #5 Rebar
- - Found P.K. Nail
- X - Found 1" Pinched Pipe
- - Set P.K. Nail
- - Set #5 Rebar
- ▲ - Set Concrete Mon.

A #5 Rebar will be set
at all lot corners

Note: All easements delineated on this
sheet are being created as part of this
plat.



REVIEWED BY:
Michael L. Howbert
MICHAEL L. HOWBERT, P.E.
ALLEN COUNTY ENGINEER'S
DATE: 2-7-2001

Curve Data

Table with columns: CURVE, RADIUS, LENGTH, DELTA, CHORD, CH. BEARING. Lists curve data for curves C-1 through C-65.

AMANDA LAKES NO. 3

APPROVAL OF THE REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and accept this plat this 7th day of February, 2001.

Signature of Executive Director, Regional Planning Commission.

COUNTY RECORDER'S CERTIFICATION

200102075 Filed for record this 7th day of Feb, 2001, at 10:54 AM clock in the office of the County Recorder and recorded in Plat Book 24, on Page 47. #103.50

Signature of Recorder, Allen County, Ohio.

COUNTY AUDITOR'S CERTIFICATION

This plat filed for transfer this 7th day of February, 2001.

Signature of Auditor, Allen County, Ohio.

SURVEYOR'S CERTIFICATION

I hereby certify that this plat is based on a true and accurate survey made by me in May 1992. A 5/8 inch rebar topped with a plastic cap stamped P.S. 7145 will be set at all lot corners. All markers are or will be in place within six (6) months from the date of recording.



Signature of Charles R. Follrod, R & A Engineers Inc., 258 Brookview Ct., Lima, Ohio 45801.

DESCRIPTION (Amanda Lakes No. 3)

Being a parcel of land in the NW 1/4 of Section 16 and the NE 1/4 of Section 17, T4S, R6E, Shawnee Township, Allen County, Ohio and more particularly described as follows:

BEGINNING at a found monument box at the southwest corner of the SE 1/4 of the NE 1/4 of said Section 17, thence the following courses:

- 1. N00°37'37"W with the west line of the SE 1/4 of the NE 1/4 of said Section 17, 1297.88' to a found concrete monument;
2. N89°45'38"E with the south line of Amanda Lakes No. 1, 558.78' to a found concrete monument;
3. S00°14'22"E with the west line of Amanda Lakes No. 2, 169.85' to a found #5 rebar;
4. S89°55'39"E with the south line of Amanda Lakes No. 2, 720.00' to a found concrete monument;
5. S89°45'35"E with the south line of Amanda Lakes No. 2, 359.19' to a found concrete monument;
6. S89°54'29"E, 16.19' to a found #5 rebar;
7. S00°12'47"E with the west line of Shawnee Meadows No. 7, 125.67' to a found pinched pipe;
8. S00°01'32"W, 1001.21' to a set P.K. nail on the south line of the NW 1/4 of Section 16 (also being the centerline of Zurmehly Rd.);
9. N89°58'28"W with the south line of the NW 1/4 of Section 16 (also being said centerline), 336.78' to a found monument box at the southwest corner of the NW 1/4 of said Section 16;
10. S89°57'01"W with the south line of the SE 1/4 of the NE 1/4 of Section 17 (also being said centerline), 1303.90' to the POINT OF BEGINNING.

The above described parcel contains 44.853 acres more or less of which 8.784 acres are in Section 16 and 36.069 acres are in Section 17, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 16 (N89°58'28"W)

Prior Deedholder: Richard L. Williams (D.B. 527, Pg. 754)

The following easements shall be vacated as shown on Sheet No. 3

Easement No. 1 (40' Ditch Easement)

Being a 40' easement for channel purposes in the NW 1/4 of Section 16 and the NE 1/4 of Section 17, T4S, R6E, Shawnee Township, Allen County, Ohio, and more particularly described as follows:

BEGINNING at a found monument box at the Southwest corner of the NW 1/4 of said Section 16, thence the following courses:

- 1. S89°57'01"W with the south line of the NE 1/4 of said Section 17 (also being the centerline of Zurmehly Road), 13.94';
2. N00°00'00"E, 598.82';
3. N21°35'43"W, 129.06';
4. N00°00'00"E, 409.48' to a point on the south line of Amanda Lakes No. 2;
5. S89°55'39"E with the south line of Amanda Lakes No. 2, 22.83' to a found concrete monument;
6. S89°45'35"E with the south line of Amanda Lakes No. 2, 17.17';
7. S00°00'00"E, 409.38';
7. S21°35'43"E, 129.06';
8. S00°00'00"E, 598.82' to a point on the south line of the NW 1/4 of said Section 16;
9. N89°58'28"W with the south line of the NW 1/4 of said Section 16 (also being the centerline of Zurmehly Road), 26.06' to the POINT OF BEGINNING.

The above described easement contains 1.036 acres, more or less, of which 0.399 acres are in Section 16 and 0.637 acres are in Section 17, subject to all legal highways and easements of record.

Easement No. 2 (50' Ditch Easement)

Being a 50' easement for channel purposes in the NE 1/4 of Section 17, T4S, R6E, Shawnee Township, Allen County, Ohio, and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the NE 1/4 of said Section 17, thence S89°57'01"W with the south line of the NE 1/4 of said Section 17 (also being the centerline of Zurmehly Road), 61.44'; thence N00°00'00"E, 903.86' to the POINT OF BEGINNING, thence the following courses:

- 1. N90°00'00"W, 1246.23';
2. N00°14'22"W, 392.91' to a point on the south line of Amanda Lakes No. 1;
3. N89°45'38"E with the south line of Amanda Lakes No. 1 50.00';
4. S00°14'22"E, 343.12';
5. N90°00'00"E, 1196.44';
6. S00°00'00"W, 50.00' to the POINT OF BEGINNING.

The above described easement contains 1.824 acres, more or less, subject to all legal highways and easements of record.

Easement No. 3 (20' Sanitary Sewer Easement)

Being a 20' easement for sanitary sewer purposes in the NE 1/4 of Section 17, T4S, R6E, Shawnee Township, Allen County, Ohio, and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the NE 1/4 of said Section 17, thence S89°57'01"W with the south line of the NE 1/4 of said Section 17 (also being the centerline of Zurmehly Road), 1.44'; thence N00°00'00"E, 593.81' to the POINT OF BEGINNING, thence the following courses:

- 1. N90°00'00"W, 20.00';
2. N00°00'00"W, 534.38' to a point on the south line of Amanda Lakes No. 2;
3. S89°45'35"E with the south line of Amanda Lakes No. 2, 20.00';
4. S00°00'00"E, 534.29' to the POINT OF BEGINNING.

The above described easement contains 0.245 acres, more or less, subject to all legal highways and easements of record.

DEDICATION

Richard L. Williams being the owner of the described premises, does hereby voluntarily consent to the execution of said plat, and dedicate the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever, save and except pipeline easements owned by Magnolia, Marathon, Buckeye or any other transmission, products, or oil pipeline companies.

OWNERS: Richard L. Williams; WITNESS: James M. Williams.

ACKNOWLEDGMENT

State of Ohio, County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.

IN WITNESS thereof, I affix my hand and seal this 6th day of February, 2001.

My Commission Expires

March 3, 2001

Signature of Notary Public, Kendra S. Keener.

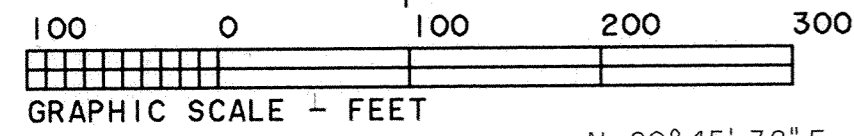
AMANDA LAKES NO. 3

Easement Vacation Plat

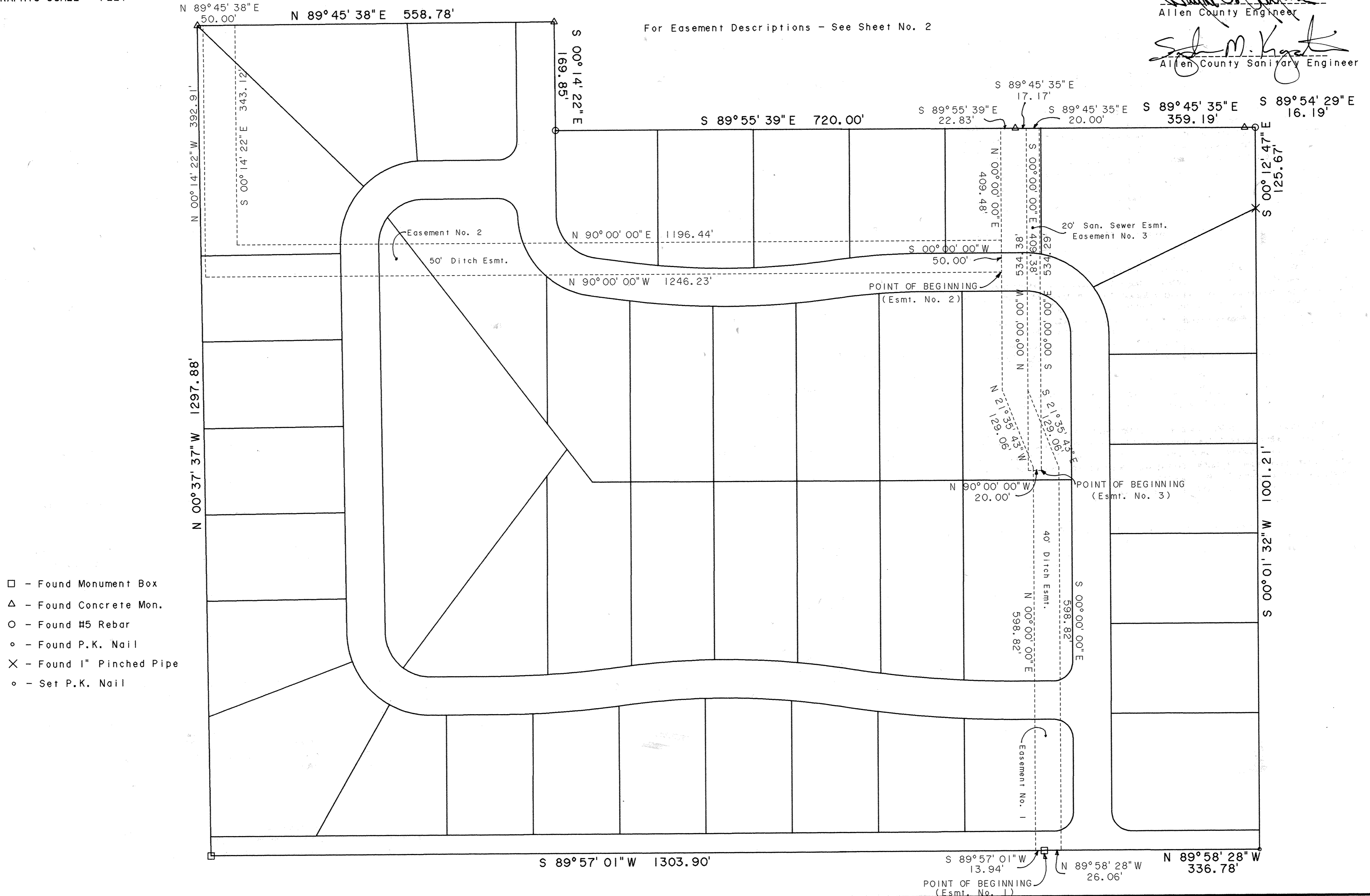
All easements shown on this plat sheet are being vacated and this vacation is hereby approved by the Allen County Engineer and Allen County Sanitary Engineer this 7th day of February, 2001.

[Signature]
Allen County Engineer

[Signature]
Allen County Sanitary Engineer



For Easement Descriptions - See Sheet No. 2



- - Found Monument Box
- △ - Found Concrete Mon.
- - Found #5 Rebar
- - Found P.K. Nail
- × - Found 1" Pinched Pipe
- - Set P.K. Nail

AMANDA LAKES NO. 3

DEED RESTRICTIONS

As part of a general plan for the development of the real estate shown on the foregoing plat, as a residential area, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, the restrictions, covenants, reservations, liens and charges hereinafter set forth, each and all of which is and are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property, and each and every parcel thereof, and shall apply to and be binding upon the purchasers and successors in interest and the restrictions, covenants, reservations, easements, liens, and charges applicable to each tract, lot, or parcel shall inure to the benefit of and be enforceable by the purchaser or purchasers of every other tract, lot or parcel and their successors in interest.

The tract, lots and parcels of real estate shown and described on this plat are and shall be held, transferred, sold and conveyed subject to the following conditions, restrictions, covenants, reservations, easements, liens and charges;

- 1.) The words "lots" or "building site" shall be construed to mean and shall refer to one or more lots shown on the foregoing plat.
- 2.) No buildings or structures other than one family residences not to exceed two and one half stories in height, together with customary out-buildings, such as private garages, home workshops and home greenhouses, incidental to the residential use of such building sites shall be erected, maintained or permitted upon any building site. Any out-buildings must conform in style and architecture to the appearance of the house.
- 3.) All buildings shall be constructed of new material and no buildings or other structures whatsoever erected elsewhere shall be permitted to be moved upon any building site without the written permission of the Architectural Committee hereafter referred to.
- 4.) No buildings, structures, pool, lakes or ponds of any kind shall be located on any building site nearer than thirty (30) feet from the front property line or nearer than ten (10) feet from the side or rear property line (except on corner lots where no structure shall be located nearer than thirty (30) feet from the street side property line). The restrictions as to the distance at which buildings shall be placed from the front, side and rear lines shall apply to and include porches, port-cocheres, and other similar projections. All residential structures located on building sites must front on a street, excepting that structures on corner lots may be located diagonally thereon.
- 5.) No one or two floor residential structure shall be erected on any building site, where the habitable floor area of which exclusive of basement, open porches and garage shall be less than 2500 square feet. The same square footage shall be required on the tri-level structures and the main floor plus the upper level plus one-half the finished lower level shall be added to obtain the square footage. On lots bordering Zurmehly Road or the central lake, the exterior of all structures shall consist of real wood and /or masonry construction materials or approved equal. On all other lots, the exterior of all structures, save and except for the rear exterior of all structures shall consist of real wood, masonry or approved equal. The roofing materials shall be wood, fiberglass, asphalt shingles or approved equal. All gutters and downspouts shall be metal or plastic. All swimming pools shall be constructed in ground. All chimneys shall consist of masonry construction.
- 6.) No building or other structure shall be erected, placed or altered on any building site unless the building plans, specifications and plot plan showing the horizontal and vertical location of such building with existing and proposed topography, have been approved in writing, as to conformity and harmony of external design and color with the existing structures in the subdivision, and as to the floor location of the building with reference to topography and finished ground elevation, by an Architectural Committee composed of three individuals appointed by Richard L. Williams. In the event of the death or resignation of any member of the Committee originally appointed, the remaining members or member of the Committee shall have the power to appoint new members to fill vacancies.
- 7.) No walls, fences or hedges, except retaining walls not extending above ground level, shall be erected or planted on any building site. Privacy fencing and deck railings shall be permitted where the same is installed around the immediate patio area, provided that said patio area is located to the rear of the residence. Said privacy fence shall not be erected or altered until the plans and specifications showing the nature, kind, shape, height, materials, and location of the same have been submitted to and approved in writing as to the harmony of the external design and location in relation to surrounding structures and topography by the Board of Directors of the Association, or by the Architectural Committee as herein referenced. The foregoing does not apply to tennis courts, vegetable gardens or swimming pools.
- 8.) No animals, livestock or poultry shall be kept or maintained on any of said building sites, except ordinary household pets which do not constitute an annoyance or nuisance, nor shall any house or travel trailers, campers or motor homes or boats or boat trailers or snow mobile trailers, or any other such type equipment be stored or permitted to remain upon any building site, except inside of garage.
- 9.) No oil, gas or water wells shall be drilled nor shall any mining or commercial excavating operation of any kind be conducted on any building site.
- 10.) Subject to the provisions of Article 2 of these Covenants, no trade or activity of a business nature shall be carried on upon any building site nor shall anything be done thereon which may be or may become an annoyance or nuisance.
- 11.) Water used for air conditioning, from downspouts or from land tile drainage shall not be discharged into storm sewer or splash blocks.
- 12.) Off street parking must be provided at each home site for at least six (6) automobiles, two (2) of which can be in the garage and the balance of which can be in the driveway.
- 13.) An easement for utility purposes is hereby expressly reserved to Richard L. Williams, the present owner of all building sites and to his administrators, executors, successors and assigns and to the purchasers of any building sites, their heirs, executors, administrators and assigns as shown on the plat sheet for Amanda Lakes Subdivisions Number Three.
- 14.) No house may be occupied until completed.
- 15.) Garbage and other wastes shall be kept only in sanitary containers which shall be kept in a clean and sanitary condition, and shall be so placed and screened by shrubbery, fencing or other appropriate means so as not to be visible from any road, or within sight distance of any lot boundary at any time except during refuse collection.
- 16.) Seeding and landscape work shall be completed within one (1) year from start of construction of dwelling to the satisfaction of developer. In the event the seeding and landscape work is not performed in the stipulated time period or to the satisfaction of the developer, the said work shall be performed by others and paid by buyer.
- 17.) By acceptance of a deed or other instrument conveying title to a lot or lots in Amanda Lakes Subdivision Number Three, the owner or grantee shall accept and be deemed to have accepted the obligation to participate physically or financially in the continued maintenance of the planted area located in the roadway at the entrance to the Subdivision. Hard surface material of macadam or concrete shall be installed in driveways and driveway aprons within two years from start of construction of dwelling.
- 18.) Owners of each lot shall be prohibited from filling roadway, roadway side ditches and drainage swales.
- 19.) No resident shall construct or erect a satellite dish receiving device which is greater in diameter than 30 inches, or construct or cause to be erected any type of an exterior antenna.
- 20.) Easements and rights-of-way are reserved in and over lots shown on the plat for construction, operation, and maintenance of poles, wires, or other facilities therewith for the transmission of electricity, telephone, drainage facilities, construction, operation and maintenance of drains, sewers, and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished, or performed in any method above or beneath the surface of the ground. Easements shown upon the plat may be used by utility companies and public agencies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, trees or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.
- 21.) Upon receipt of warranty deed, it shall be mandatory for each Lot Owner or Homeowner to be a member of the Amanda Lakes Number Three Neighborhood Association. For purposes of assessments and voting rights, the Developer, Richard L. Williams, is deemed as a single lot owner, regardless of the number of lots owned. All building contractors shall be exempt from said obligation to membership until such time as either lot shall transfer or dwelling is occupied.
- 22.) The Amanda Lakes Number 3 Neighborhood Association, a non-profit organization, shall be responsible for the repairs and maintenance of all common aesthetic features, lakes, and the entrance at Zurmehly Road for the purpose of adhering to the rules and guidelines used in connection with the repairs, maintenance, and usage of the aforementioned common features in the Subdivision, all lot owners, their successors and assigns, located in the Amanda Lakes #3 Subdivision shall automatically become a member of the Amanda Lakes #3 Neighborhood Association by accepting a deed or contract or any other legally binding conveyance for any lot or lots purchased within the platted Subdivision and agrees to and shall become a member of the Amanda Lakes #3 Association and be subject to the obligations and duly enacted rules, bylaws and guidelines of said Association. All such lot owners in the Amanda Lakes #3 Subdivision shall be subject to an annual fee or assessment of One Hundred Dollars (\$100.00). All such lot owners having title to lakefront or waterfront lots shall be subject to an annual fee or assessment of Four Hundred Dollars (\$400.00). Single dwellings occupying 1½ or 2 lots shall be charged one assessment fee by the Amanda Lakes #3 Neighborhood Association. The Association reserves the right to increase or decrease said fees or assessments as required by the expense of the anticipated repairs and maintenance of the above mentioned common aesthetic features in the Subdivision. The Amanda Lakes #3 Neighborhood Association shall be responsible for the stewardship, collection of fees and assessments. A copy of said rules, bylaws, and guidelines shall be available from the Developer or Architectural Committee upon request.
- 23.) Any use of the pond constructed by the developer in Amanda Lakes No. 3 shall be restricted to the property owners which own lots directly adjacent to the pond.
- 24.) The foregoing restrictions, covenants and conditions shall run with the land and shall be binding on all future owners of all building sites and all persons claiming under them until January 1, 2010, after which time said restrictions, covenants and conditions shall be automatically extended for successive periods of ten (10) years each, provided that following the initial sale of all of the lots in Amanda Lakes Subdivision Number Three, the owners of three fourths majority of the building sites may, in writing change, modify, alter, amend or annul any of the restrictions, reservations or conditions at any time.
- 25.) Should any one or more of the foregoing restrictions, covenants or conditions at any time in the future be held illegal, void or unenforceable, such fact shall not in any way impair the validity of any of the other restrictions, covenants or conditions, all of which shall remain in full force and effect.

AMANDA LAKES NO. 3

SURVEY OF DEDICATOR'S LAND

DESCRIPTION

(Amanda Lakes No. 3 Dedicator's Land)

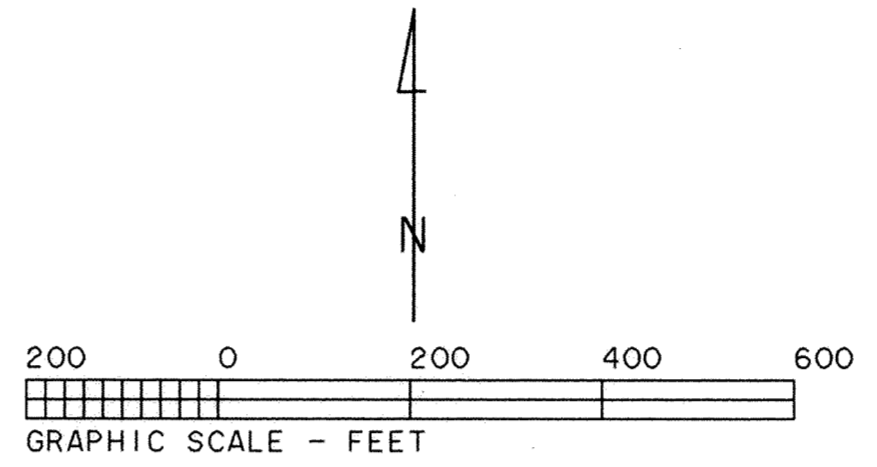
Being a parcel of land in the NW 1/4 of Section 16 and the NE 1/4 of Section 17, T4S, R6E, Shawnee Township, Allen County, Ohio and more particularly described as follows:

BEGINNING at a found monument box at the southwest corner of the SE 1/4 of the NE 1/4 of said Section 17, thence the following courses:

1. N00°37'37"W with the west line of the SE 1/4 of the NE 1/4 of said Section 17, 1297.88' to a found concrete monument;
2. N89°45'38"E with the south line of Amanda Lakes No. 1, 558.78' to a found concrete monument;
3. S00°14'22"E with the west line of Amanda Lakes No. 2, 169.85' to a found #5 rebar;
4. S89°55'39"E with the south line of Amanda Lakes No. 2, 720.00' to a found concrete monument;
5. S89°45'35"E with the south line of Amanda Lakes No. 2, 359.19' to a found concrete monument;
6. S89°54'29"E, 16.19' to a set #5 rebar;
7. S00°12'47"E, 125.67' to a found pinched pipe;
8. N89°58'13"E, 1569.43' to a found pinched pipe;
9. S00°16'45"E, 518.32' to a set #5 rebar;
10. S24°29'49"E, 334.64' to a set #5 rebar;
11. S00°11'28"E, 179.96' to a set P. K. nail on the south line of the NW 1/4 of Section 16 (also being the centerline of Zurmehly Rd.);
12. N89°58'28"W with the south line of the NW 1/4 of Section 16 (also being said centerline), 2048.55' to a found monument box at the southwest corner of the NW 1/4 of said Section 16;
13. S89°57'01"W with the south line of the SE 1/4 of the NE 1/4 of Section 17 (also being said centerline), 1303.90' to the POINT OF BEGINNING.

The above described parcel contains 82.061 acres more or less of which 45.992 acres are in Section 16 and 36.069 acres are in Section 17, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 16 (N89°58'28"W)



- - Found Mon. Box
- △ - Found Concrete Mon.
- - Found #5 Rebar
- - Found Iron Pipe
- × - Found Pinched Pipe
- ▲ - Set Concrete Mon.
- - Set #5 Rebar
- - Set P.K. Nail

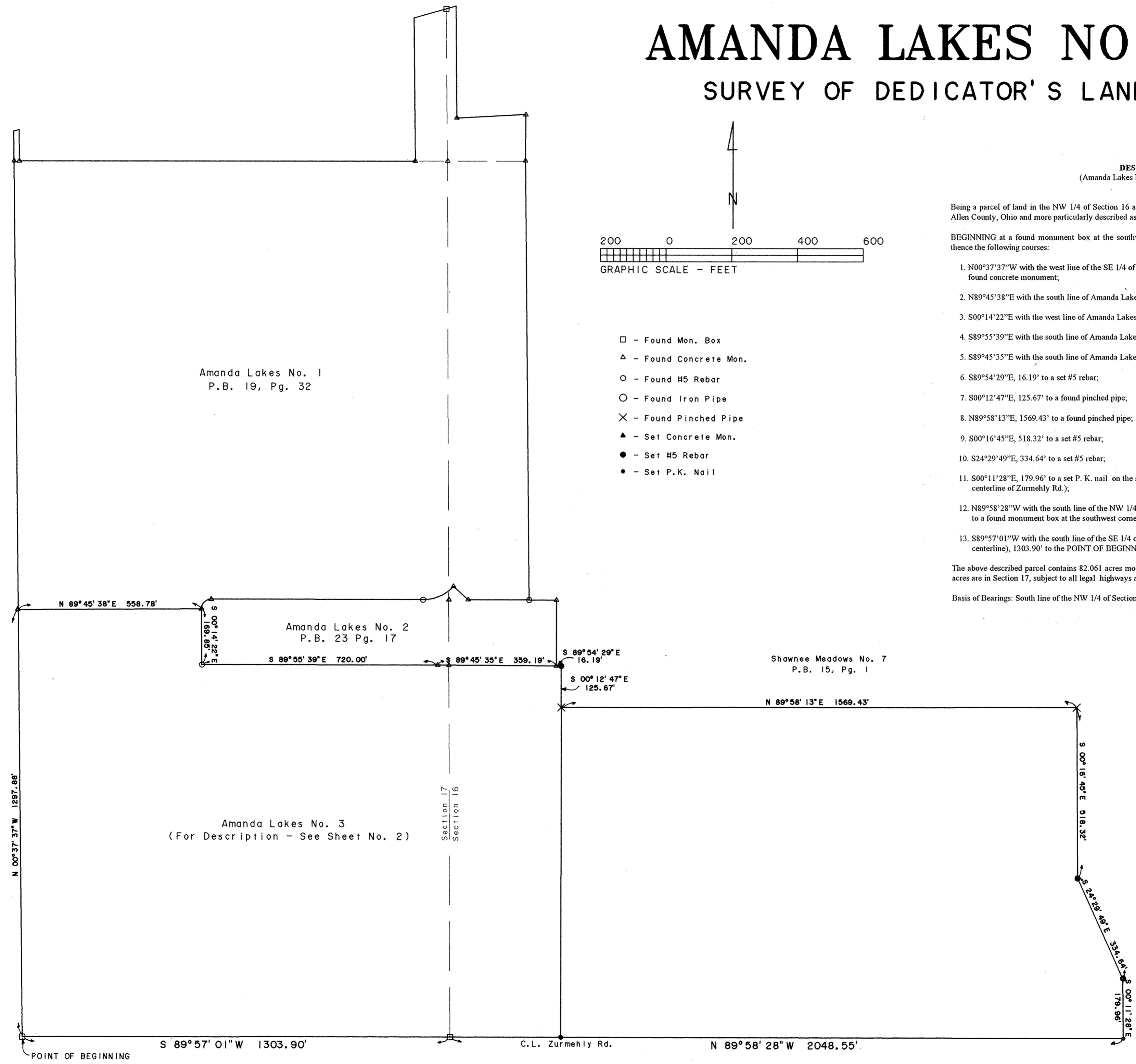
Amanda Lakes No. 1
P.B. 19, Pg. 32

Amanda Lakes No. 2
P.B. 23 Pg. 17

Shawnee Meadows No. 7
P.B. 15, Pg. 1

Shawnee Meadows No. 5
P.B. 13, Pg. 212

Amanda Lakes No. 3
(For Description - See Sheet No. 2)



Carl & Jody Feliz
D.B. 729, Pg. 466

REPLAT OF LOTS 29410 AND 29411 SHARON PARK BUSINESS CENTER IN THE S.W. 1/4 OF SECTION 34 T 3 S - R 6 E AMERICAN TOWNSHIP ALLEN COUNTY, OHIO

Description

Being parcels of land situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, more particularly described as follows:

All of Lot Number 29410 (Tax Parcel 36-3410-02-030.000) in Sharon Park Business Center as recorded in Plat Book 24, Page 18. Containing in all 4.886 acres of land.

Also, a Part of Lot Number 29411 (Tax Parcel 36-3410-04-021.000) in Sharon Park Business Center as recorded in Plat Book 24, Page 18, more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin set marking the northwest corner of said Lot 29411 -
Thence N 89°-46'-51" E on and along the north line of said Lot for a distance of 95.61 feet to a 5/8-inch iron pin set -

Thence S 00°-04'-27" E for a distance of 160.00 feet to a 5/8-inch iron pin set -
Thence N 89°-46'-51" E for a distance of 160.00 feet to a concrete monument set on the west line of Sharon Addition #1

(Plat Book 9, Page 100) -
Thence S 00°-04'-27" E for a distance of 656.90 feet to a concrete monument set -
Thence S 76°-49'-04" W for a distance of 172.96 feet to a concrete monument set -
Thence N 06°-05'-19" W for a distance of 54.61 feet to a concrete monument set -
Thence S 89°-48'-07" W for a distance of 118.19 feet to a concrete monument set on the east line of Vera Way -
Thence on and along the east line of Vera Way and the west line of Lot 29411 with the following three (3) courses:
1) N 09°-04'-11" E for a distance of 150.19 feet to a 5/8-inch iron pin set -
2) With a curve to the left having a radius of 280.00 feet, an arc length of 40.41 feet, and a chord bearing N 04°-56'-06" E for a distance of 40.38 feet -
3) N 00°-48'-02" E for a distance of 612.99 feet to the place of beginning.

Containing in all 4.414 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on field surveys performed in October, 1999, and February, 2001, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

NOTE: All iron pins set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

LEGEND	
□	BRONZE SURVEYORS MARKER (UNLESS OTHERWISE STATED)
○	5/8" IRON PIN FOUND (NO CAP)
●	5/8" IRON PIN SET & CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
●	CONCRETE MONUMENT SET
●	PK NAIL SET

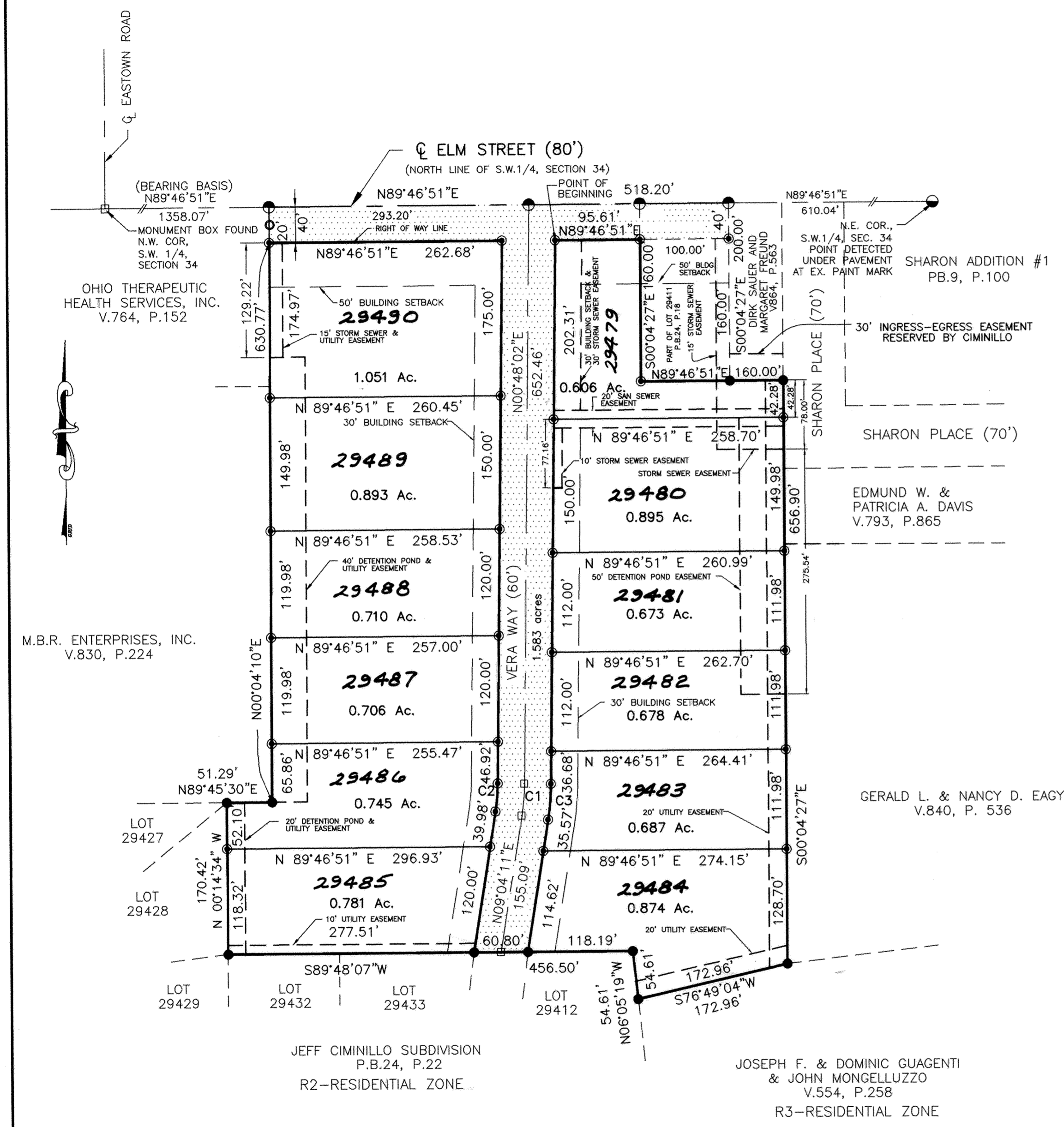
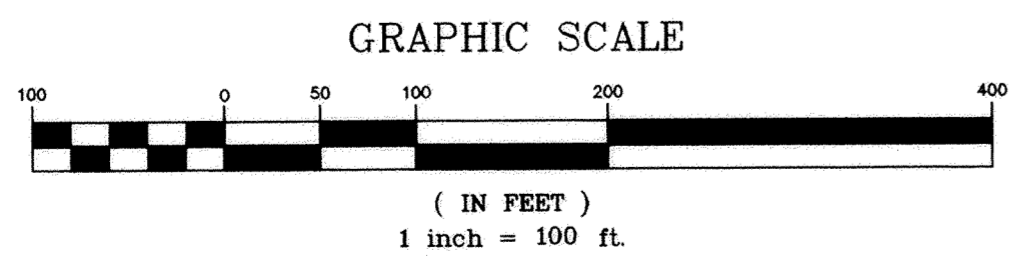
REVIEWED BY:
M. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 3/14/01

DEVELOPER : JEFF CIMINILLO
2811 KIMBERLY DRIVE
LIMA, OHIO 45807
TEL 419-224-1114

PREPARED BY:
SHELDON ENGINEERING & SURVEYING
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E. & P.S.

ZONING:
B1-BUSINESS

CURVE TABLE							
STREET	CURVE	LENGTH	RADIUS	TANGENT	BEARING	CHORD	DELTA
VERA WAY	C1	36.08	250.00	18.07	N 04°56'06" E	36.05	08°16'09"
	C2	31.75	220.00	15.90	N 04°56'06" E	31.72	08°16'09"
	C3	40.41	280.00	20.24	N 04°56'06" E	40.38	08°16'09"



DRAINAGE MAINTENANCE ASSESSMENT

ALL FEE HOLDERS AND ALL RECEIVING TITLE TO THE FEE THROUGH THEM ARE SUBJECT TO PAYMENT OF DRAINAGE MAINTENANCE FEES ASSESSED OR TO BE ASSESSED BY THE COUNTY PURSUANT TO OHIO REVISED CODE SECTIONS 6131 AND 6137. A SPECIFIC AND DISTINCT DITCH MAINTENANCE FUND SHALL BE CREATED AS PER THE REFERENCED SECTIONS OF THE OHIO REVISED CODE FOR THIS PROJECT.

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN THEREON, COMPRISING A TOTAL OF 1.583 ACRES, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, STORM SEWER, OPEN DITCH, SANITARY SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

Paul E. Bowen
WITNESS

Jeffrey M. Ciminillo
JEFFREY M. CIMINILLO

Janet H. [Signature]
WITNESS

Eunice M. Shock, Trustee
EUNICE M. SHOCK, TRUSTEE

NOTARY PUBLIC

STATE OF OHIO
ss:
ALLEN COUNTY

BE IT REMEMBERED THAT ON THIS 15th DAY OF March, 2001, PERSONALLY CAME THE SAID JEFFREY M. CIMINILLO AND EUNICE M. SHOCK, ~~Trustee~~ TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Paul E. Bowen
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO

MY COMMISSION EXPIRES: Lifetime

APPROVAL BY THE REGIONAL PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON 13 March 2001. THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

13-March 2001
DATE

Thomas M. Maguire
DIRECTOR OF THE LIMA-ALLEN COUNTY
REGIONAL PLANNING COMMISSION

ALLEN COUNTY COMBINED HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE ALLEN COUNTY COMBINED HEALTH DISTRICT.

3/14/01
DATE

Bill Kelly
DIRECTOR, ALLEN COUNTY
COMBINED HEALTH DISTRICT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON March 16, 2001.
FEE: \$ 6.00

H. Dean French
ALLEN COUNTY AUDITOR

COUNTY RECORDER 200104402

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON MAR 16, 2001 AND THAT IT WAS RECORDED ON MAR 16 11:00 AM 24, PAGE 52, PLAT RECORDS OF ALLEN COUNTY, OHIO, FEE: \$ 62.10

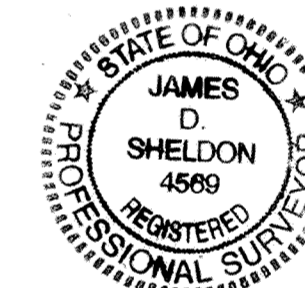
Edward P. Keil, Jr.
ALLEN COUNTY RECORDER

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN OCTOBER, 1999 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

9 MAR 2001
DATE

James D. Sheldon
JAMES D. SHELDON, P.E., P.S.
OHIO REGISTERED SURVEYOR #4569



COUNTY ENGINEER'S CERTIFICATION

HAVING CHECKED THE CONSTRUCTION OF THE STREETS IN THE SUBDIVISION, I FIND THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH ON THE PLANS AND REGULATIONS THEREOF, AND THAT THEY ARE IN GOOD REPAIR AND THIS ENDORSEMENT SHALL CONSTITUTE ACCEPTANCE OF THE STREETS FOR PUBLIC USE.

IF THE STREETS HAVE NOT BEEN INSTALLED, I AM IN AGREEMENT WITH THE PERFORMANCE BOND TO ENSURE THE COMPLETION OF CONSTRUCTION WHICH HAS BEEN FILED WITH AND APPROVED BY THE PLANNING COMMISSION.

3/14/01
DATE

[Signature]
COUNTY ENGINEER

SUBDIVISION RESTRICTIONS
SHARON PARK BUSINESS CENTER

The property contained in the Sharon Park Business Center is to be made subject to the restrictions, rights, reservations, limitations, agreements, covenants, and conditions set forth below. These are being imposed to create a planned development of high quality, to assure the orderly and attractive development of the property in an efficient and harmonious manner, and to maintain a harmonious relationship among the structures and the natural vegetation and topography thereon.

These restrictions, rights, reservations, limitations, agreements, covenants, and conditions are intended to complement the American Township Zoning Ordinances and other laws and, where conflict occurs, the more rigid requirement shall prevail.

1. INTRODUCTION.

No improvement of any kind shall be constructed, erected, placed, altered, maintained or permitted to remain on any of the building sites until the plans and specifications with respect thereto showing the nature, shape, size, architectural design, material, location, and landscaping, paving plans, curbing and storm drainage have been submitted to and approved, in writing, by the Architectural Review Committee or its designee (hereafter "Committee") established hereafter.

The statement of intended use shall include all uses, presently and in the future, to which the owner or lessee will put the improvement which is submitted for approval. The drawings shall include, without limitation, plot plans showing proposed land contouring or grades, buildings, parking areas with parking stalls indicated, loading facilities, access areas, elevations, and signs. The specifications shall describe types of construction, colors and materials to be used. Approval of drawings shall be obtained from the Committee before application for a building permit is made and before plans are filed.

2. LANDSCAPING.

A) Landscaping Standards and Approval. Natural resources will be utilized within the Business Center wherever possible. Detailed landscaping plans, together with irrigation plans, must be approved by the Committee. All lots must leave a grass border of not less than seven feet (7') along any property line bordering on a road right of way. Where no platted easements interfere, trees, appropriately spaced, must be planted in the grass border.

B) Outside Storage and Equipment. Outdoor storage (i.e., materials, supplies, equipment, waste containers, etc.) shall be permitted only where screened from view by a permanent wall or other appropriate permanent screen approved by the Committee and shall be confined to approved locations. This provision shall not be applicable to the materials, equipment and supplies stored in relation to and as a part of the construction of the permanent structures upon a parcel, which materials, equipment and supplies shall be removed immediately upon completion of construction. Auto repair shops or other shops which would store automobiles or parts outside are prohibited.

C) Fences and Exterior Attachments. No fence, wall, or mass planting shall be erected or installed without the prior approval of the Committee. These, and exterior attachments and lighting, must be approved in the same manner as buildings or other improvements.

D) Lighting. All lighting, including business identification signs, must be arranged or shielded so as to avoid excessive glare reflecting onto any adjacent parcel. All lots bordering on the interior streets must have at least one (1) uniform street light located on the side of the parcel that borders on the interior street and must be within the seven-foot (7') grass border specified in Paragraph A above. The type and size of this light will be decided by the Committee.

3. YARD REQUIREMENTS.

A) Building Lines and Construction Requirements. All buildings and improvements shall be erected in conformity with the platted building lines. All unplatted parcels and future plats will conform, in general, to the building lines of parcels already platted within the properties, particularly with adjacent parcels. In any event, all front yard building setbacks shall be as platted. All interior side yard setbacks and all rear yard setbacks shall conform to American Township Zoning Regulations. Any accessory buildings and enclosures, whether attached to or detached from main building, shall be constructed of similar compatible design and materials.

B) Parking Requirements and Driveways. All parking areas shall be paved unless otherwise approved by the Committee. Off-street parking within the right of way of a dedicated street shall not be permitted. The number of parking spaces shall conform to any minimum set by American Township Zoning Regulations, or one space for every one and one-half (1-1/2) employees in the largest working shift, whichever is greater.

C) Loading Areas. All loading and unloading of vehicles shall be conducted upon the parcel and not on any right of way. No loading dock may be placed on any side of a building having street frontage. Sufficient loading and unloading places, with provisions for handling all freight regardless of method of delivery, shall be provided for each parcel and shall be located only on the sides or the back of the building. Loading docks and doors shall be screened from view by appropriate planting or screen walls which are compatible with the building design and materials.

D) Maintenance. The grounds of each parcel shall be maintained in a neat, presentable manner. It shall be the duty of the owners, lessees, sub-lessees, and/or occupants of each and every unimproved parcel with access to a road to keep the weeds and/or grass cut in their respective portions.

All owners, lessees, sub-lessees, and/or occupants shall carefully maintain their parcels and all improvements of whatever nature thereon in a safe, clean and wholesome manner and in first-class condition and repair at all times. All exterior painted surfaces shall be maintained in first-class condition. Any metal surfaces shall be kept free of rust and corrosion.

E) Refuse Removal and Storage Facilities. All trash, refuse, and waste materials shall be regularly removed from the premises of each parcel occupied and until such removal shall be stored (a) in adequate containers, which such containers shall be located so as not to be visible to the general public, and (b) so as not to constitute any health or fire hazard or nuisance to any occupant of any parcel.

F) Utilities and Services. All utilities' services from the property line to the front of any building must be underground. Exterior power equipment in front and side or rear yards must blend with other improvements.

4. SIGN REQUIREMENTS.

The Committee has control over all signage for the properties and must approve the size, location, height, letter styles, colors, lighting, and materials. Building identification signs must be located in a landscaped setting to provide the desired continuity and street scene effect. All business identification signs must not be over ten feet (10') in height and must conform to American Township Zoning Regulations for setback requirements, but in no event shall a sign be erected less than ten feet (10') from the established right of way of any street or road in the Business Center. Temporary signs will be permitted during construction or for a major activity, but must be approved by the Committee for the time of installation and the time of removal. No flashing, moving, or audible signs will be permitted.

5. BUILDING DESIGN AND MATERIALS.

A) Materials. All exterior building materials and colors must be approved by the Committee so as to be compatible with neighboring properties.

B) Standards of Harmony. The Committee will consider the following standards to be equally as important as any previous requirements:

- (i) Conformity and harmony of external designs and general quality with the existing standards of the neighborhood and adjacent properties.
- (ii) The use, suitability, and materials of the proposed building or improvement in relation to the parcel upon which same is proposed to be erected.
- (iii) The effect such building or improvement as planned will have on the view from the adjacent neighboring properties.

6. VARIANCES.

In those instances where strict compliance with these specific standards would create an undue hardship by depriving the owner or lessee of the reasonable use of its parcel, or where unusual characteristics which affect the parcel or use in question would make strict compliance with these standards an undue hardship, the Committee shall, in its sole discretion, have the authority to grant a variance for the parcel so long as the general purpose of the standards herein are maintained. Any such variance granted from the provisions of these standards shall only be applicable to the specific parcel and conditions for which the variance was granted and shall in no respect constitute a change in or affect the terms or conditions set out in the standards as the same apply to other parcels or conditions.

7. ARCHITECTURAL REVIEW COMMITTEE.

The Architectural Review Committee initially shall be composed of Jeffrey M. Ciminillo (Developer), his successor or assignee. In the event of the resignation of the Developer, a successor shall first be appointed by him or, in the event of the death of Developer, a successor shall be appointed by Cara M. Ciminillo.

After all the lots in the Business Center are sold and transferred, Developer, his successor or assignee, will step down and relinquish all authority granted under the provisions of the Architectural Review Committee.

8. PARAGRAPH.

The paragraph headings are intended for convenience only and are not intended to be a part of these restrictions or in any way to define, limit or describe the scope or intent of the particular section to which they refer.

9. EFFECT OF INVALIDATION.

If any provision of these restrictions is held to be invalid by any court of competent jurisdiction, the invalidity of such provision shall not affect the validity of the remaining provisions hereof.

10. APPROVALS.

Any approvals required under these restrictions shall be deemed granted if not disapproved, in writing, within one (1) month after submission of a written request for approval.

11. AMENDMENTS

The restrictions, rights, reservations, limitations, agreements, covenants, and conditions herein may be amended at anytime by an affirmative vote of 75% of all lot owners in the Business Center. Each lot shall be entitled to one (1) vote and that vote cannot be split.

12. TERMS OF COVENANTS AND RESTRICTIONS.

The herein enumerated restrictions, rights, reservations, limitations, agreements, covenants, and conditions shall be deemed as covenants and shall run with the land and bind all lot owners, their successors, and their heirs, executors, administrators and assigns for a period of five (5) years and shall be automatically extended for successive periods of five (5) years unless amended or repealed by an affirmative vote of 75% of all lot owners in the Business Center. Each lot shall be entitled to one (1) vote and that vote cannot be split.

13. ROADSIDE DRAINAGE.

No owner of any lot within this Business Center shall interfere with the flow of storm runoff water through roadway drainage, swales, creeks, or drainage pipes on owner's lot.

Lot owners shall install drainage-control measures as needed to ensure that the difference between pre-construction storm runoff (as computed for platting) and post-construction runoff (as computed at the time of construction) is retained on the premises during a 10-year storm peak (which for this location is twelve [12] minutes). Pro rata detention shall be computed where construction is on more than one platted lot.

14. EASEMENT/UTILITY RESTRICTION.

Easements and rights of way are reserved under, in and over lots as shown on the plat for the construction, operation and maintenance of electric power, telephone facilities, pipelines supplying natural gas, roads, drainage facilities, sanitary sewers and lift station, waterlines and cablevision. Easements shown on the plat may be used by public and private utilities as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements within the platted easements. No permanent structures or permanent plantings of trees or shrubs shall be placed on easements designated on the plat.

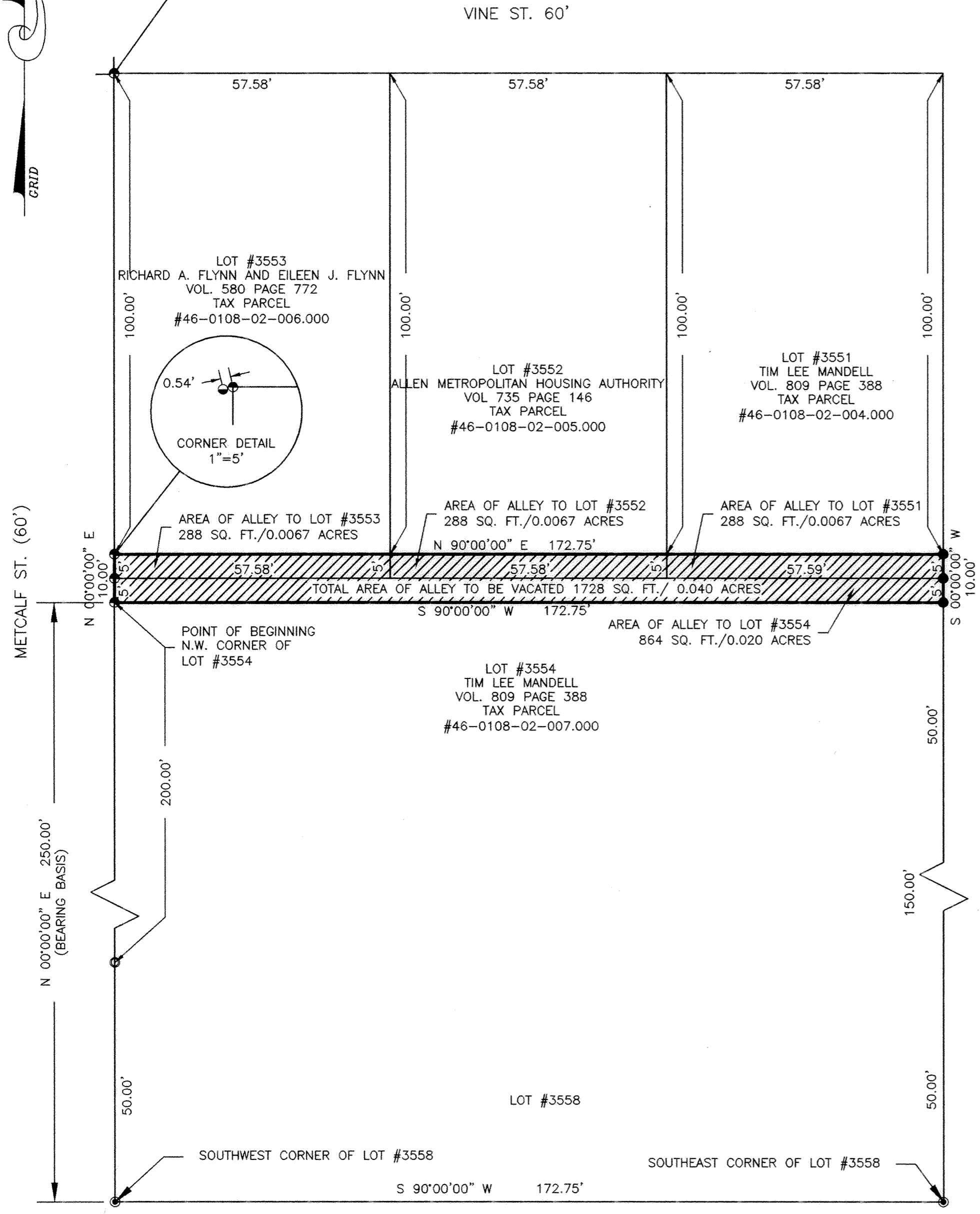
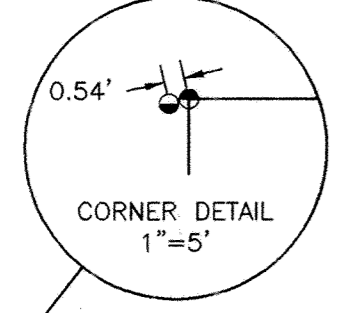
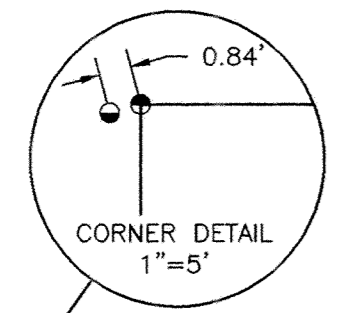
ALLEY VACATION PLAT

10' ALLEY
BETWEEN LOTS 3551, 3552, 3553, AND 3554
FAIRVIEW ADDITION
PLAT BOOK 4 PAGE 13
N.E. 1/4 OF SECTION 1
T4S-R6E
CITY OF LIMA, SHAWNEE TOWNSHIP
ALLEN COUNTY, OHIO

LEGEND

- 5/8" X 30" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
- 3/4" IRON PIPE CAPPED WITH A MARKER STAMPED "K&K LIMA" FOUND
- 3/4" IRON PIPE FOUND
- PK NAIL SET
- PK NAIL AND SHINER FOUND

THIS PLAT REPRESENTS A FIELD SURVEY COMPLETED IN MARCH 2000. REFERENCES INCLUDE TAX MAPS, DEEDS, AND OFFICE RECORDS



DESCRIPTION
 ALLEY VACATION
 JOB #21061
 0.040 ACRES

Being that portion of a 10.00-foot wide Public Alley in Fairview Addition (Plat Book 4, Page 13) in the Northeast Quarter of Section 1, Township 4 South, Range 6 East, Shawnee Township, City of Lima, Allen County, Ohio, the north line of said alley being coincident with the south line of Lots Number 3551, 3552 and 3553 and the south line of said alley being coincident with the north line of Lot Number 3554 in said Addition as platted, and more particularly described as follows:

BEGINNING FOR THE SAME at a PK nail set marking the northwest corner of Lot Number 3554 in said Addition and the intersection of the south line of said 10' Alley with the east line of Metcalf Street -

Thence **North 00°-00'-00" East (bearing base)** on and along the east line of Metcalf Street and the west line of said Alley for a distance of 10.00 feet to a PK nail set marking the southwest corner of Lot Number 3553, passing at 5.00 feet a PK nail set -

Thence **North 90°-00'-00" East** on and along the south line of Lots Number 3553, 3552 and 3551 for a distance of 172.75 feet to a 5/8-inch iron pin set marking the southeast corner of said Lot Number 3551, also being on the west line of a 16.5' Public Alley adjoining Fairview Addition and Ashton's 2nd Subdivision on Outlot 254 (Plat Book 3, Page 164) -

Thence **South 00°-00'-00" West** on and along the west line of said 16.5' Alley for a distance of 10.00 feet to a 5/8-inch iron pin set marking the northeast corner of Lot Number 3554 in Fairview Addition, passing at 5.00 feet a 5/8-inch iron pin set -

Thence **South 90°-00'-00" West** on and along the north line of Lot Number 3554 for a distance of 172.75 feet to the point of beginning.

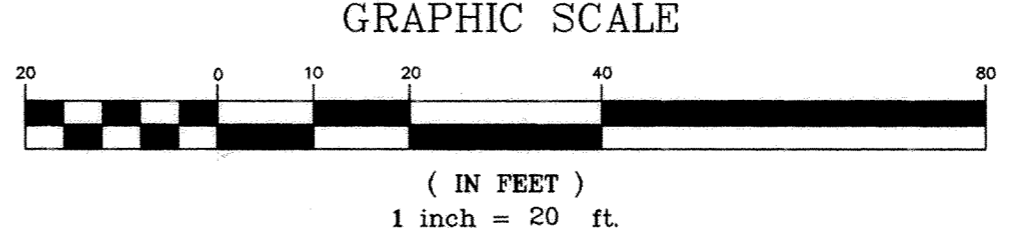
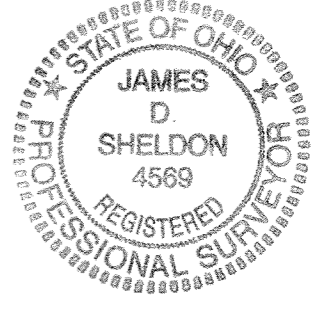
Containing in all 1728 square feet or 0.040 acres of land, of which 0.0067 acres attach to Lot 3551; 0.0067 acres attach to Lot 3552; 0.0067 acres attach to Lot 3553 and 0.0200 acres attach to Lot 3554.

The foregoing description is based on a survey completed in March 31, 2000, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

NOTE: All iron pins set are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

James D. Sheldon
 James D. Sheldon, P.E., P.S.
 Registered Surveyor #4569

20010542
 FILED AND RECORDED
 MAR 30, 2001
 AT 3:13 PM
 PLAT BK 24 PG 55
 EDWARD P. KIRK
 ALLEN CTY RECORDER
 FEE \$ 22.70
 DEED VOL 880 PG 596



NO.	DATE	DESCRIPTION	BY
1	4-6-00	ADDED CENTERLINE MONUMENTS	MSB

PREPARED BY:
 SHELDON ENGINEERING & SURVEYING, INC.
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E., P.S.
 REG. SURVEYOR #4569

SHELDON ENGINEERING & SURVEYING, INC.

LIMA, OHIO

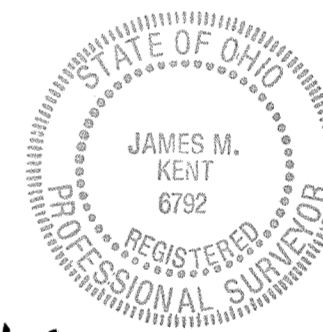
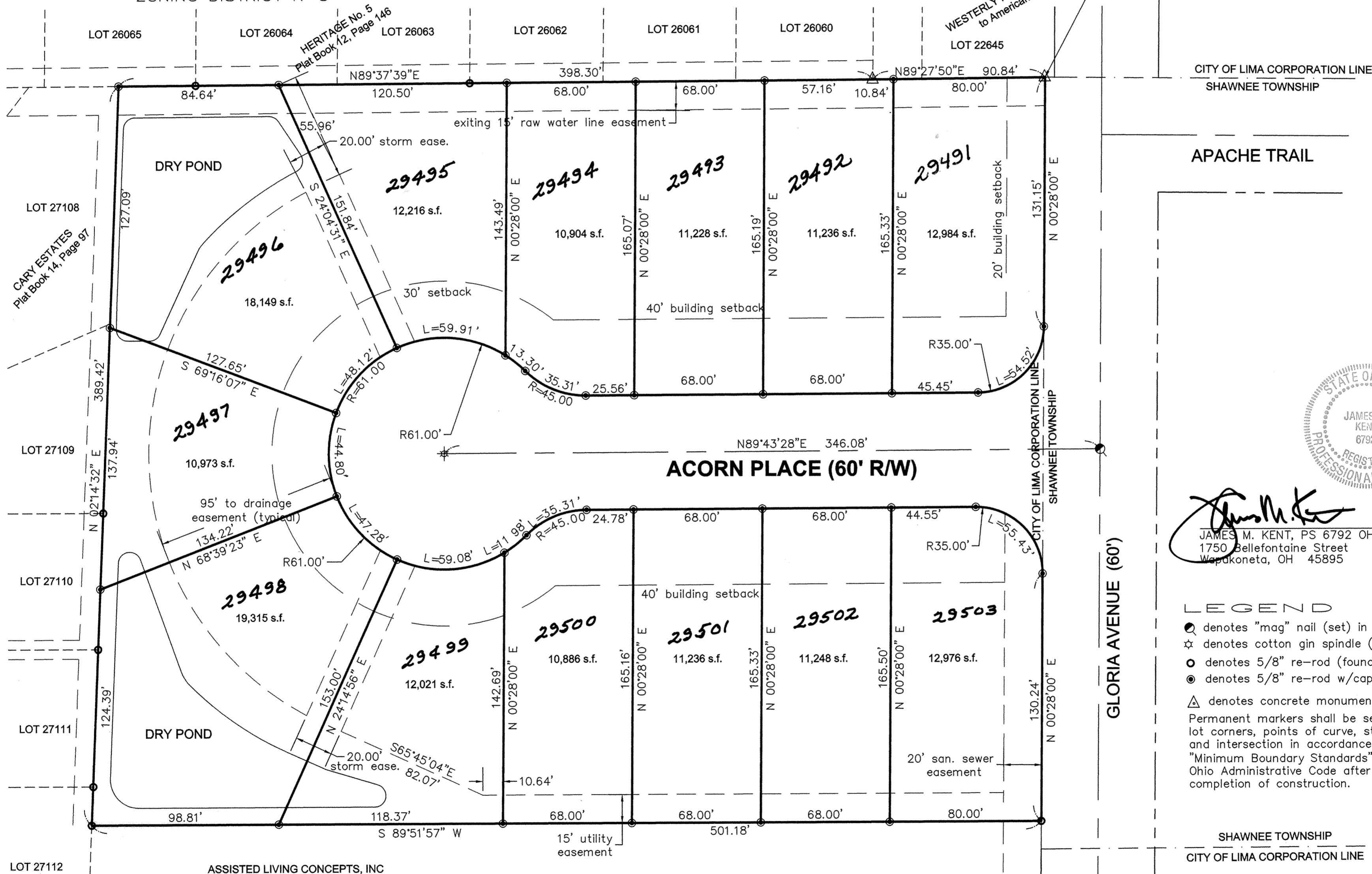
DATE	3/30/00	JOB NO.	21061
DRAWN	MSB	CHECKED	JDS
CHECKED	JDS	APPROVED	JDS
SCALE		1" = 20'	

- ACORN PLACE - SUBDIVISION

SHEET ONE OF THREE

56

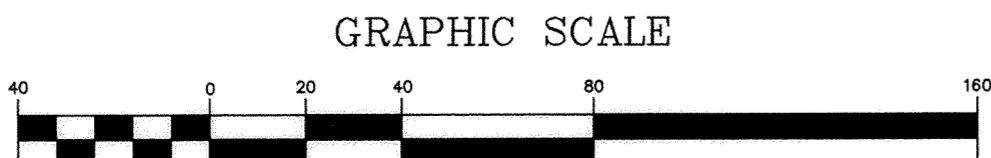
Part of Section 3, T-4-S, R-6-E, Shawnee Township,
City of Lima, Allen County, Ohio.
ZONING DISTRICT R-3



James M. Kent
JAMES M. KENT, PS 6792 OH
1750 Bellefontaine Street
Wapakoneta, OH 45895

- LEGEND**
- denotes "mag" nail (set) in concrete
 - ☆ denotes cotton gin spindle (set)
 - denotes 5/8" re-rod (found)
 - ⊙ denotes 5/8" re-rod w/cap (set)
 - △ denotes concrete monument (found)
- Permanent markers shall be set at all lot corners, points of curve, street end and intersection in accordance with "Minimum Boundary Standards" of the Ohio Administrative Code after the completion of construction.

ASSISTED LIVING CONCEPTS, INC
Deed Volume 817, Page 728



(IN FEET)
1 inch = 40 ft.
Basis of bearings per Deed Volume 854, Page 272; west right-of-way line of Gloria Avenue @ N 00° 28' 00" E

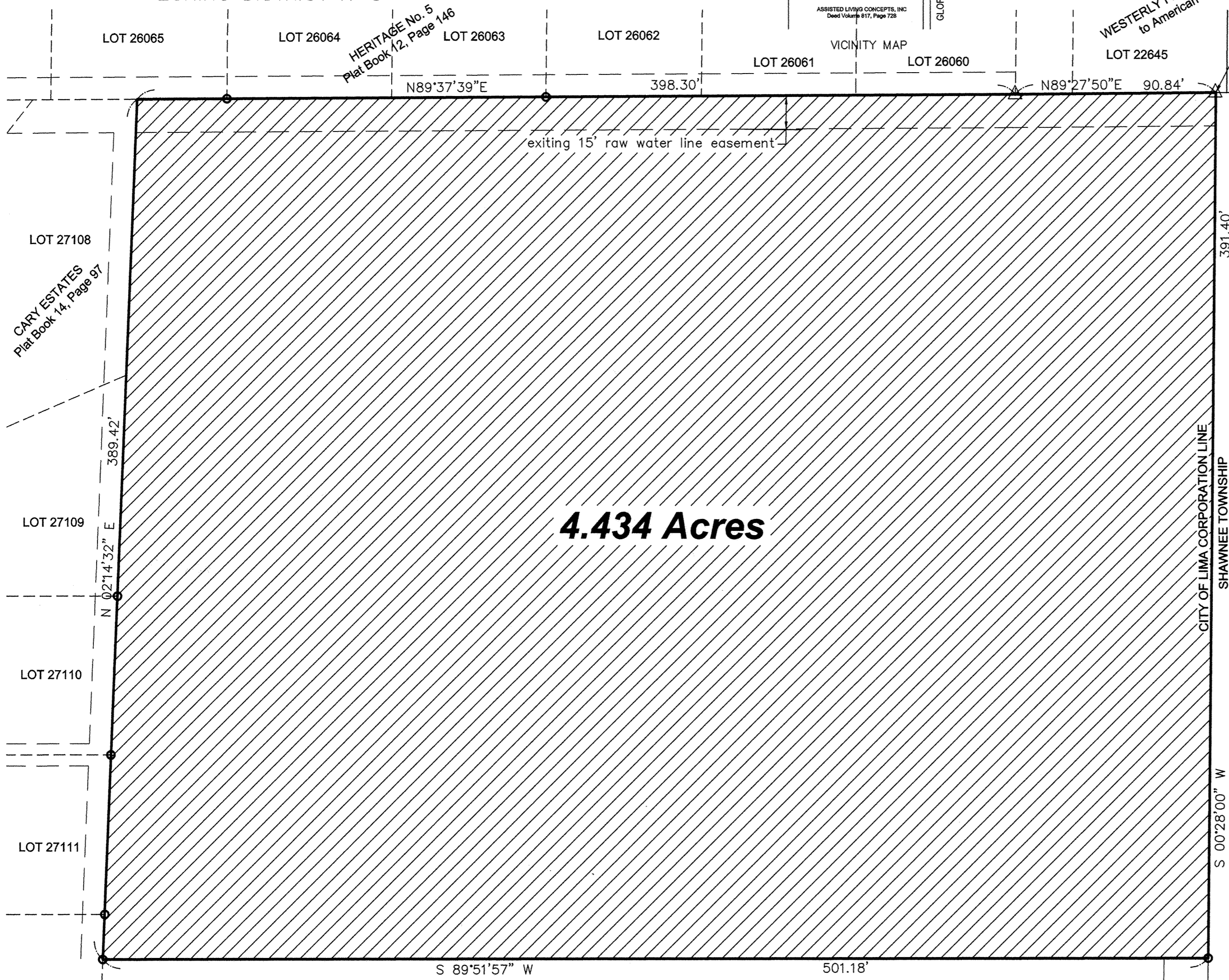
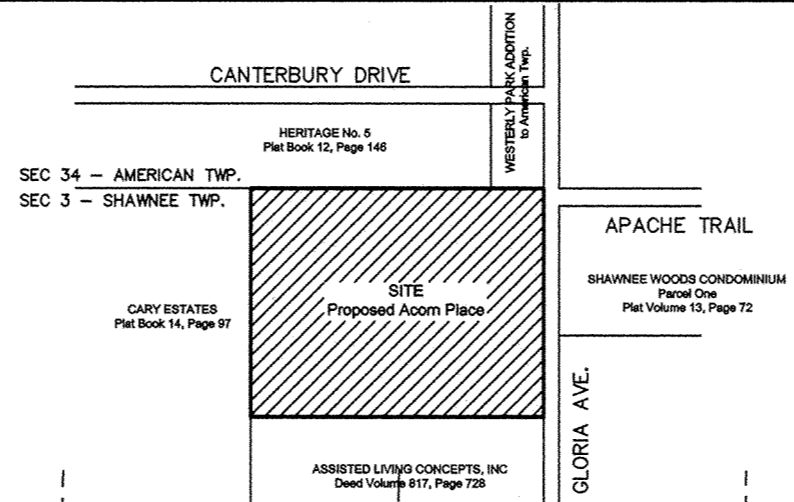
Owner/Developer
Golden Lane Apartments, Inc.
4048 Allentown Road
Elida, OH 45807
Deed Reference - Vol. 854, Pg. 272

kent surveying
acad: skinner-stahley
dwg #3511-final
February 26, 2001

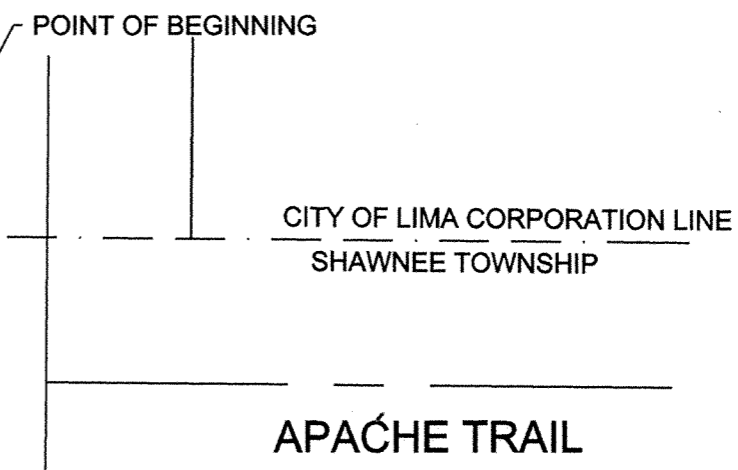
DEED

- ACORN PLACE - SUBDIVISION

PLAT OF DEDICATOR'S LAND
Part of Section 3, T-4-S, R-6-E, Shawnee Township,
City of Lima, Allen County, Ohio.
ZONING DISTRICT R-3



4.434 Acres



SURVEY DESCRIPTION

BEGINNING at a concrete monument (found) on the west right-of-way line of Gloria Avenue (said monument also being on the south line of Lot 22645 of the Westery Park Addition to American Township, and the north line of Section 3, T-4-S, R-6-E, Shawnee Township, Allen County, Ohio);
 thence, S 00 degrees 28' 00" W along the westerly right-of-way line of said Gloria Avenue, for a distance of 391.40 feet to a 5/8" re-rod w/cap (found);
 thence, S 89 degrees 51' 57" W for a distance of 501.18 feet to a 5/8" re-rod w/cap (found) on the east line of Lot 27112 of Carey Estates to the City of Lima;
 thence, N 02 degrees 14' 32" E along the east line of the aforesaid Cary Estates, for a distance of 389.42 feet to the northeast corner of Lot 27108 (also being the south line of Lot 26065 of Heritage Subdivision No. 5 to the City of Lima);
 thence, N 89 degrees 37' 39" E along the south line of the aforesaid Heritage Subdivision No. 5, for a distance of 398.30 feet to a concrete monument (found) at the southeast corner of Lot 26060 (said monument also being the southwest corner of Lot 22645 of the Westery Park Addition to American Township);
 thence, N 89 degrees 27' 50" E along the aforesaid south line of the Westery Park Addition, for a distance of 90.84 feet to the POINT OF BEGINNING, containing therein 4.434 acres.

James M. Kent
 JAMES M. KENT, PS 6792 OH
 1750 Bellefontaine Street
 Wapakoneta, OH 45895



LEGEND
 ○ denotes 5/8" re-rod (found)
 △ denotes concrete monument (found)

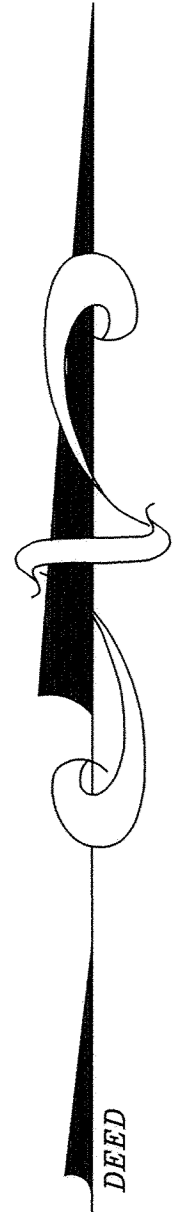
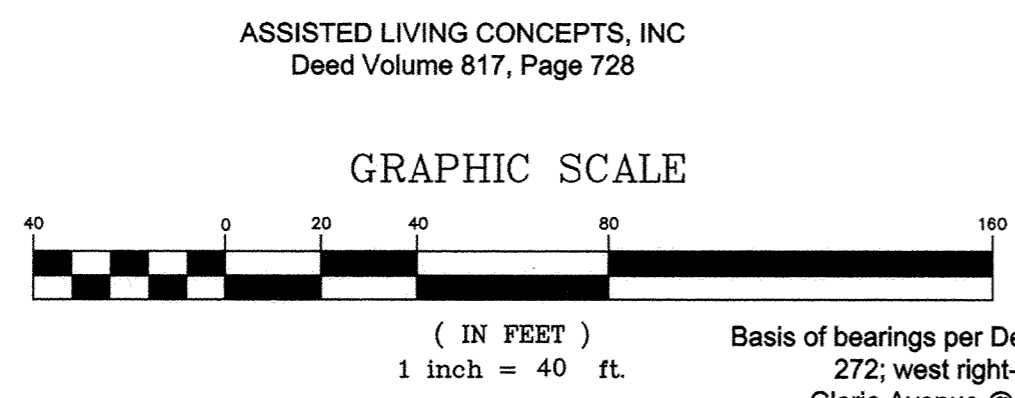
SHAWNEE TOWNSHIP
 CITY OF LIMA CORPORATION LINE

kent surveying

acad: skinner-stahley
 dwg #3511-dp
 February 26, 2001

REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 4/2/01

Owner/Developer
 Golden Lane Apartments, Inc.
 4048 Allentown Road
 Elida, OH 45807
 Deed Reference - Vol. 854, Pg. 272



DEED

**- ACORN PLACE -
SUBDIVISION**

Part of Section 3, T-4-S, R-6-E, Shawnee Township,
City of Lima, Allen County, Ohio.

COVENANTS AND RESTRICTIONS

1. Drainage swales and ponds shall not be altered, filled, diverted or changed in any way from the originally constructed structure.
2. All improvements to the lots shown hereon shall be in accordance with the City of Lima Zoning Regulations.
3. Owners of lots of this subdivision shall be jointly responsible in equal amounts for maintenance of the areas designated as "Dry Pond" of the subdivision, and acceptance of delivery of deed for any lot in this subdivision binds the grantee to this obligation. The Owners shall among themselves determine a methodology for decisions on maintenance.

Golden Lane Apartments, Inc.

by: Michael Skinner 3-30-01
Michael Skinner, President date

by: Gary Staley 3-30-01
Gary Staley, Vice President date

DEDICATION

We, the undersigned owners of land shown, have caused the area encompassed by this plat to be surveyed, platted and to be known as ACORN SUBDIVISION, and do hereby certify that said plat is a true representation of the same. We also dedicate the street right-of-way and the utility easements as shown on the hereon plat to the public for their use forever.

WITNESS:

GOLDEN LANE APARTMENTS, INC.

[Signature]

By: Michael Skinner 3-30-01
Michael Skinner, President date

[Signature]

By: Gary Staley 3-30-01
Gary Staley, Vice President date

ACKNOWLEDGEMENT

STATE OF OHIO

COUNTY OF ALLEN

Before me, a Notary Public in and for the County and State aforesaid, personally appeared Michael Skinner, President and Gary Staley, Vice President of GOLDEN LANE APARTMENTS, INC. an Ohio Corporation and the owner of the subject tract of land, hereby acknowledge the signing of the foregoing instrument to be their free act and deed.

IN TESTIMONY WHEREOF, I have affixed my hand and seal on this 30th day of MARCH, 2001.

Janice Grant
Notary Public

JANICE GRANT
NOTARY PUBLIC, STATE OF OHIO
My Commission Expires Sept. 14, 2004

PLANNING COMMISSION APPROVAL

Approved this 26th day of MARCH, 2001

[Signature]
Chairperson, City of Lima Planning Commission

Secretary, City of Lima Planning Commission

AUDITOR'S CERTIFICATE

This plat was filed for transfer this 2nd day of April, 2001

Fee: 6.50

[Signature]
Allen County Auditor

RECORDER'S CERTIFICATE

Number: 200105511

Filed for record in the Allen County Recorder's Office on this 2nd day of April, 2001

at 11:27 a.m., and recorded in Plat Book 24, Page 56.

8 6 2.10

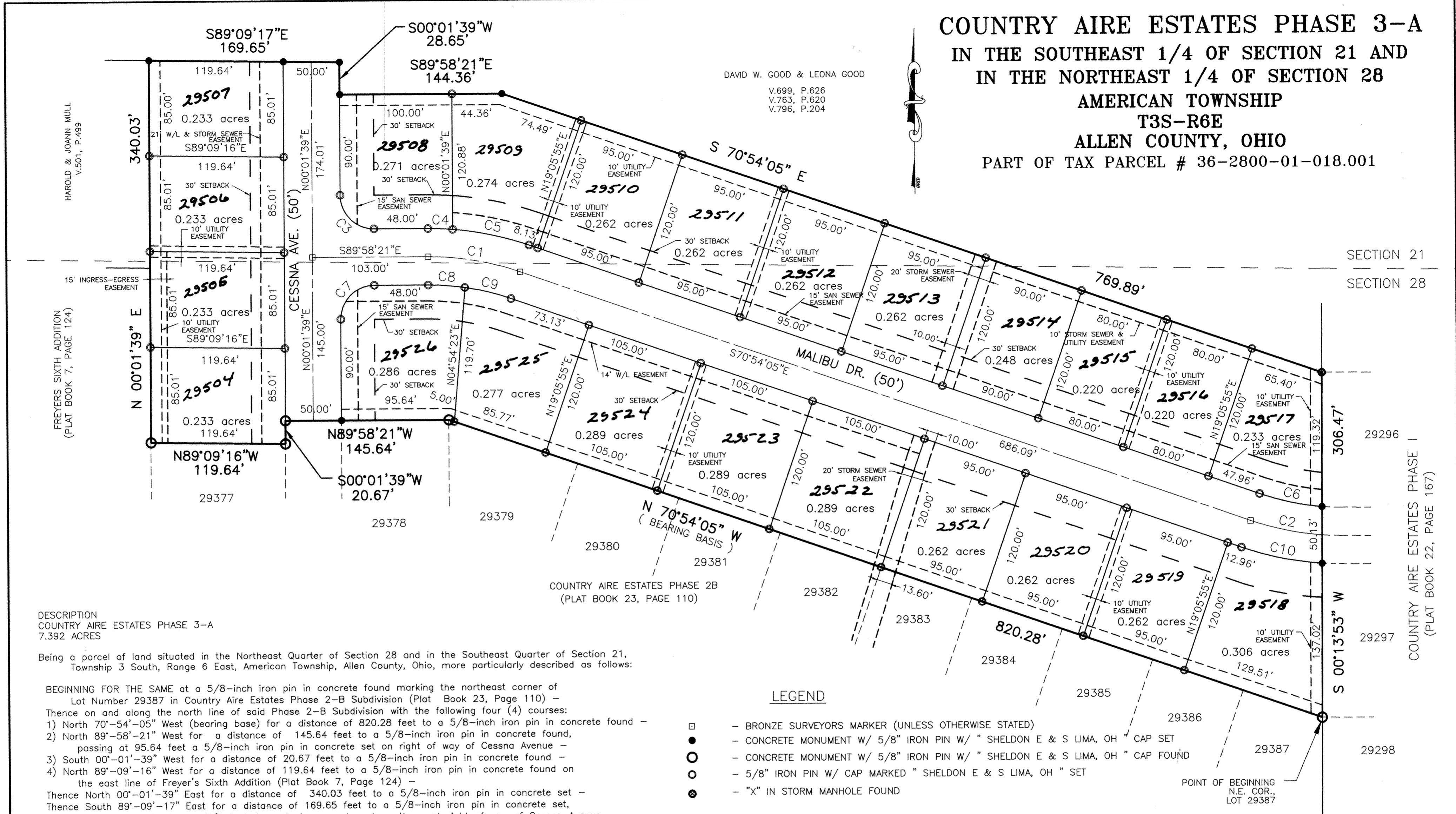
[Signature]
Allen County Recorder

kent surveying

acad: skinner-stahley
dwg #3511-final
February 26, 2001

COUNTRY AIRE ESTATES PHASE 3-A
IN THE SOUTHEAST 1/4 OF SECTION 21 AND
IN THE NORTHEAST 1/4 OF SECTION 28
AMERICAN TOWNSHIP
T3S-R6E
ALLEN COUNTY, OHIO
PART OF TAX PARCEL # 36-2800-01-018.001

DAVID W. GOOD & LEONA GOOD
 V.699, P.626
 V.763, P.820
 V.796, P.204



DESCRIPTION
 COUNTRY AIRE ESTATES PHASE 3-A
 7.392 ACRES

Being a parcel of land situated in the Northeast Quarter of Section 28 and in the Southeast Quarter of Section 21, Township 3 South, Range 6 East, American Township, Allen County, Ohio, more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin in concrete found marking the northeast corner of Lot Number 29387 in Country Aire Estates Phase 2-B Subdivision (Plat Book 23, Page 110) -
 Thence on and along the north line of said Phase 2-B Subdivision with the following four (4) courses:
 1) North 70°-54'-05" West (bearing base) for a distance of 820.28 feet to a 5/8-inch iron pin in concrete found -
 2) North 89°-58'-21" West for a distance of 145.64 feet to a 5/8-inch iron pin in concrete found, passing at 95.64 feet a 5/8-inch iron pin in concrete set on right of way of Cessna Avenue -
 3) South 00°-01'-39" West for a distance of 20.67 feet to a 5/8-inch iron pin in concrete found -
 4) North 89°-09'-16" West for a distance of 119.64 feet to a 5/8-inch iron pin in concrete found on the east line of Freyer's Sixth Addition (Plat Book 7, Page 124) -
 Thence North 00°-01'-39" East for a distance of 340.03 feet to a 5/8-inch iron pin in concrete set -
 Thence South 89°-09'-17" East for a distance of 169.65 feet to a 5/8-inch iron pin in concrete set, passing at 119.64 feet a 5/8-inch iron pin in concrete set on the west right of way of Cessna Avenue -
 Thence South 00°-01'-39" West for a distance of 28.65 feet to 5/8-inch iron pin in concrete set -
 Thence South 89°-58'-21" East for a distance of 144.36 feet to a 5/8-inch iron pin in concrete set -
 Thence South 70°-54'-05" East for a distance of 769.89 feet to a chiseled "x" in the lid of a storm manhole found on the west line of Country Aire Estates Phase 1 Subdivision (Plat Book 22, Page 167) marking the northwest corner of Lot 29296 in said Subdivision -
 Thence South 00°-13'-53" West on and along the west line of said Phase 1 Subdivision for a distance of 306.47 feet to the point of beginning, passing at 119.32 feet and at 169.45 feet 5/8-inch iron pins in concrete set on the north and south rights of way of Malibu Drive.

The foregoing description is based on a current field survey performed under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569) and the tract as described contains in all 7.392 acres of land, of which 5.779 acres are in Section 28 and 1.613 acres are in Section 21.

NOTE: All iron pins found or set are 5/8" x 30" rebar with "Sheldon E&S Lima, OH" cap.

LEGEND

- - BRONZE SURVEYORS MARKER (UNLESS OTHERWISE STATED)
- - CONCRETE MONUMENT W/ 5/8" IRON PIN W/ "SHELDON E & S LIMA, OH" CAP SET
- - CONCRETE MONUMENT W/ 5/8" IRON PIN W/ "SHELDON E & S LIMA, OH" CAP FOUND
- - 5/8" IRON PIN W/ CAP MARKED "SHELDON E & S LIMA, OH" SET
- ⊗ - "X" IN STORM MANHOLE FOUND

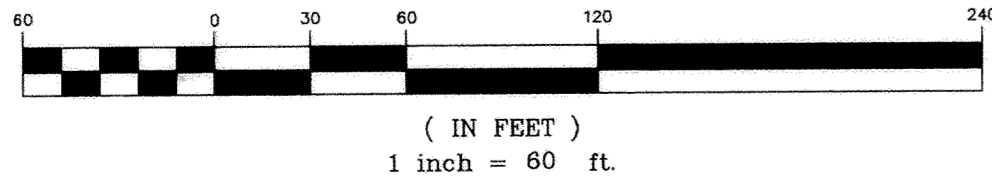
NOTE : RESTRICTIONS ARE SAME AS COUNTRY AIRE ESTATES PHASE 1, PLAT BOOK 22, PAGE 167.
 ZONING : R-1 RESIDENTIAL DISTRICT

NOTE: ALL UTILITY EASEMENTS ALONG INTERIOR LOT LINES ARE CENTERED AROUND SAID LOT LINES WITH AN EQUAL SPLIT ON EACH SIDE OF THE LOT LINES, UNLESS OTHERWISE SHOWN.

CURVE TABLE

STREET	CURVE	LENGTH	RADIUS	TANGENT	BEARING	CHORD	DELTA
MALIBU DR.	C1	83.21	250.00	42.00	N 80°26'13" W	82.83	19°04'16"
	C2	64.86	250.00	32.62	S 78°20'03" E	64.68	14°51'56"
	C3	47.12	30.00	30.00	S 44°58'21" E	42.43	90°00'00"
	C4	22.02	275.00	11.02	N 87°40'43" W	22.01	04°35'15"
	C5	69.52	275.00	34.94	N 78°08'35" W	69.33	14°29'01"
	C6	56.63	225.00	28.46	S 78°06'41" E	56.48	14°25'13"
	C7	47.12	30.00	30.00	S 45°01'39" W	42.43	90°00'00"
	C8	32.66	225.00	16.36	N 85°48'51" W	32.63	08°18'59"
	C9	42.23	225.00	21.18	N 76°16'43" W	42.17	10°45'17"
	C10	73.10	275.00	36.77	S 78°30'59" E	72.88	15°13'48"

GRAPHIC SCALE



DEVELOPER : DAVE AND RICK GOOD
 4075 NORTH GRUBB ROAD
 DELPHOS, OHIO 45833
 TEL 419-339-3099

PREPARED BY:
 SHELDON ENGINEERING & SURVEYING
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E. & P.S.

PLAT OF A SURVEY OF DEDICATORS LAND COUNTRY AIRE ESTATES PHASE 3-A IN THE S.W 1/4 & S.E. 1/4 OF SECTION 21 AND

IN THE N.E. 1/4 OF SECTION 28 ALSO TAX LOTS 120 THROUGH 127 FREYER'S SIXTH ADDITION

T3S - R6E AMERICAN TOWNSHIP ALLEN COUNTY, OHIO TAX PARCELS 36-2100-04-008.000, 36-2100-03-006.000 36-2800-01-018.001 AND 36-2800-01-014.000 THRU 36-2800-01-021.000

FRANKLIN E. & DOLORES N. SPIELES V.819, P.435

DREW F. & REBECCA C. SPIELES V.819, P.438

AMERICAN CHRISTIAN TV., INC. V.689, P.118

AMERICAN CHRISTIAN TV., INC. V.635, P.124

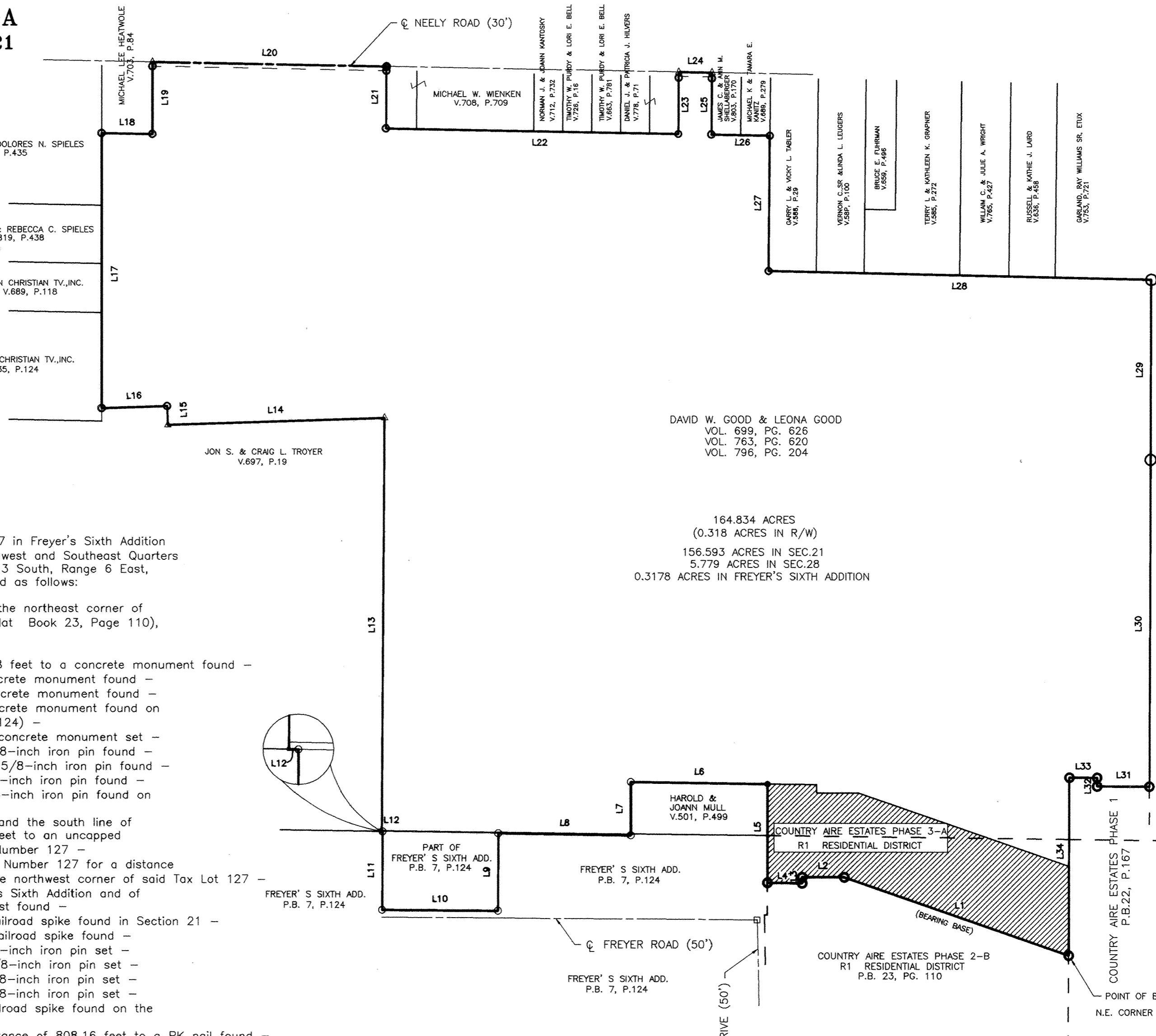
164.834 ACRES (T. P. #s 36-2100-04-008.000, 36-2100-03-006.000, Part 36-2800-01-018.001 and 36-2800-01-014.000 through 36-2800-01-021.000)

Being Tax Lots Number 120, 121, 122, 123, 124, 125, 126, and 127 in Freyer's Sixth Addition (Plat Book 7, Page 124) and a Parcel of Land situated in the Southwest and Southeast Quarters of Section 21 and in the Northeast Quarter of Section 28, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and more particularly described as follows:

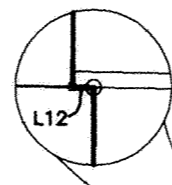
BEGINNING FOR THE SAME at a concrete monument found marking the northeast corner of Lot Number 29387 in Country Aire Estates Phase 2-B Subdivision (Plat Book 23, Page 110), thence with the following thirty-four (34) courses:

- L1. North 70°-54'-05" West (bearing basis) for a distance of 820.28 feet to a concrete monument found - L2. North 89°-58'-21" West for a distance of 145.64 feet to a concrete monument found - L3. South 00°-01'-39" West for a distance of 20.67 feet to a concrete monument found - L4. North 89°-09'-16" West for a distance of 119.64 feet to a concrete monument found on the east line of Freyer's Sixth Addition (Plat Book 7, Page 124) - L5. North 00°-01'-39" East for a distance of 340.03 feet to a concrete monument set - L6. North 89°-09'-17" West for a distance of 471.90 feet to a 5/8-inch iron pin found - L7. South 00°-01'-39" West for a distance of 184.65 feet to a 5/8-inch iron pin found - L8. North 89°-09'-17" West for a distance of 458.02 feet to a 5/8-inch iron pin found - L9. South 00°-19'-24" West for a distance of 266.58 feet to a 5/8-inch iron pin found on the north right of way of Freyer Road - L10. North 89°-36'-32" West on and along said north right of way and the south line of Tax Lots Number 120 through 127 for a distance of 399.98 feet to an uncapped 5/8-inch iron pin found at the southwest corner of Tax Lot Number 127 - L11. North 00°-19'-24" East on and along the west line of Tax Lot Number 127 for a distance of 269.75 feet to an uncapped 5/8-inch iron pin found at the northwest corner of said Tax Lot 127 - L12. North 89°-09'-17" West on and along the north line of Freyer's Sixth Addition and of Section 28 for a distance of 3.34 feet to a railroad rail post found - L13. North 00°-24'-09" East for a distance of 1429.12 feet to a railroad spike found in Section 21 - L14. South 88°-07'-00" West for a distance of 748.96 feet to a railroad spike found - L15. North 01°-52'-56" West for a distance of 65.01 feet to a 5/8-inch iron pin set - L16. South 88°-07'-50" West for a distance of 225.67 feet to a 5/8-inch iron pin set - L17. North 00°-00'-04" West for a distance of 949.07 feet to a 5/8-inch iron pin set - L18. South 88°-55'-43" East for a distance of 175.00 feet to a 5/8-inch iron pin set - L19. North 00°-00'-04" West for a distance of 250.00 feet to a railroad spike found on the centerline of Neely Road - L20. South 88°-55'-43" East on and along said centerline for a distance of 808.16 feet to a PK nail found - L21. South 00°-26'-50" West for a distance of 215.00 feet to a 5/8-inch iron pin set - L22. South 88°-55'-35" East for a distance of 1010.04 feet to a 1/2-inch iron pipe found - L23. North 00°-34'-25" East for a distance of 215.04 feet to a railroad spike found on the centerline of Neely Road - L24. South 88°-55'-43" East on and along said centerline for a distance of 114.41 feet to a railroad spike found - L25. South 00°-34'-09" West for a distance of 215.01 feet to a 5/8-inch iron pin set - L26. South 88°-55'-22" East for a distance of 202.00 feet to a 1/2-inch iron pipe found - L27. South 00°-32'-19" West for a distance of 466.20 feet to a 1/2-inch iron pipe found - L28. South 88°-42'-49" East for a distance of 1322.53 feet to an 8-inch cast iron post found - L29. South 00°-13'-53" West for a distance of 622.41 feet to an 8-inch cast iron post found - L30. South 00°-13'-10" West for a distance of 1127.47 feet to a concrete monument found at the northeast corner of Country Aire Estates Phase 1 Subdivision (P.B. 22, Pg.167)- Thence on and along the line of said Subdivision with the following four (4) courses: L31. North 89°-46'-07" West for a distance of 180.59 feet to a concrete monument found - L32. North 00°-13'-53" East for a distance of 30.00 feet to a concrete monument found - L33. North 89°-46'-07" West for a distance of 95.91 feet to a concrete monument found - L34. South 00°-13'-53" West for a distance of 612.93 feet to the point of beginning.

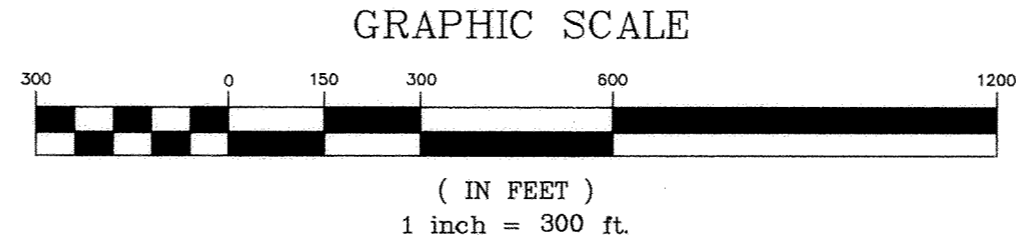
The foregoing description is based on field surveys performed in October, 1999 and March, 2001 under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569) and the tract as described contains in all 164.834 acres of land, of which 156.593 acres are in Section 21, 5.779 acres are in Section 28 and 2.462 acres are in Freyer's Sixth Addition, subject, however, to all legal easements and rights of way.



LINE TABLE table with columns: LINE, LENGTH, BEARING. Lists 34 courses (L1-L34) with their respective lengths and bearings.



REVIEWED BY: Michael L. Howbert, P.S. ALLEN COUNTY ENGINEER'S DATE: 4/30/01



ZONING: R1 RESIDENTIAL DISTRICT

LEGEND table with symbols and descriptions: RAILROAD SPIKE FOUND, PK NAIL FOUND, 5/8" IRON PIN W/ CAP MARKED, 5/8" IRON PIN FOUND (NO CAP), 1/2" IRON PIPE FOUND, 8" CAST IRON POST FOUND, RAILROAD RAIL POST FOUND, CONCRETE MONUMENT W/ 5/8" IRON PIN, CONCRETE MONUMENT W/ 5/8" IRON PIN W/ CAP SET.

PREPARED BY: SHELDON ENGINEERING & SURVEYING 1280 N. COLE ST. LIMA, OHIO 45801 TELE: (419) 228-4421 JAMES D. SHELDON, P.E. & P.S. JOB #12012PS3A.DWG

DRAINAGE MAINTENANCE ASSESSMENT

ALL FEE HOLDERS AND ALL RECEIVING TITLE TO THE FEE THROUGH THEM ARE SUBJECT TO PAYMENT OF DRAINAGE MAINTENANCE FEES ASSESSED OR TO BE ASSESSED BY THE COUNTY PURSUANT TO OHIO REVISED CODE SECTIONS 6131 AND 6137. A SPECIFIC AND DISTINCT DITCH MAINTENANCE FUND SHALL BE CREATED AS PER THE REFERENCED SECTIONS OF THE OHIO REVISED CODE FOR THIS PROJECT.

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN THEREON, COMPRISING A TOTAL OF 1.418 ACRES, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, STORM SEWER, OPEN DITCH, SANITARY SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

THIS PLAT IS SUBJECT TO THE COVENANTS AND RESTRICTIONS AS SET FORTH IN THE PLATTING OF COUNTRY AIRE ESTATES PHASE 1, PLAT BOOK 22, PAGE 167.

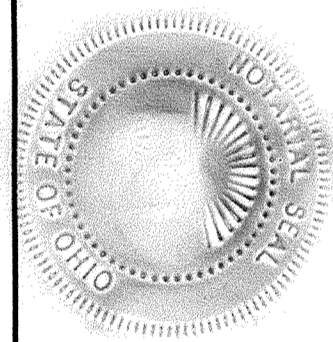
Deany Wilderemuth
WITNESS
John Brund
WITNESS
David W. Good
DAVID W. GOOD
Leona Good
LEONA GOOD

NOTARY PUBLIC

STATE OF OHIO
ss:
ALLEN COUNTY

BE IT REMEMBERED THAT ON THIS ca DAY OF April, 2001, PERSONALLY CAME THE SAID DAVID W. GOOD AND LEONA GOOD, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Shirley Sheldon Davis
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO
SHIRLEY SHELDON DAVIS
Notary Public, State of Ohio
My Commission Expires Sept. 19, 2001



APPROVAL BY THE REGIONAL PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON 24 April 2001. THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

27 April 2001
DATE
Thomas M. Meyer
DIRECTOR OF THE LIMA-ALLEN COUNTY
REGIONAL PLANNING COMMISSION

ALLEN COUNTY COMBINED HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE ALLEN COUNTY COMBINED HEALTH DISTRICT.

4/27/01
DATE
Bill Kelly
DIRECTOR, ALLEN COUNTY
COMBINED HEALTH DISTRICT

COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON April 30, 2001. FEE: \$ 11.50.

W. Dean Strench
ALLEN COUNTY AUDITOR *W.*

COUNTY RECORDER 200107895

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON Apr 30, 2001 AND THAT IT WAS RECORDED ON Apr 30, 2001 IN VOL. PLAT 24, PAGE 59, AT 9:06 AM, PLAT RECORDS OF ALLEN COUNTY, OHIO, FEE: \$ 62.10.

Edward P. Keid
ALLEN COUNTY RECORDER
ly gm

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN MARCH, 2001 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

3 April 2001
DATE

James D. Sheldon
JAMES D. SHELDON, P.E., P.S.
OHIO REGISTERED SURVEYOR #4569



COUNTY ENGINEER'S CERTIFICATION

HAVING CHECKED THE CONSTRUCTION OF THE STREETS IN THE SUBDIVISION, I FIND THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH ON THE PLANS AND REGULATIONS THEREOF, AND THAT THEY ARE IN GOOD REPAIR AND THIS ENDORSEMENT SHALL CONSTITUTE ACCEPTANCE OF THE STREETS FOR PUBLIC USE.

IF THE STREETS HAVE NOT BEEN INSTALLED, I AM IN AGREEMENT WITH THE PERFORMANCE BOND TO ENSURE THE COMPLETION OF CONSTRUCTION WHICH HAS BEEN FILED WITH AND APPROVED BY THE PLANNING COMMISSION.

4-30-2001
DATE

Wayne D. Anderson
COUNTY ENGINEER

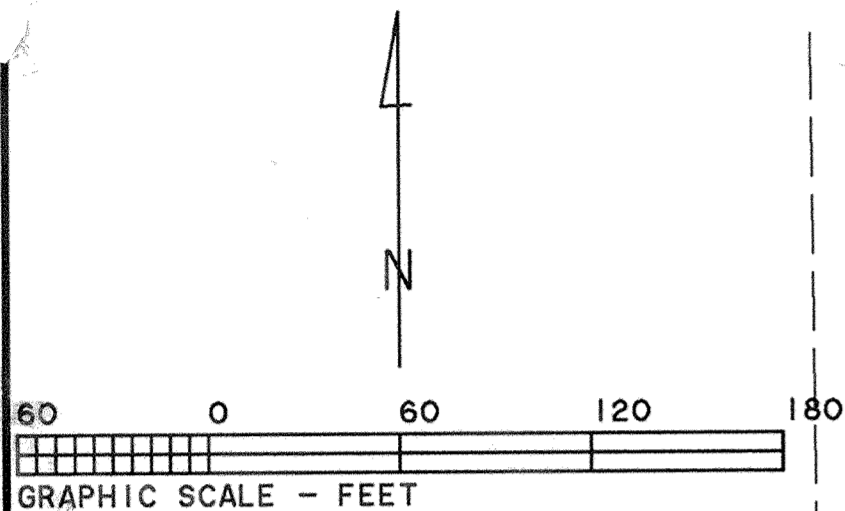
SPRINGBROOK GREENS CONDOMINIUMS NO. 3

Part of the NW 1/4 of Section 7, T3S, R7E, Bath Twp., Allen Co., Oh.

R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

S & J Development Co.
D.B. 193 Pg. 483

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	60.00'	93.44'	89° 13' 31"	84.28'	N 44° 06' 11" E
C-2	100.00'	87.87'	50° 20' 50"	85.07'	N 24° 39' 51" E
C-3	75.00'	50.89'	38° 52' 41"	49.92'	N 69° 16' 37" E
C-4	40.00'	63.37'	90° 46' 29"	56.95'	S 45° 53' 48" E
C-5	75.00'	52.36'	40° 00' 00"	51.30'	S 20° 30' 34" E
C-6	100.00'	69.81'	40° 00' 00"	68.40'	S 20° 30' 34" E

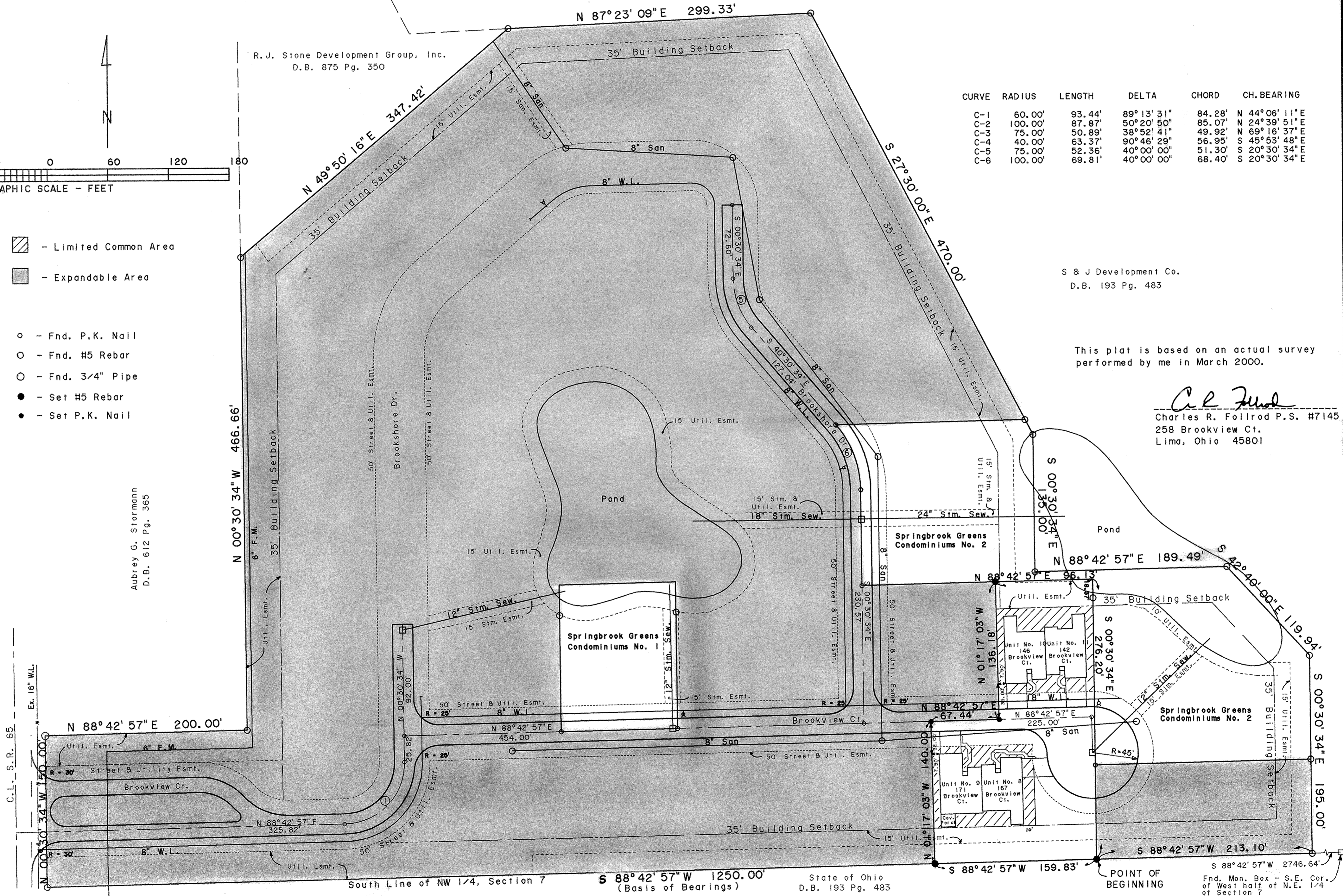


- ▨ - Limited Common Area
- - Expandable Area
- - Fnd. P.K. Nail
- - Fnd. #5 Rebar
- - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
 Charles R. Follrod P.S. #7145
 258 Brookview Ct.
 Lima, Ohio 45801



S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483

POINT OF BEGINNING

S 88° 42' 57" W 2746.64'
Fnd. Mon. Box - S.E. Cor. of West half of N.E. 1/4 of Section 7

SPRINGBROOK GREENS CONDOMINIUMS NO. 3

DESCRIPTION
(Private Street & Utility Easement - Brookview Ct/Brookshore Dr.)

(Private Street & Utility Easement - Brookview Ct.)

SPRINGBROOK GREENS CONDOMINIUMS NO. 3, consists of a part of the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio.

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

This set of drawings attached hereto consisting of a Plat Plan of SPRINGBROOK GREENS CONDOMINIUMS NO. 3, one page of descriptions, two pages of floor plans, two pages of elevation views of the buildings and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities and the expandable area. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3996.64' to a found #5 rebar on the right-of-way line of S.R. 65, thence N00°30'34"W with said right-of-way, 30.00' to the POINT OF BEGINNING, thence the following courses:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3616.62' to a point, thence N00°30'34"W, 115.01' to the POINT OF BEGINNING, thence the following courses:

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

- N00°30'34"W with said right-of-way, 90.01';
- N88°42'57"E, 150.50';
- Southeasterly on a curve to the right an arc distance of 63.08', said curve having a radius of 75.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 61.24';
- Southeasterly on a curve to the left an arc distance of 37.85', said curve having a radius of 45.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 36.74';
- N88°42'57"E, 55.00';
- Northeasterly on a curve to the left an arc distance of 54.50', said curve having a radius of 35.00', a delta angle of 89°13'31", and an L.C. of N44°06'12"E, 49.16';
- N00°30'34"W, 400.00';
- Northeasterly on a curve to the right an arc distance of 109.84', said curve having a radius of 125.00', a delta angle of 50°20'50", and an L.C. of N24°39'51"E, 106.34';
- N49°50'16"E, 140.00';
- Northeasterly on a curve to the right an arc distance of 67.86', said curve having a radius of 100.00', a delta angle of 38°52'41", and an L.C. of N69°16'37"E, 66.56';
- N88°42'57"E, 100.00';
- Southeasterly on a curve to the right an arc distance of 102.98', said curve having a radius of 65.00', a delta angle of 90°46'29", and an L.C. of S45°53'49"E, 92.54';
- S00°30'34"E, 72.60';
- Southeasterly on a curve to the left an arc distance of 34.91', said curve having a radius of 50.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 34.20';
- S40°30'34"E, 127.04';
- Southeasterly on a curve to the right an arc distance of 87.27', said curve having a radius of 125.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 85.51';
- S00°30'34"E, 205.23';
- S88°42'57"W, 50.00';
- N00°30'34"W, 205.90';
- Northwesterly on a curve to the left an arc distance of 52.36', said curve having a radius of 75.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 51.30';
- N40°30'34"W, 127.04';
- Northwesterly on a curve to the right an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 68.40';
- N00°30'34"W, 72.60';
- Northwesterly on a curve to the left an arc distance of 23.76', said curve having a radius of 15.00', a delta angle of 90°46'29", and an L.C. of N45°53'48"W, 21.36';
- S88°42'57"W, 100.00';
- Southwesterly on a curve to the left an arc distance of 33.93', said curve having a radius of 50.00', a delta angle of 38°52'41", and an L.C. of S69°16'36"W, 33.28';
- S49°50'16"W, 140.00';
- Southwesterly on a curve to the left an arc distance of 65.90', said curve having a radius of 75.00', a delta angle of 50°20'50", and an L.C. of S24°39'51"W, 63.80';
- S00°30'34"E, 400.00';
- Southwesterly on a curve to the right an arc distance of 132.37', said curve having a radius of 85.00', a delta angle of 89°13'31", and an L.C. of S44°06'12"W, 119.39';
- S88°42'57"W, 296.16' to the POINT OF BEGINNING.

- N00°30'34"W, 50.00';
- N88°42'57"E, 653.66';
- Southwesterly on a curve to the right an arc distance of 292.79', said curve having a radius of 60.00', a delta angle of 279°35'39" and an L.C. of S48°30'46"W, 77.46';
- S88°42'57"W, 595.17' to the POINT OF BEGINNING.

The above described easement contains 0.959 acres more or less, subject to all legal highways and easements of record.

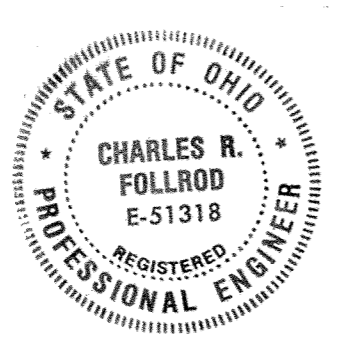
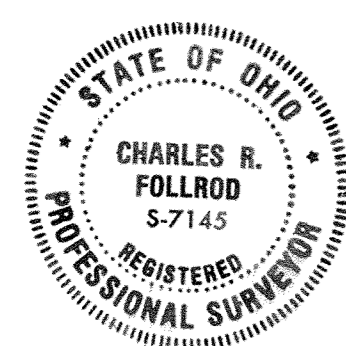
Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Total Private Street & Utility Easement = 3.161 acres

No. 200108674
Filed for record this 9th day of MAY, 2001 at 12:49 o'clock
P.M. in the office of the Allen County Recorder and recorded in Plat Book 24 on Page 62.

Fee: 144.90
Edward P. Kirk
RECORDER, Allen County, Ohio

For DECLARATIONS see Deed Volume 882 Page 384.



DESCRIPTION
(Springbrook Greens Condominiums No. 3)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar, thence continuing S88°42'57"W with said line, 213.10' to a set #5 rebar and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W with said line, 159.83' to a set #5 rebar;
- N01°17'03"W, 140.00' to a set P.K. nail;
- N88°42'57"E, 67.44' to a set P.K. nail;
- N01°17'03"W, 136.18' to set #5 rebar;
- N88°42'57"E, 96.13' to a point;
- S00°30'34"E, 276.20' to the POINT OF BEGINNING, passing over a found #5 rebar at 18.37' and a found P.K. nail at 183.37'.

The above described parcel contains 0.814 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001

The above described easement contains 2.202 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

DESCRIPTION
(Springbrook Greens Condominiums No. 3 Dedicator's Land)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar and being the POINT OF BEGINNING, thence the following courses:

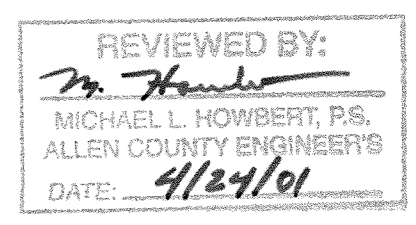
- S88°42'57"W with the south line of the NW 1/4 of Section 7, 1250.00' to a found #5 rebar on the right-of-way line of S.R. 65, passing over a found #5 rebar at 1200.00' also on the right-of-way line of S.R. 65;
- N00°30'34"W with the right-of-way line of S.R. 65, 150.00' to a found 3/4" pipe;
- N88°42'57"E, 200.00' to a found #5 rebar;
- N00°30'34"W, 466.66' to a found #5 rebar;
- N49°50'16"E, 347.42' to a found #5 rebar;
- N87°23'09"E, 299.33' to a found #5 rebar;
- S27°30'00"E, 470.00' to a found #5 rebar;
- S00°30'34"E, 135.00' to a found #5 rebar;
- N88°42'57"E, 189.49 to a found #5 rebar;
- S42°40'00"E, 119.94' to a found #5 rebar;
- S00°30'34"E, 195.00' to the POINT OF BEGINNING.

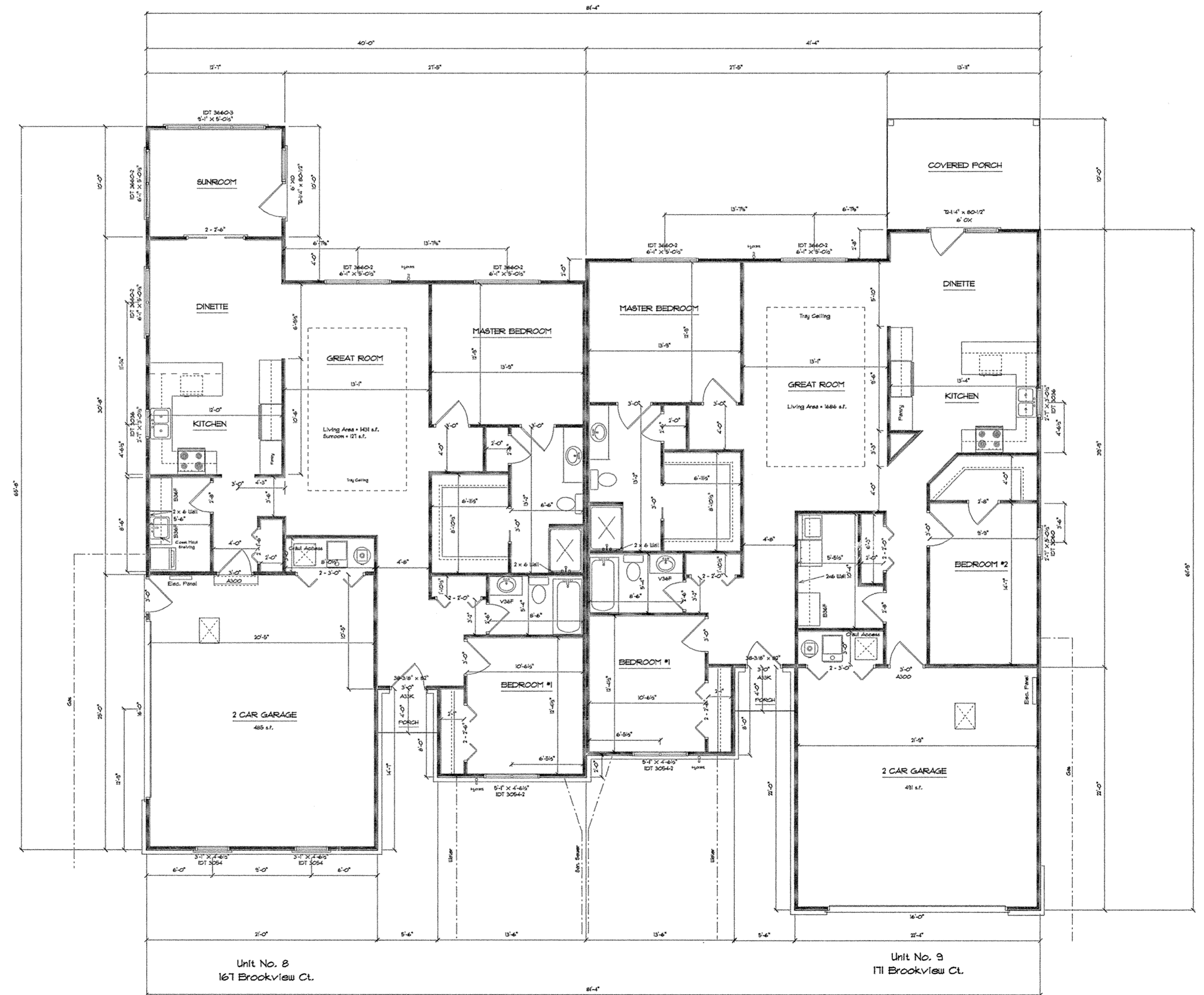
The above described parcel contains 15.673 acres more or less, subject to all legal highways and easements of record.

SAVE AND EXCEPT
(Springbrook Greens Condominiums No. 1 - Acreage = 0.383 ac.)
(For Description - See P.B. 24, Pg. 30)

(Springbrook Greens Condominiums No. 2 - Acreage = 1.502 ac.)
(For Description - See P.B. 24, Pg. 35)

The total dedicator's land contains 13.788 acres more or less subject to all legal highways and easements of record.



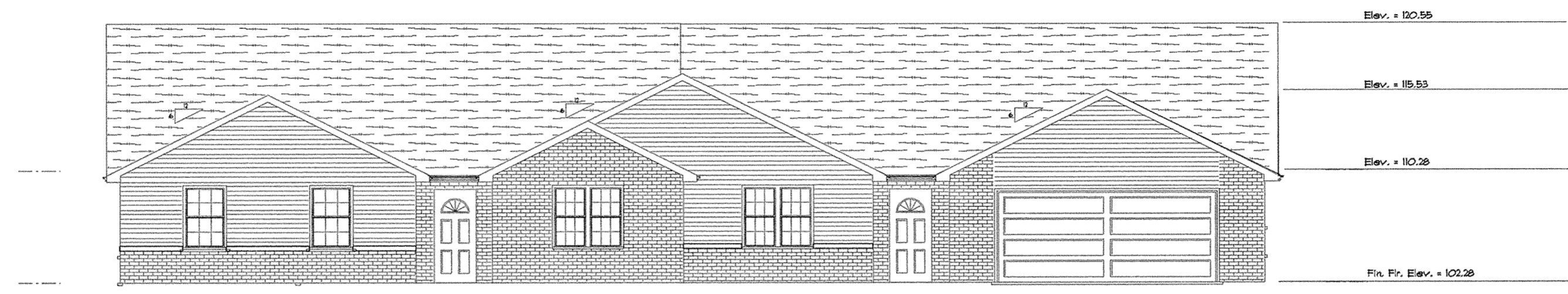


Notes:
 1. The Owner is to install cabinet blocking.

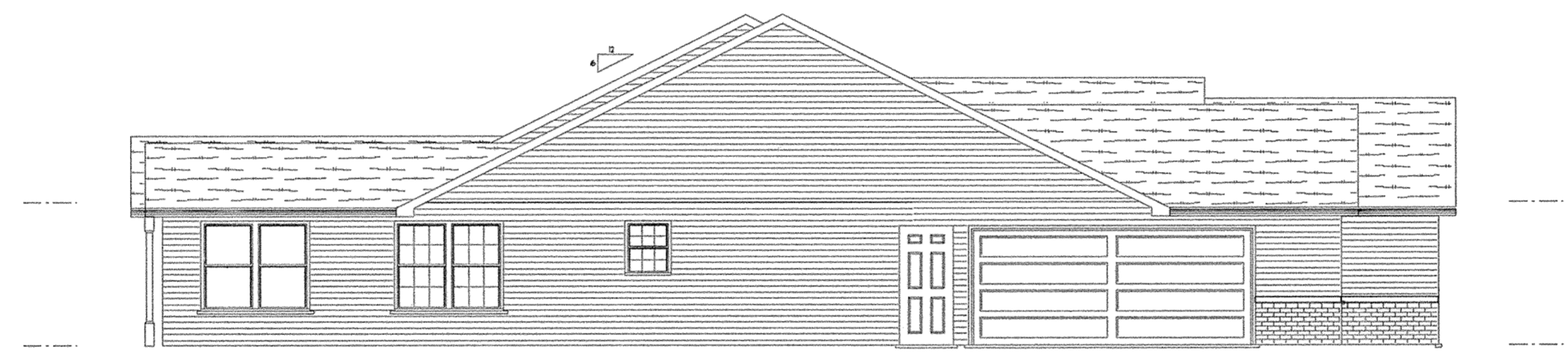
Unit No. 8
 167 Brookview Ct.

Unit No. 9
 171 Brookview Ct.

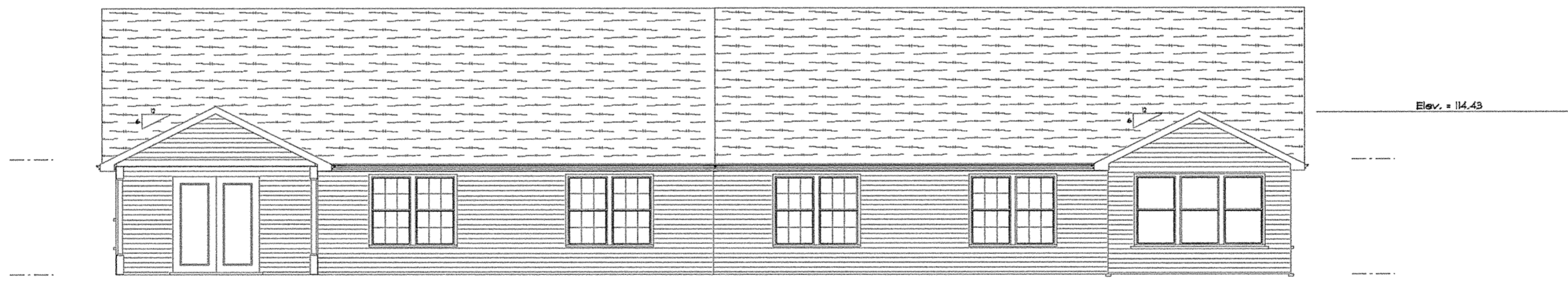
Springbrook Greens Condominiums
 Job 918 & 919
 SCALE: 1/8" = 1'-0"
 11-13-00



FRONT ELEVATION

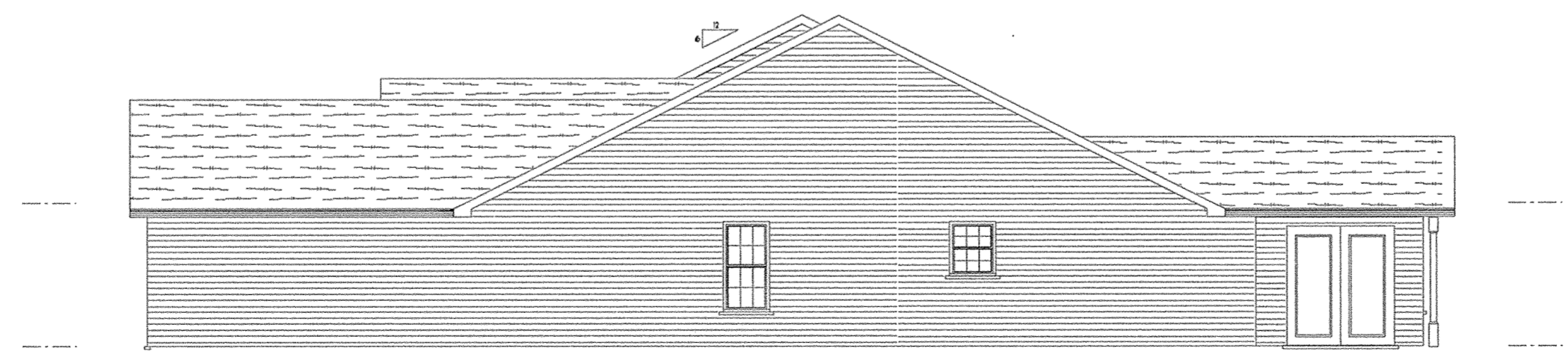


LEFT ELEVATION



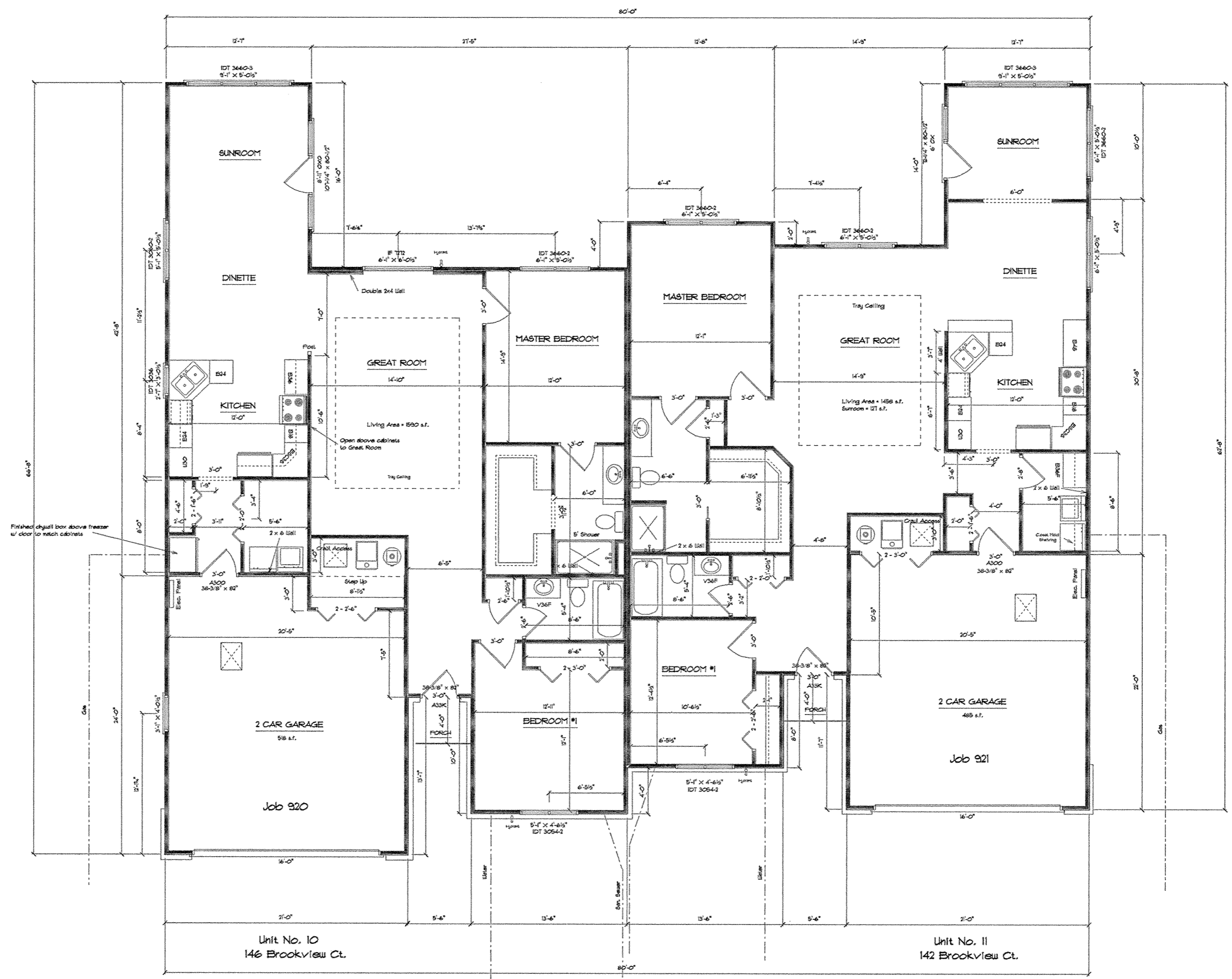
REAR ELEVATION

B.M. - Top of Steamer Nozzle on Fire Hydrant Located in Front of 142 Brookview Ct. Elev. = 100.00

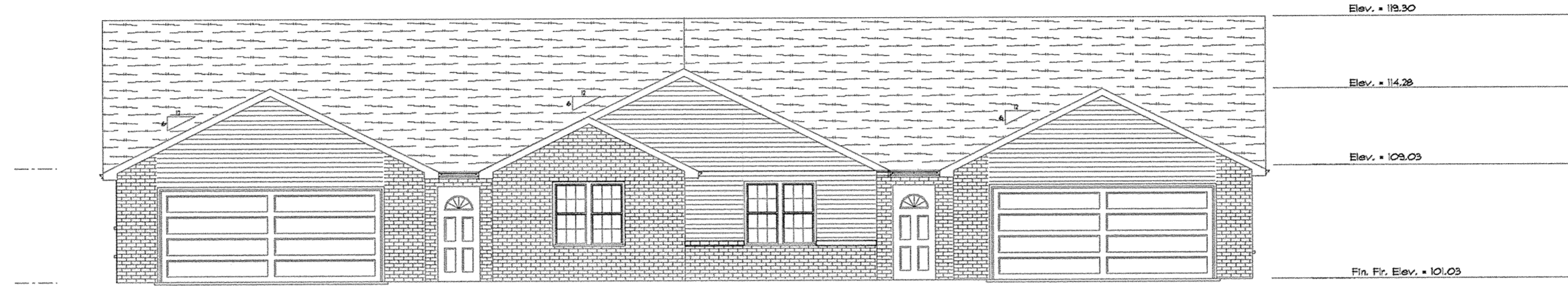


RIGHT ELEVATION

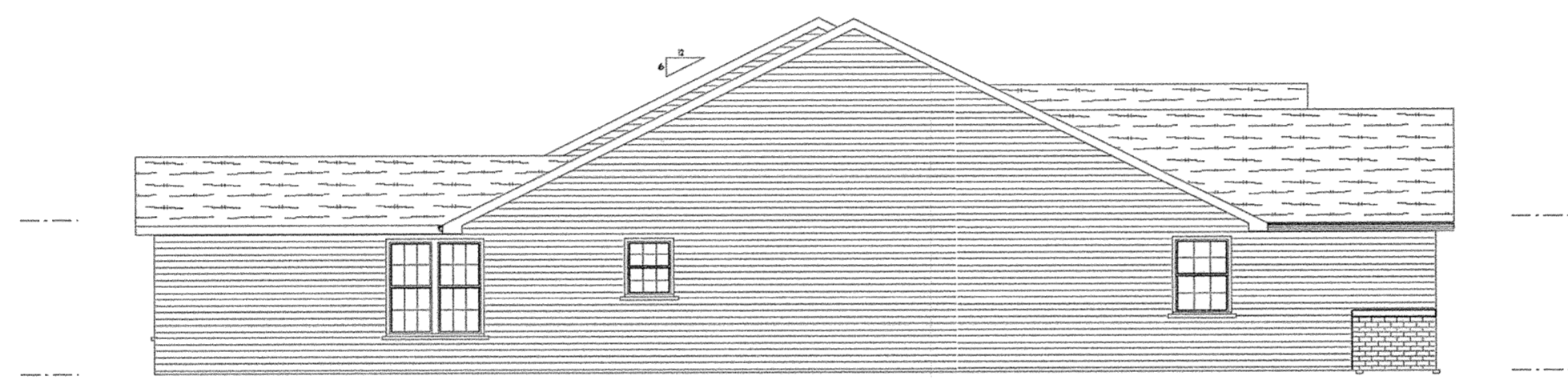
167-171 Brookview Ct.



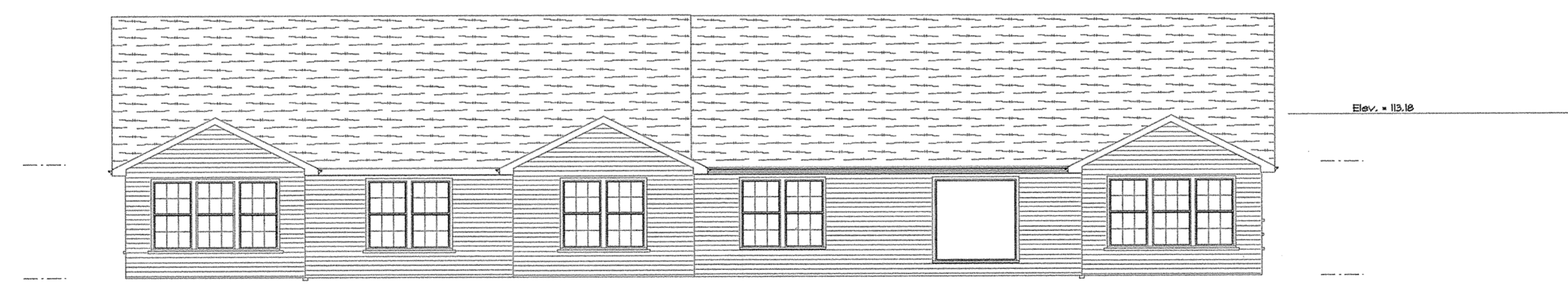
Notes:
 Frame to install cabinet blocking.



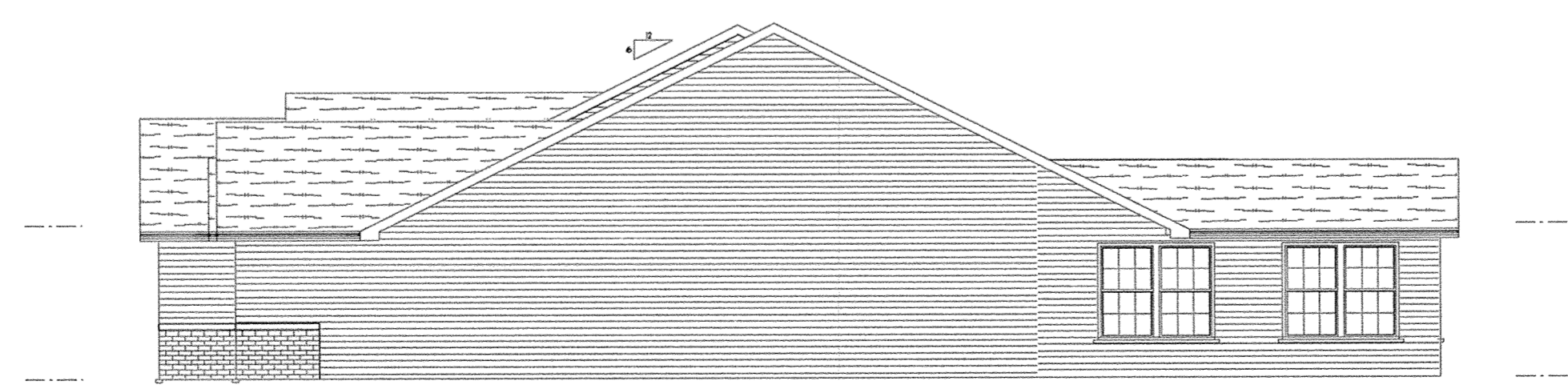
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

B.M. - Top of Steamer Nozzle on Fire Hydrant Located In Front of 142 Brookview Ct. Elev. = 100.00

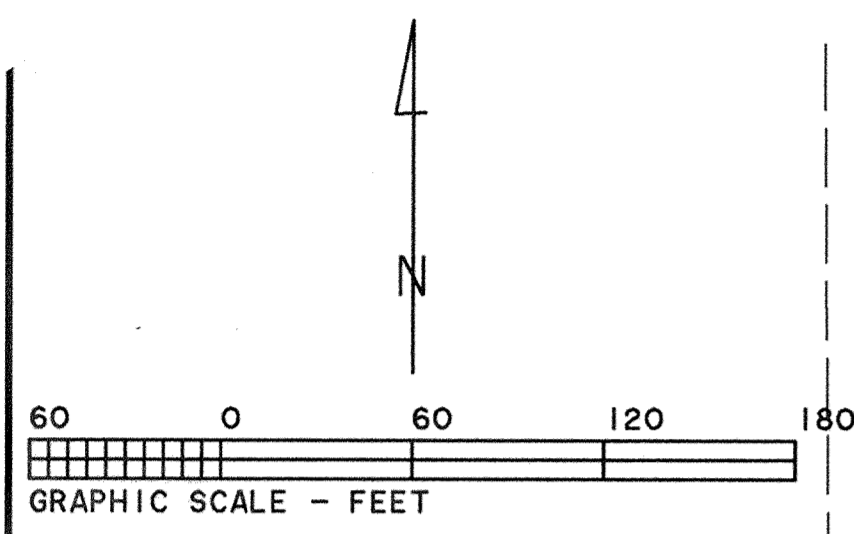
142-146 Brookview Ct.

Springbrook Greens Condominiums
Job 920 & 921
SCALE: 1/8" = 1'-0"
12-18-00

SPRINGBROOK GREENS CONDOMINIUMS NO. 3

Survey of Dedicator's Land

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	75.00'	63.08'	48° 11' 23"	61.24'	S 67° 11' 22" E
C-2	45.00'	37.85'	48° 11' 23"	36.74'	S 67° 11' 22" E
C-3	35.00'	54.50'	89° 13' 31"	49.16'	N 44° 06' 12" E
C-4	125.00'	109.84'	50° 20' 50"	106.34'	N 24° 39' 51" E
C-5	100.00'	67.86'	38° 52' 41"	66.56'	N 69° 16' 37" E
C-6	65.00'	102.98'	90° 46' 29"	92.54'	S 45° 53' 49" E
C-7	50.00'	34.91'	40° 00' 00"	34.20'	S 20° 30' 34" E
C-8	125.00'	87.27'	40° 00' 00"	85.51'	S 20° 30' 34" E
C-9	75.00'	52.36'	40° 00' 00"	51.30'	N 20° 30' 34" W
C-10	100.00'	69.81'	40° 00' 00"	68.40'	N 20° 30' 34" W
C-11	15.00'	23.76'	90° 46' 29"	21.36'	N 45° 53' 48" W
C-12	50.00'	33.93'	38° 52' 41"	33.28'	S 69° 16' 36" W
C-13	75.00'	65.90'	50° 20' 50"	63.80'	S 24° 39' 51" W
C-14	85.00'	132.37'	89° 13' 31"	119.39'	S 44° 06' 12" W
C-15	60.00'	292.79'	279° 35' 39"	77.46'	S 48° 30' 46" W

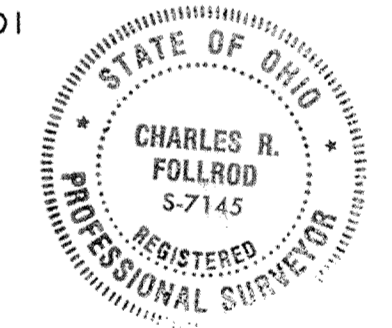


R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

S & J Development Co.
D.B. 193 Pg. 483

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
Charles R. Follrod P.S. #7145
258 Brookview Ct.
Lima, Ohio 45801



- - Fnd. P.K. Nail
- - Fnd. #5 Rebar
- - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365

For Dedicator's Land and Street & Utility Easement Description - See Sheet No. 2

Springbrook Greens Condominiums No. 2
P.B. 24, Pg. 35

Springbrook Greens Condominiums No. 1
P.B. 24, Pg. 30

Springbrook Greens Condominiums No. 2
P.B. 24, Pg. 35

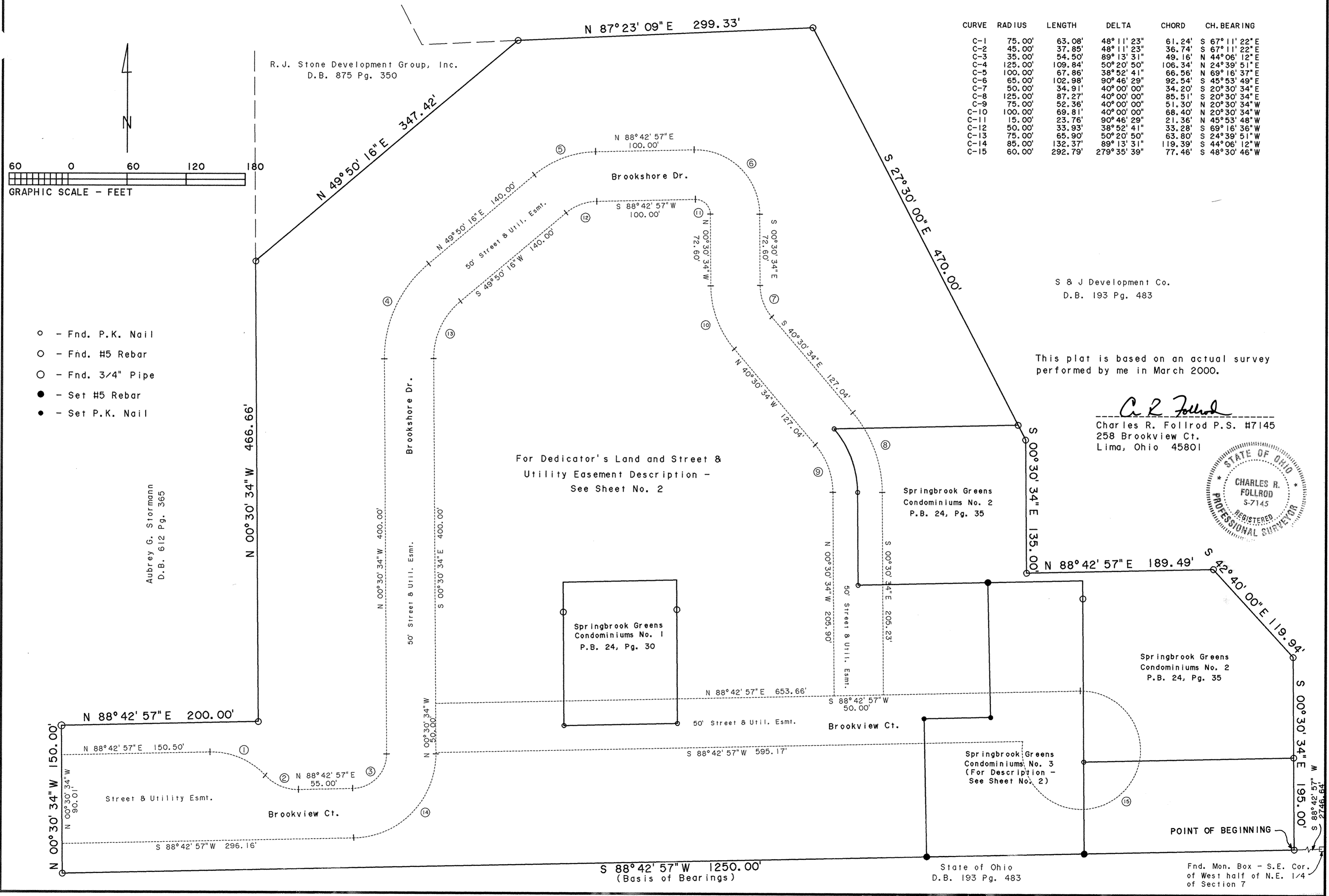
Springbrook Greens Condominiums No. 3
(For Description - See Sheet No. 2)

POINT OF BEGINNING

State of Ohio
D.B. 193 Pg. 483

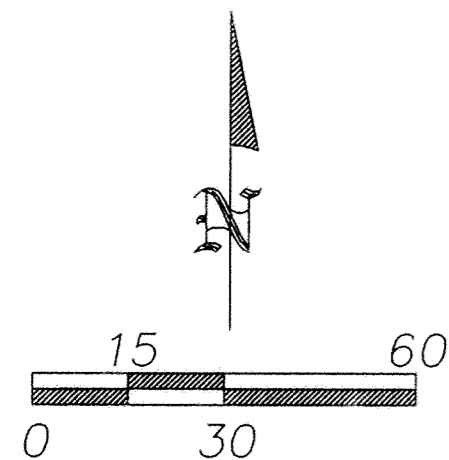
Fnd. Mon. Box - S.E. Cor. of West half of N.E. 1/4 of Section 7

S 88° 42' 57" W 1250.00'
(Basis of Bearings)



10' ALLEY VACATION

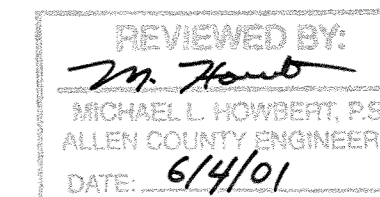
FROM WATT AVE. NORTH TO STANTON AVE.



Scale 1"=30'

LEGEND

- A - Set #5 rebar
- B - Existing #5 rebar
- C - Existing 1" pipe



DESCRIPTION

Being a 10' wide alley to be vacated that runs north from Watt Ave., north to Stanton Ave. on the west side of Lots 10298 and 10311 in State Park View Subdivision as recorded in Plat book 6, Page 50, in the NW¹/₄ of Section 19, T3S, R7E, Bath Township, Allen County, Ohio more particularly described as follows:

Beginning at a set #5 rebar at the southeast corner of Lot 10277 in said subdivision, thence the following courses;

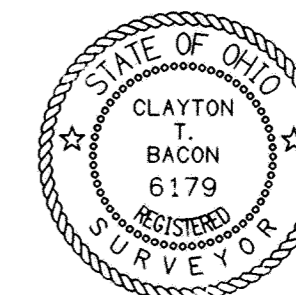
1. N.0°-00'-00"E. (assumed bearing) on the east side of the alley, 270.00' to an existing 1" pipe at the northeast corner of Lot 10272;
2. N.89°-46'-51"E. on the south line of Stanton Ave., 10.00' to an existing #5 rebar at the northwest corner of Lot 10311;
3. S.0°-00'-00"W. on the east side of the alley, 270.00' to a set #5 rebar at the southwest corner of Lot 10298;
4. S.89°-46'-51"W. on the north line of Watt Ave., 10.00' to the POINT OF BEGINNING.

The above-described alley contains 0.062 acre more or less, subject to all legal highways and easements of record.

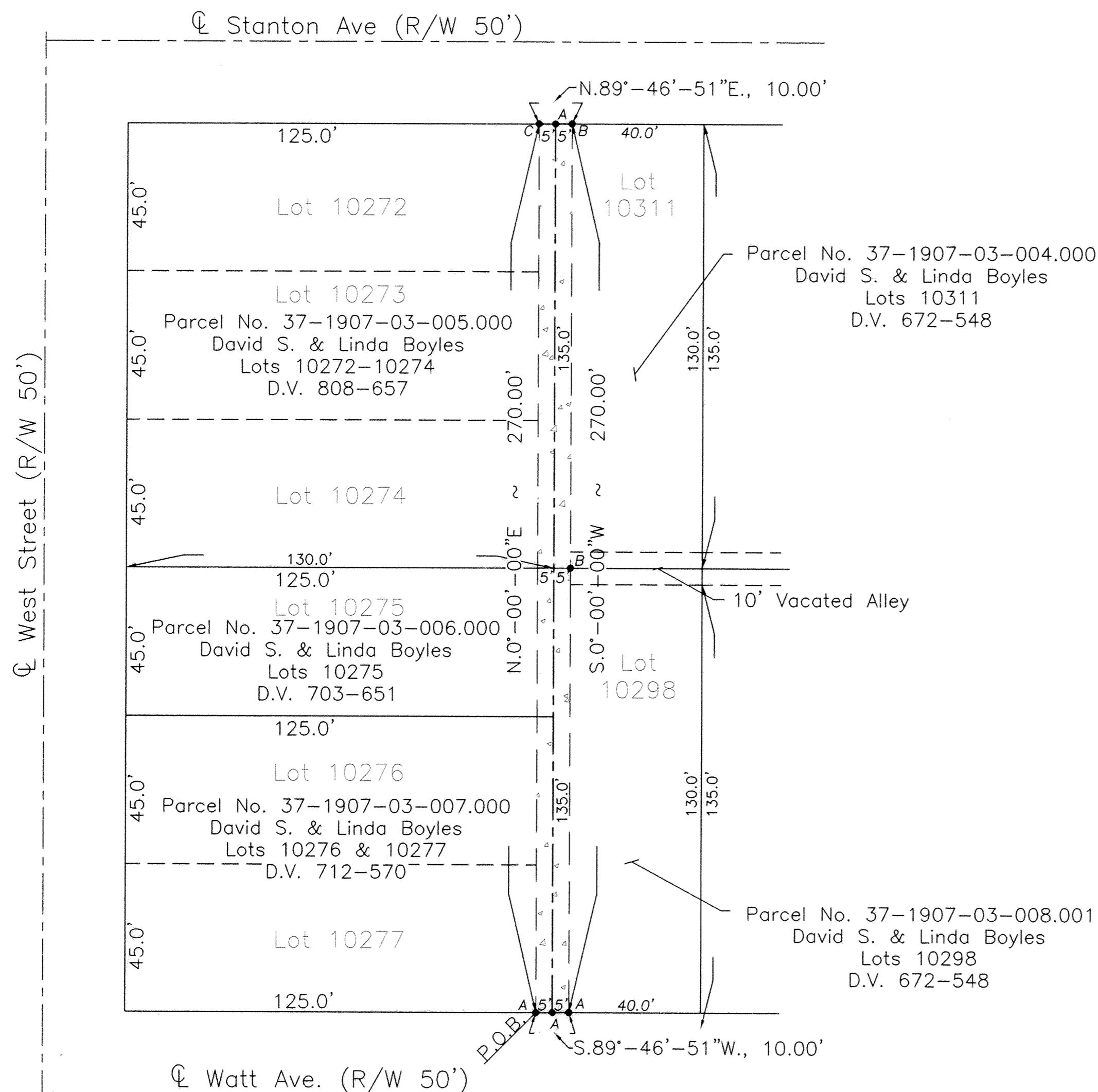
A bearing of N.89°-46'-51"E. was assumed for the centerline of Watt Ave.

This description and plat is based on an actual field survey performed on 10-5-00, by Clayton T. Bacon, P.S. #6179.

200110638
 RECORDED JUNE 4, 2001
 AT 3:40 PM
 PLAT BK 24 pg 69
 EDWARD R. KIRK
 ALLEN COUNTY RECORDER
 FEE \$ 20.70
 DEED VOL 883
 Pg 405



Clayton J. Bacon
 Clayton J. Bacon, Reg. Sur. #6179 DATE: 5-29-01

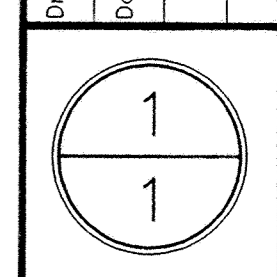


Prepared By
Bacon & Associates, L.L.C.
 4600 Kitamat Trail Lima, Ohio 45805
 Office: (419) 999-3756 - Fax: (419) 999-2523

David S. & Linda L. Boyles
 Lots 10272-10277 & 10298, 102311 State Park View
 NW¹/₄ Section 19, T3S, R7E, Bath Twp., Allen Co.

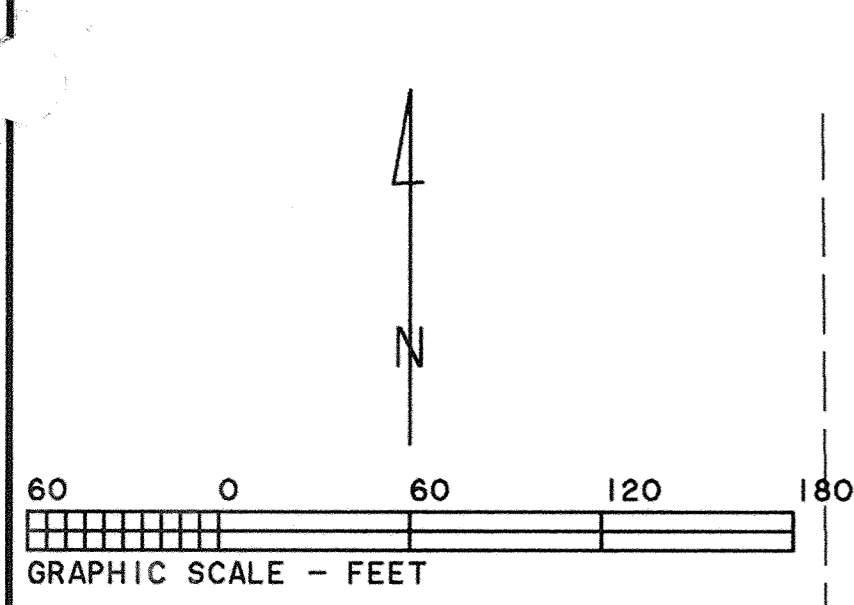
File: 102-00

Drawn: MSH
 Date: 10-11-00



SPRINGBROOK GREENS CONDOMINIUMS NO. 4

Part of the NW 1/4 of Section 7, T3S, R7E, Bath Twp., Allen Co., Oh.



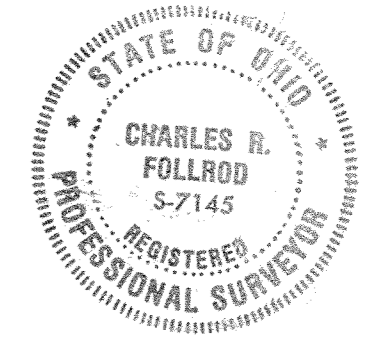
- Limited Common Area
- Expandable Area
- Fnd. P.K. Nail
- Fnd. #5 Rebar
- Fnd. 3/4" Pipe
- Set #5 Rebar
- Set P.K. Nail

R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

Aubrey G. Stormann
D.B. 612 Pg. 365

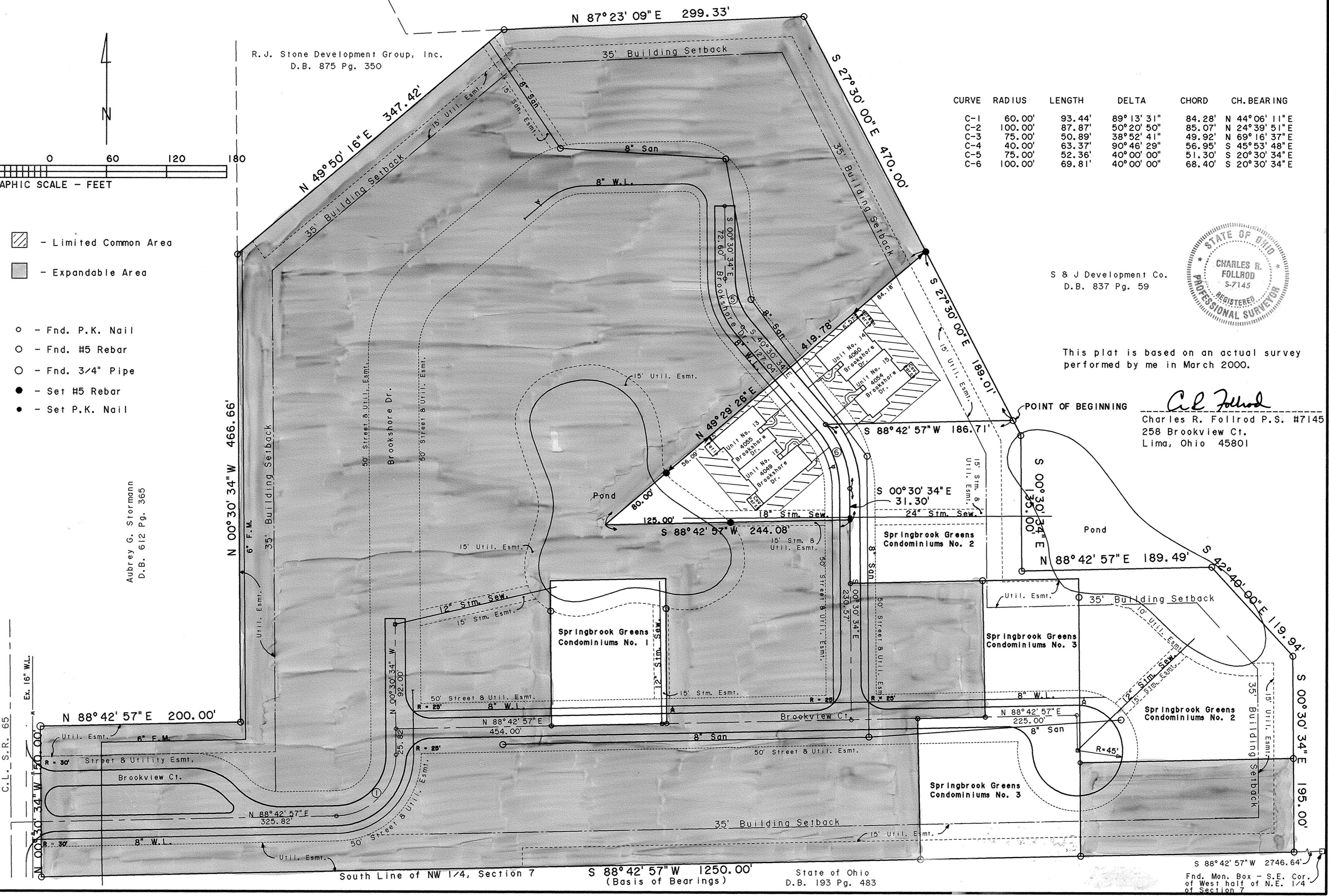
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	60.00'	93.44'	89° 13' 31"	84.28'	N 44° 06' 11" E
C-2	100.00'	87.87'	50° 20' 50"	85.07'	N 24° 39' 51" E
C-3	75.00'	50.89'	38° 52' 41"	49.92'	N 69° 16' 37" E
C-4	40.00'	63.37'	90° 46' 29"	56.95'	S 45° 53' 48" E
C-5	75.00'	52.36'	40° 00' 00"	51.30'	S 20° 30' 34" E
C-6	100.00'	69.81'	40° 00' 00"	68.40'	S 20° 30' 34" E

S & J Development Co.
D.B. 837 Pg. 59



This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
Charles R. Follrod P.S. #7145
258 Brookview Ct.
Lima, Ohio 45801



C.L., S.R. 65

South Line of NW 1/4, Section 7
S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483

S 88° 42' 57" W 2746.64'
Fnd. Mon. Box - S.E. Cor. of West half of N.E. 1/4 of Section 7

SPRINGBROOK GREENS CONDOMINIUMS NO. 4

DESCRIPTION
(Private Street & Utility Easement - Brookview Ct./Brookshore Dr.)

SPRINGBROOK GREENS CONDOMINIUMS NO. 4, consists of a part of the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of SPRINGBROOK GREENS CONDOMINIUMS NO. 4, one page of descriptions, two pages of floor plans, two pages of elevation views of the buildings and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities and the expandable area. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

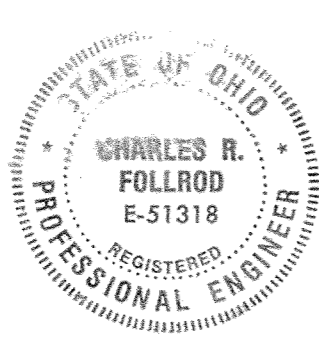
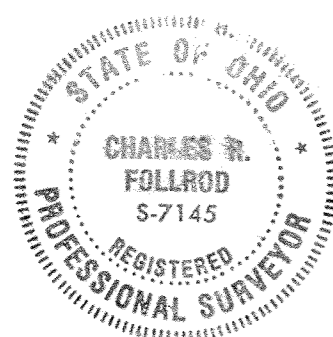
Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

No. 200113753
Filed for record this 17 day of July, 2001 at 8:21 o'clock
A M. in the office of the Allen County Recorder and recorded in Plat Book 24 on Page 70.

Fee: 144.90

Edward P. Kunk
RECORDER, Allen County, Ohio MH

For DECLARATIONS see Deed Volume 884 Page 830



DESCRIPTION
(Springbrook Greens Condominiums No. 4)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Beginning at a found #5 rebar at the Northeast corner of Springbrook Greens Condominiums No. 2 and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W with the north line of said Springbrook Greens Condominiums No. 2, 186.71' to a found P.K. nail;
- Southeasterly on a curve to the right with the west line of said Springbrook Greens Condominiums No. 2, an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00" and an L.C. of S20°30'34"E, 68.40' to a found P.K. nail;
- S00°30'34"E with the west line of said Springbrook Greens Condominiums No. 2, 31.30' to a set P.K. nail;
- S88°42'57"W, 244.08' to a point passing over a set #5 rebar at 119.08';
- N49°29'26"E, 419.78' to a set #5 rebar passing over a set #5 rebar at 80.00';
- S27°30'00"E, 189.01' to the POINT OF BEGINNING.

The above described parcel contains 0.965 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3996.64' to a found #5 rebar on the right-of-way line of S.R. 65, thence N00°30'34"W with said right-of-way, 30.00' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W with said right-of-way, 90.01';
- N88°42'57"E, 150.50';
- Southeasterly on a curve to the right an arc distance of 63.08', said curve having a radius of 75.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 61.24';
- Southeasterly on a curve to the left an arc distance of 37.85', said curve having a radius of 45.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 36.74';
- N88°42'57"E, 55.00';
- Northeasterly on a curve to the left an arc distance of 54.50', said curve having a radius of 35.00', a delta angle of 89°13'31", and an L.C. of N44°06'12"E, 49.16';
- N00°30'34"W, 400.00';
- Northeasterly on a curve to the right an arc distance of 109.84', said curve having a radius of 125.00', a delta angle of 50°20'50", and an L.C. of N24°39'51"E, 106.34';
- N49°50'16"E, 140.00';
- Northeasterly on a curve to the right an arc distance of 67.86', said curve having a radius of 100.00', a delta angle of 38°52'41", and an L.C. of N69°16'37"E, 66.56';
- N88°42'57"E, 100.00';
- Southeasterly on a curve to the right an arc distance of 102.98', said curve having a radius of 65.00', a delta angle of 90°46'29", and an L.C. of S45°53'49"E, 92.54';
- S00°30'34"E, 72.60';
- Southeasterly on a curve to the left an arc distance of 34.91', said curve having a radius of 50.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 34.20';
- S40°30'34"E, 127.04';
- Southeasterly on a curve to the right an arc distance of 87.27', said curve having a radius of 125.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 85.51';
- S00°30'34"E, 205.23';
- S88°42'57"W, 50.00';
- N00°30'34"W, 205.90';
- Northwesterly on a curve to the left an arc distance of 52.36', said curve having a radius of 75.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 51.30';
- N40°30'34"W, 127.04';
- Northwesterly on a curve to the right an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 68.40';
- N00°30'34"W, 72.60';
- Northwesterly on a curve to the left an arc distance of 23.76', said curve having a radius of 15.00', a delta angle of 90°46'29", and an L.C. of N45°53'48"W, 21.36';
- S88°42'57"W, 100.00';
- Southwesterly on a curve to the left an arc distance of 33.93', said curve having a radius of 50.00', a delta angle of 38°52'41", and an L.C. of S69°16'36"W, 33.28';
- S49°50'16"W, 140.00';
- Southwesterly on a curve to the left an arc distance of 65.90', said curve having a radius of 75.00', a delta angle of 50°20'50", and an L.C. of S24°39'51"W, 63.80';
- S00°30'34"E, 400.00';
- Southwesterly on a curve to the right an arc distance of 132.37', said curve having a radius of 85.00', a delta angle of 89°13'31", and an L.C. of S44°06'12"W, 119.39';
- S88°42'57"W, 296.16' to the POINT OF BEGINNING.

The above described easement contains 2.202 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

(Private Street & Utility Easement - Brookview Ct.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3616.62' to a point, thence N00°30'34"W, 115.01' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W, 50.00';
- N88°42'57"E, 653.66';
- Southwesterly on a curve to the right an arc distance of 292.79', said curve having a radius of 60.00', a delta angle of 279°35'39" and an L.C. of S48°30'46"W, 77.46';
- S88°42'57"W, 595.17' to the POINT OF BEGINNING.

The above described easement contains 0.959 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Total Private Street & Utility Easement = 3.161 acres

DESCRIPTION
(Springbrook Greens Condominiums No. 4 Dedicator's Land)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W with the south line of the NW 1/4 of Section 7, 1250.00' to a found #5 rebar on the right-of-way line of S.R. 65, passing over a found #5 rebar at 1200.00' also on the right-of-way line of S.R. 65;
- N00°30'34"W with the right-of-way line of S.R. 65, 150.00' to a found 3/4" pipe;
- N88°42'57"E, 200.00' to a found #5 rebar;
- N00°30'34"W, 466.66' to a found #5 rebar;
- N49°50'16"E, 347.42' to a found #5 rebar;
- N87°23'09"E, 299.33' to a found #5 rebar;
- S27°30'00"E, 470.00' to a found #5 rebar;
- S00°30'34"E, 135.00' to a found #5 rebar;
- N88°42'57"E, 189.49' to a found #5 rebar;
- S42°40'00"E, 119.94' to a found #5 rebar;
- S00°30'34"E, 195.00' to the POINT OF BEGINNING.

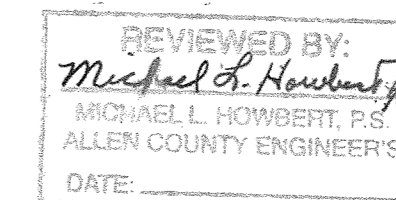
The above described parcel contains 15.673 acres more or less, subject to all legal highways and easements of record.

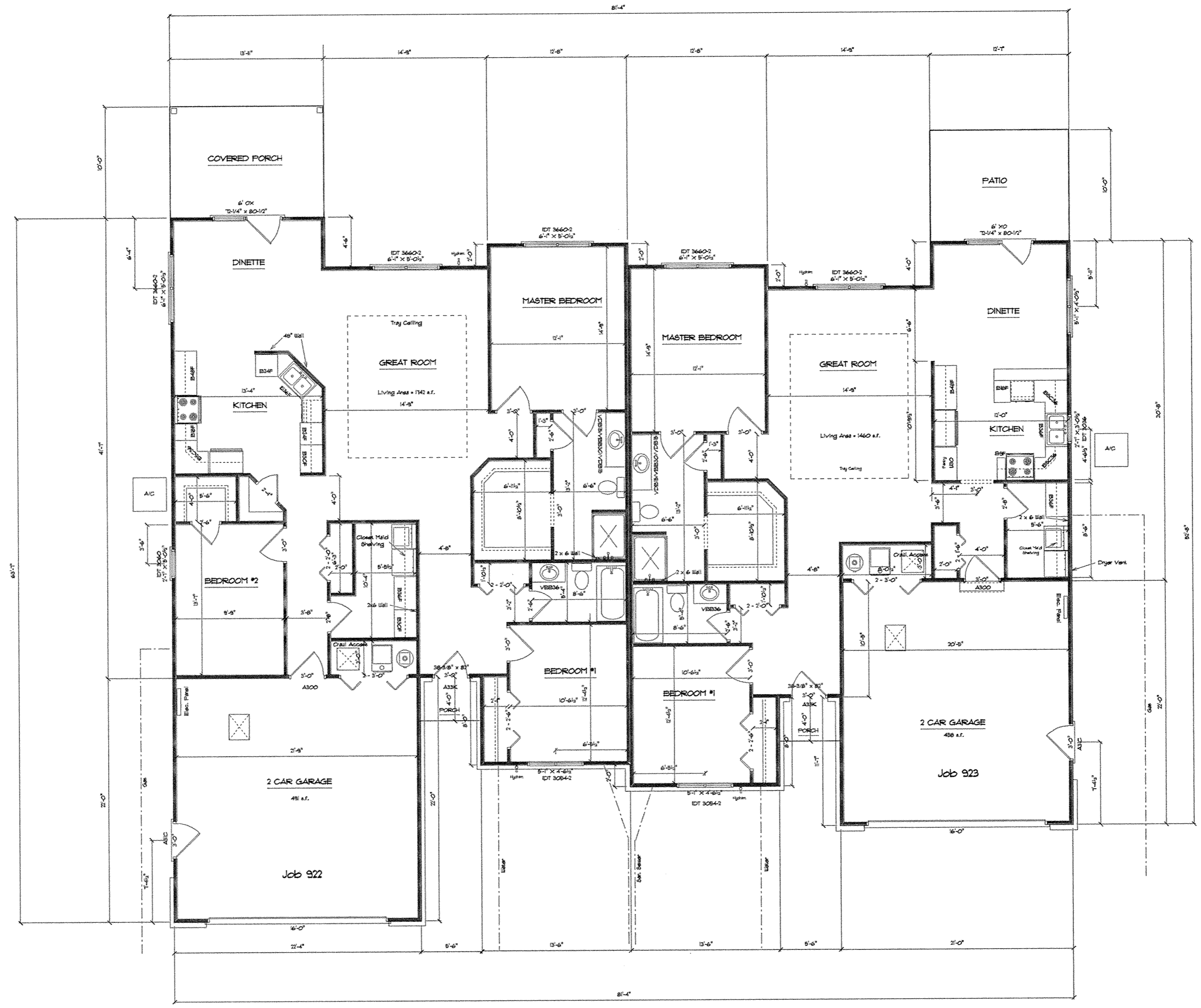
SAVE AND EXCEPT
(Springbrook Greens Condominiums No. 1 - Acreage = 0.383 ac.)
(For Description - See P.B. 24, Pg. 30)

(Springbrook Greens Condominiums No. 2 - Acreage = 1.502 ac.)
(For Description - See P.B. 24, Pg. 35)

(Springbrook Greens Condominiums No. 3 - Acreage = 0.814 ac.)
(For Description - See P.B. 24, Pg. 62)

The total dedicator's land contains 12.974 acres more or less subject to all legal highways and easements of record.

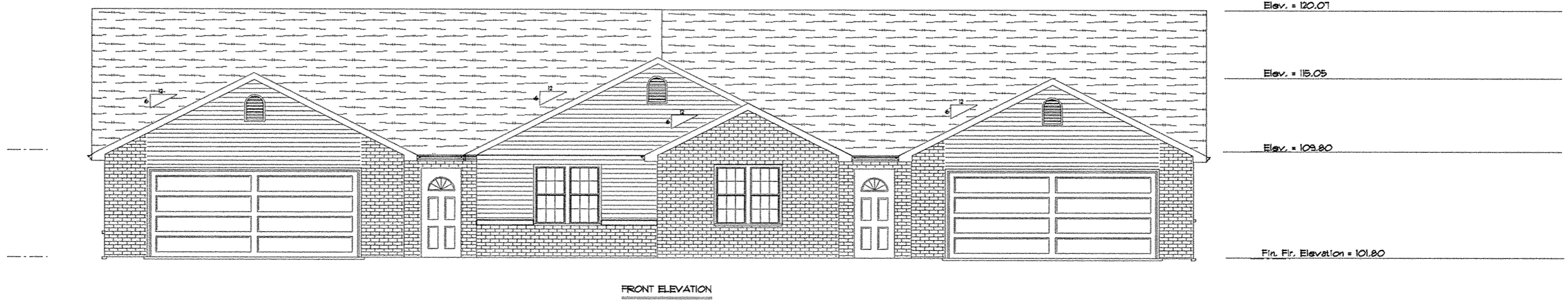




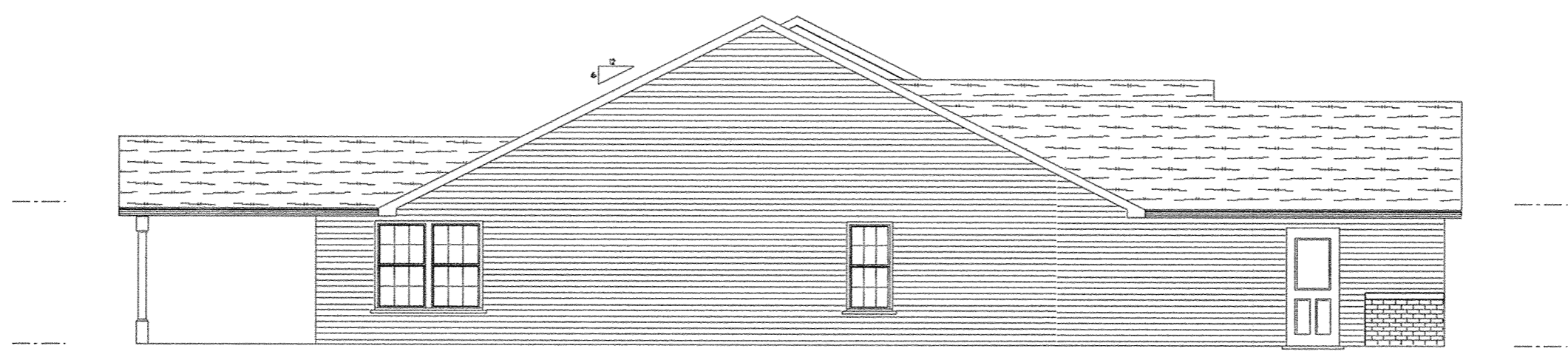
- Notes:
1. The framer is to install cabinet blocking.
 2. The framer shall install sheathing in the attic above garage.
 3. 2x6 walls shall be constructed between the bathroom walls and adjacent to the washer and dryer.

Unit No. 12
4049 Brookshore Dr.

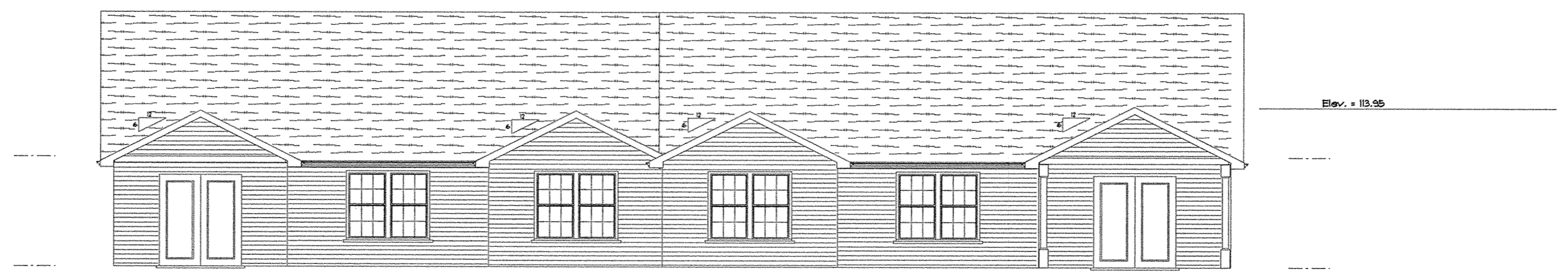
Unit No. 13
4055 Brookshore Dr.



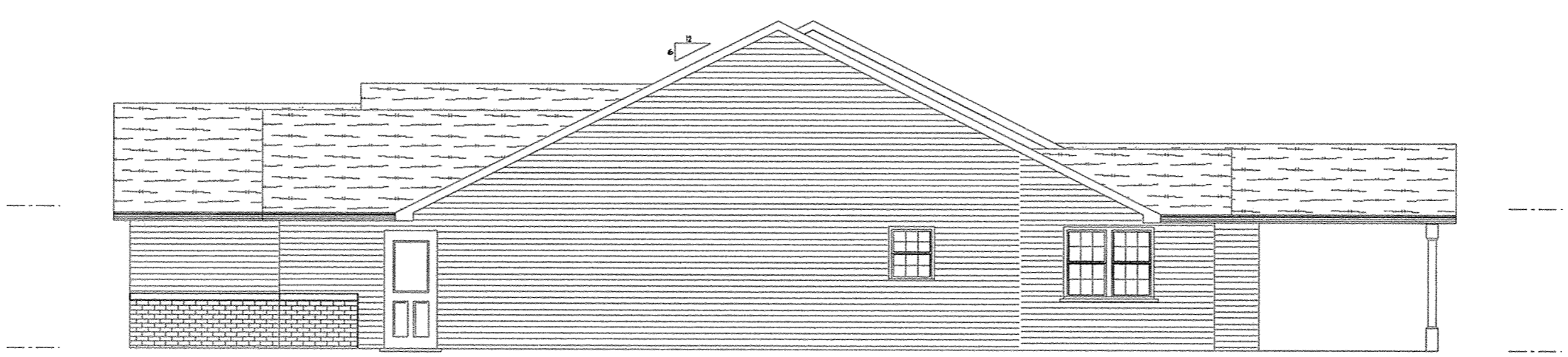
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

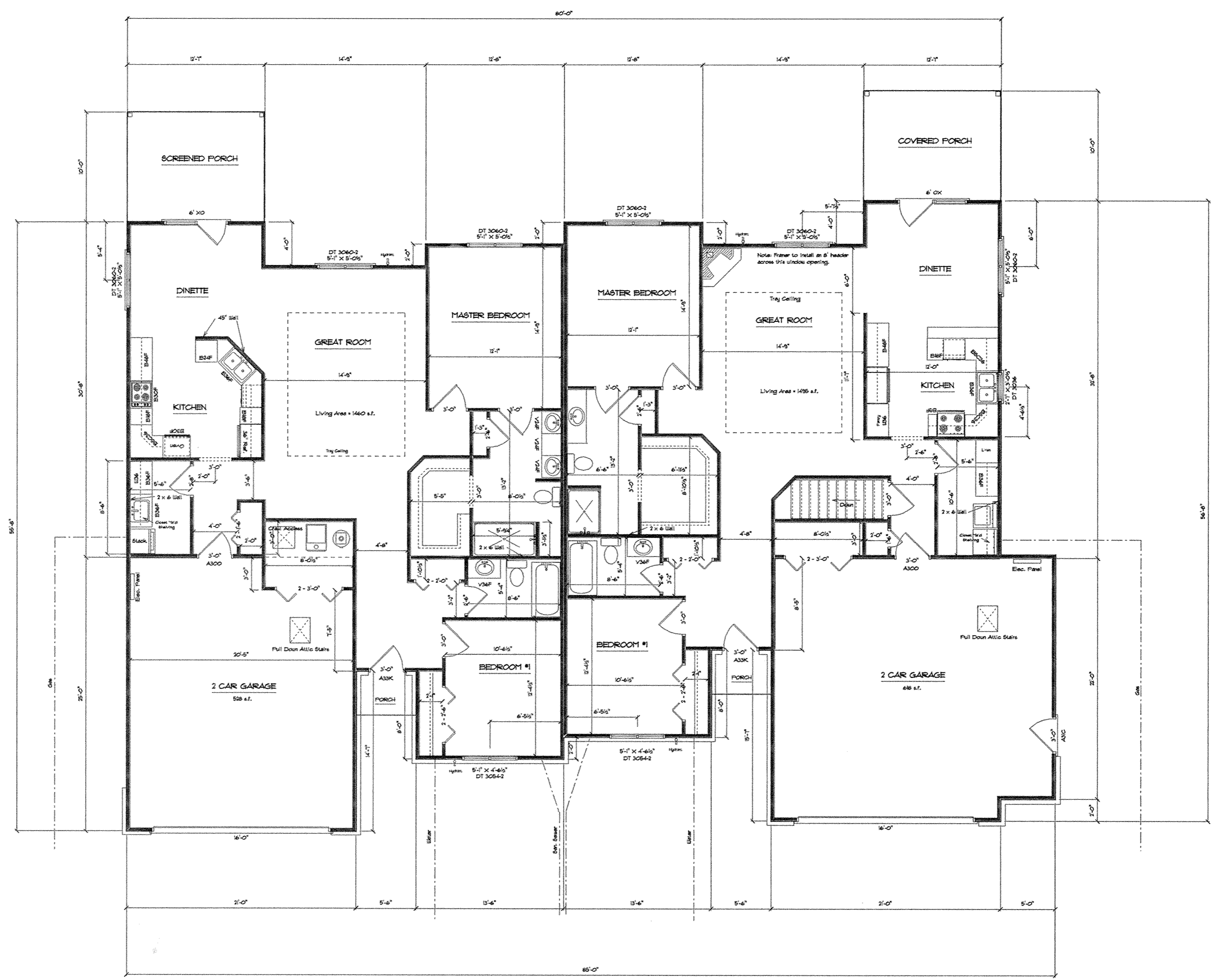


RIGHT ELEVATION

B.M. - Top of Steam Nozzle on Fire Hydrant Located In Front of 4049 Brookshore Dr. Elev. = 100.00

Springbrook Greens Condominiums
Job 922/923
SCALE 1/8" = 1'-0"
2-23-01

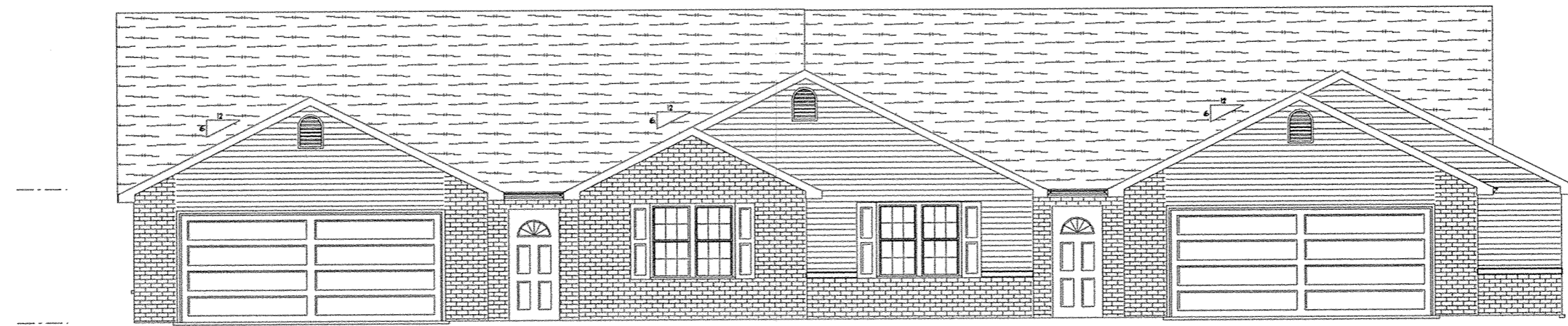
4049-4055 Brookshore Dr.



Note: Framer to install cabinet backing

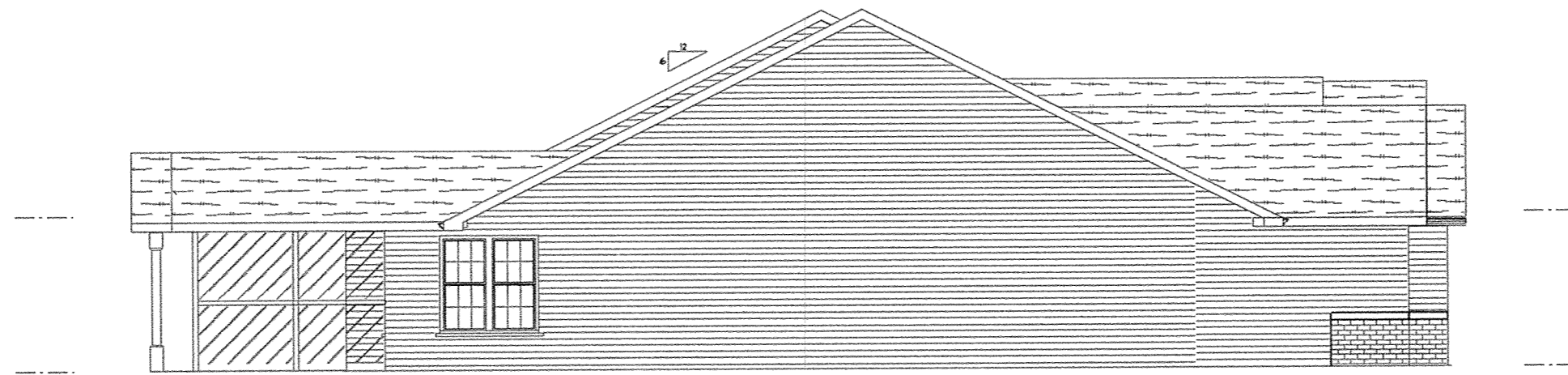
Unit No. 14
4060 Brookshore Dr.

Unit No. 15
4064 Brookshore Dr.

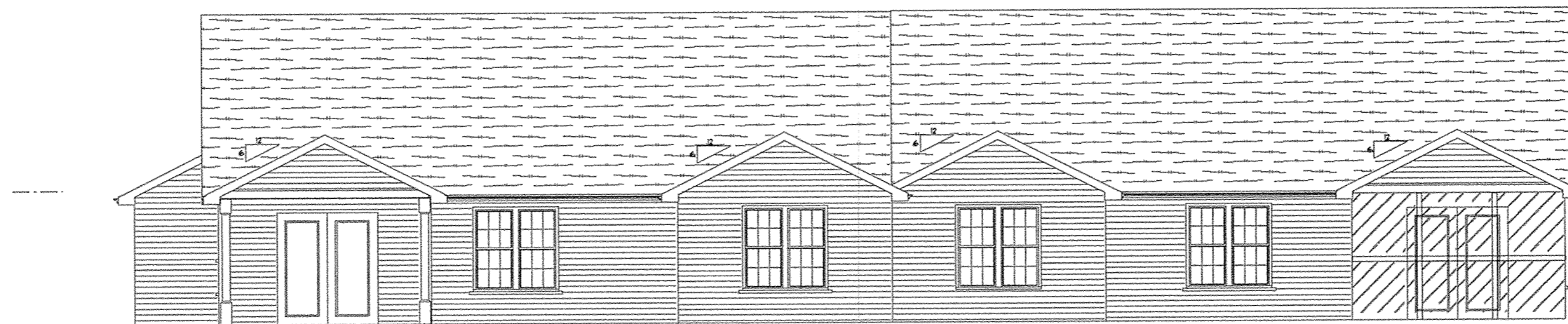


Elev. = 118.90
 Elev. = 115.13
 Elev. = 113.88
 Elev. = 108.63
 Fin. Flr. Elev. = 100.63

FRONT ELEVATION



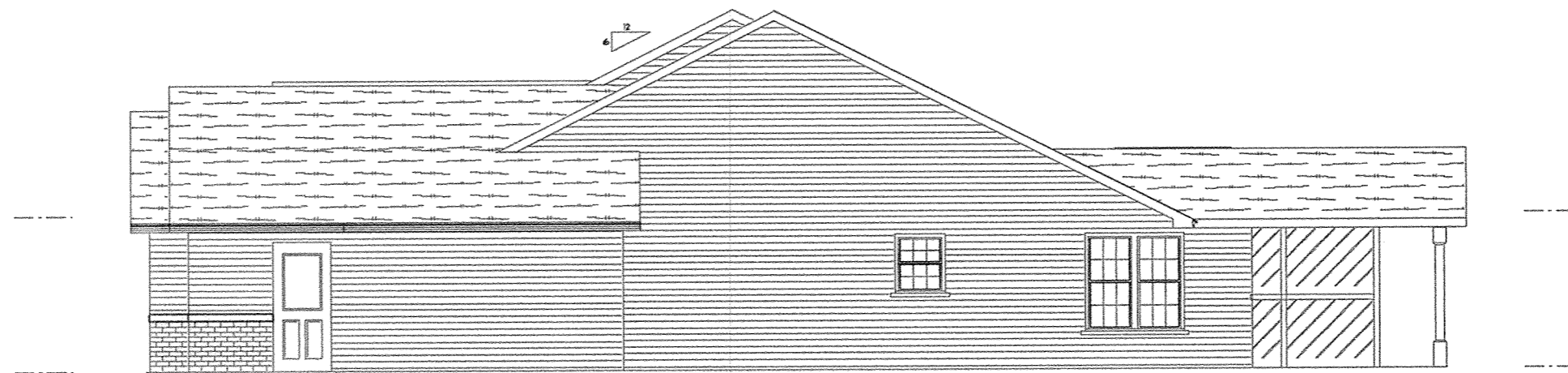
LEFT ELEVATION



Elev. = 112.78

REAR ELEVATION

B.M. - Top of Steamer Nozzle on Top of Fire Hydrant
 Located in Front of 4049 Brookshore Dr. Elev. = 100.00



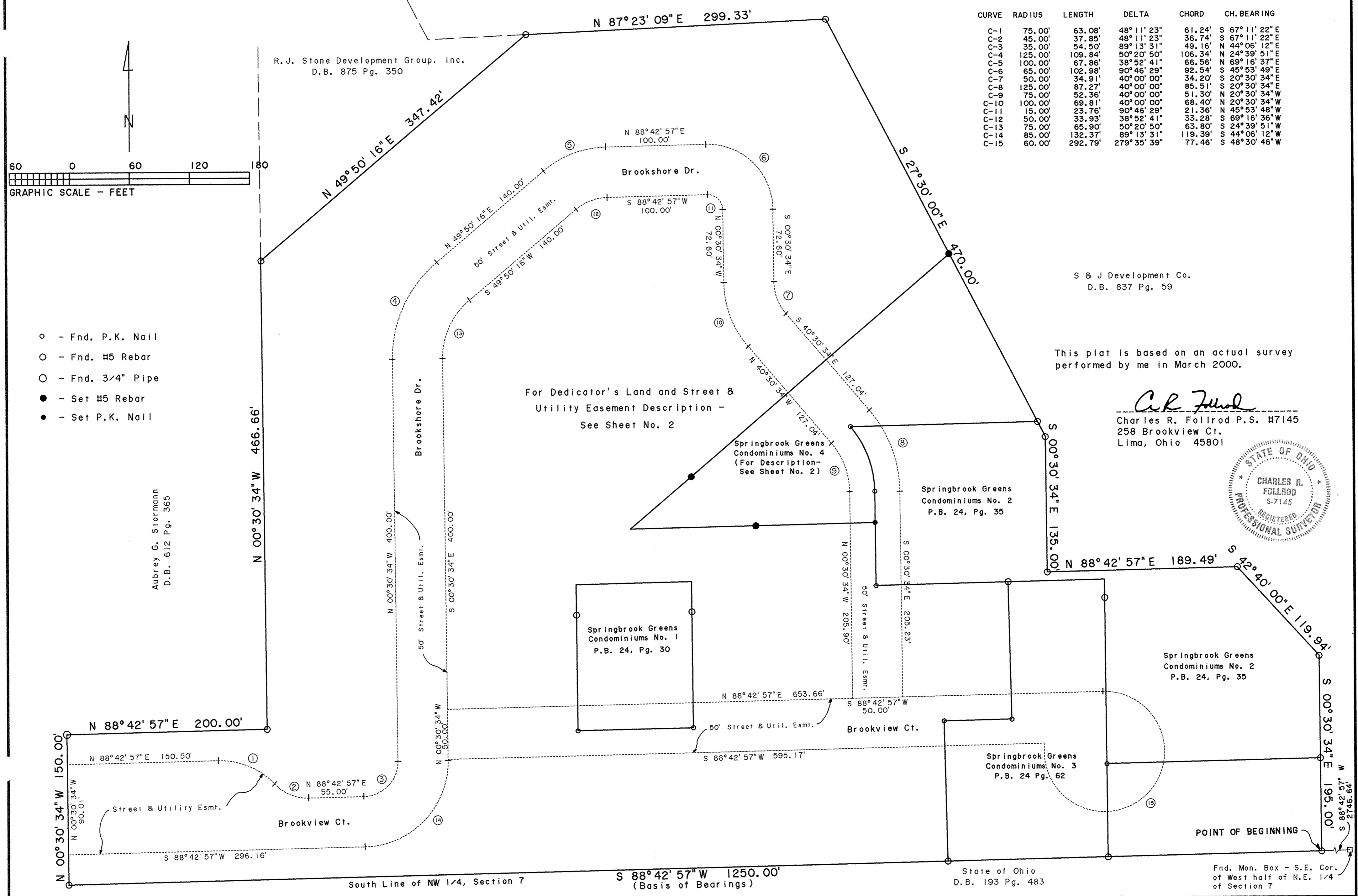
RIGHT ELEVATION

Springbrook Greens Condominiums
 Job 924/925
 SCALE: 1/8" = 1'-0"
 4/10/01

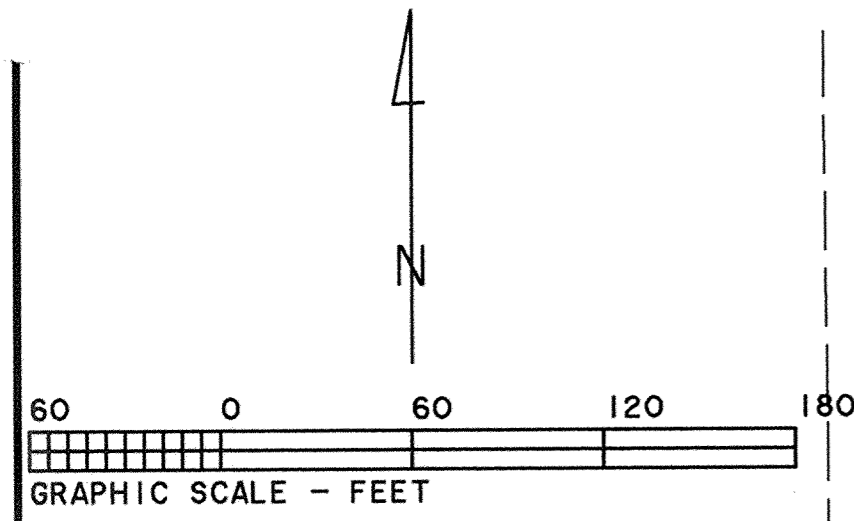
4054-4060 Brookshore Dr.

SPRINGBROOK GREENS CONDOMINIUMS NO. 4

Survey of Dedicator's Land



CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	75.00'	63.08'	48° 11' 23"	61.24'	S 67° 11' 22" E
C-2	45.00'	37.85'	48° 11' 23"	36.74'	S 67° 11' 22" E
C-3	35.00'	54.50'	89° 13' 31"	49.16'	N 44° 06' 12" E
C-4	125.00'	109.84'	50° 20' 50"	106.34'	N 24° 39' 51" E
C-5	100.00'	67.86'	38° 52' 41"	66.56'	N 69° 16' 37" E
C-6	65.00'	102.98'	90° 46' 29"	92.54'	S 45° 53' 49" E
C-7	50.00'	34.91'	40° 00' 00"	34.20'	S 20° 30' 34" E
C-8	125.00'	87.27'	40° 00' 00"	85.51'	S 20° 30' 34" E
C-9	75.00'	52.36'	40° 00' 00"	51.30'	N 20° 30' 34" W
C-10	100.00'	69.81'	40° 00' 00"	68.40'	N 20° 30' 34" W
C-11	15.00'	23.76'	90° 46' 29"	21.36'	N 45° 53' 48" W
C-12	50.00'	35.93'	38° 52' 41"	33.28'	S 69° 16' 36" W
C-13	75.00'	65.90'	50° 20' 50"	63.80'	S 24° 39' 51" W
C-14	85.00'	132.37'	89° 13' 31"	119.39'	S 44° 06' 12" W
C-15	60.00'	292.79'	279° 35' 39"	77.46'	S 48° 30' 46" W



- - Fnd. P.K. Nail
- - Fnd. #5 Rebar
- - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365

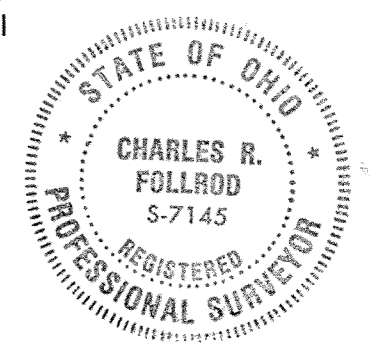
R.J. Stone Development Group, Inc.
D.B. 875 Pg. 350

S & J Development Co.
D.B. 837 Pg. 59

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod

Charles R. Follrod P.S. #7145
258 Brookview Ct.
Lima, Ohio 45801



For Dedicator's Land and Street & Utility Easement Description - See Sheet No. 2

Springbrook Greens Condominiums No. 4 (For Description - See Sheet No. 2)

Springbrook Greens Condominiums No. 2 P.B. 24, Pg. 35

Springbrook Greens Condominiums No. 1 P.B. 24, Pg. 30

Springbrook Greens Condominiums No. 2 P.B. 24, Pg. 35

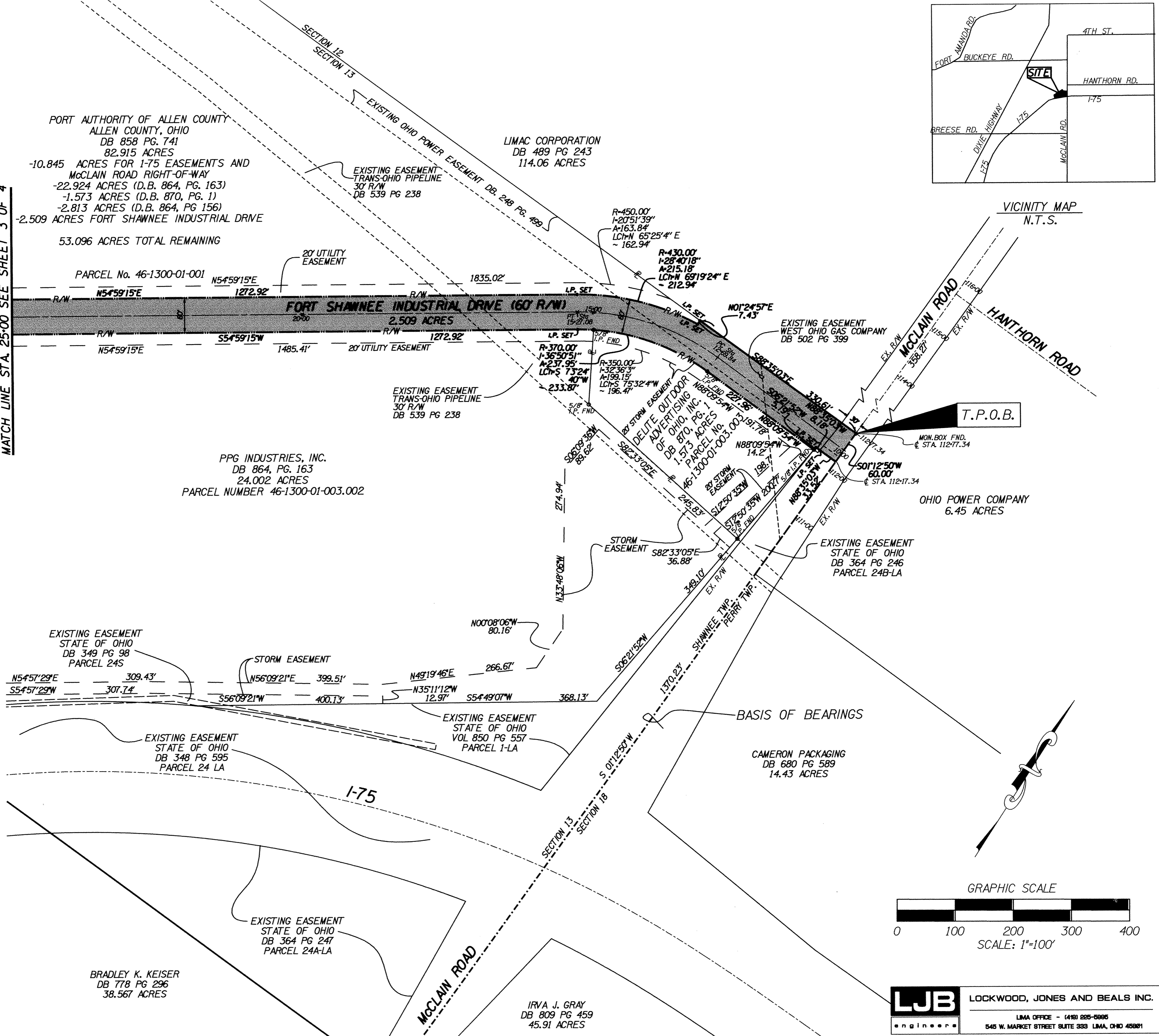
Springbrook Greens Condominiums No. 3 P.B. 24 Pg. 62

State of Ohio
D.B. 193 Pg. 483

Fnd. Mon. Box - S.E. Cor. of West half of N.E. 1/4 of Section 7

POINT OF BEGINNING

MATCH LINE STA. 25+00 SEE SHEET 3 OF 4



PORT AUTHORITY OF ALLEN COUNTY
ALLEN COUNTY, OHIO
DB 858 PG. 741
82.915 ACRES
-10.845 ACRES FOR I-75 EASEMENTS AND
McCLAIN ROAD RIGHT-OF-WAY
-22.924 ACRES (D.B. 864, PG. 163)
-1.573 ACRES (D.B. 870, PG. 1)
-2.813 ACRES (D.B. 864, PG 156)
-2.509 ACRES FORT SHAWNEE INDUSTRIAL DRIVE

53.096 ACRES TOTAL REMAINING

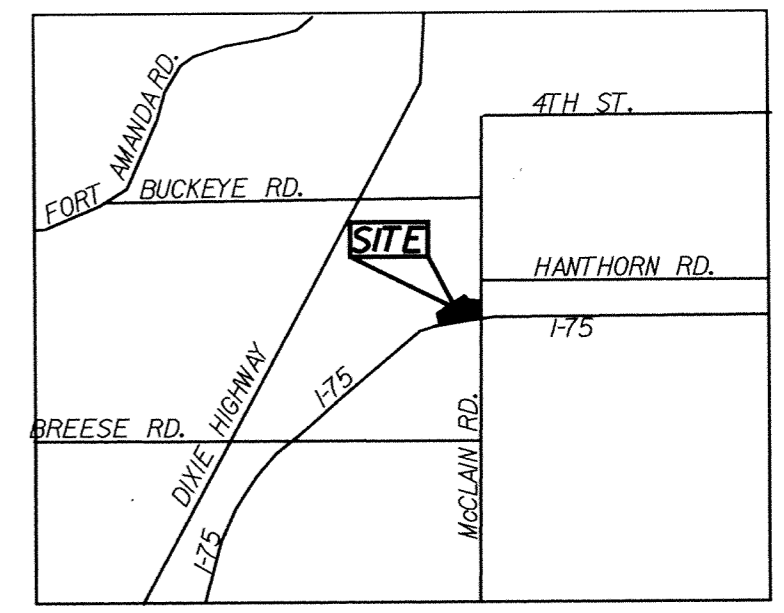
LIMAC CORPORATION
DB 489 PG 243
114.06 ACRES

PPG INDUSTRIES, INC.
DB 864, PG. 163
24.002 ACRES
PARCEL NUMBER 46-1300-01-003.002

CAMERON PACKAGING
DB 680 PG 589
14.43 ACRES

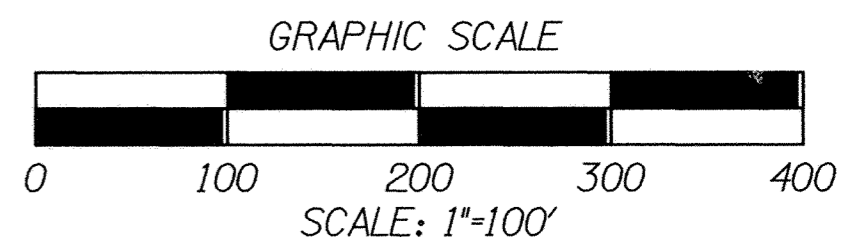
BRADLEY K. KEISER
DB 778 PG 296
38.567 ACRES

IRVA J. GRAY
DB 809 PG 459
45.91 ACRES



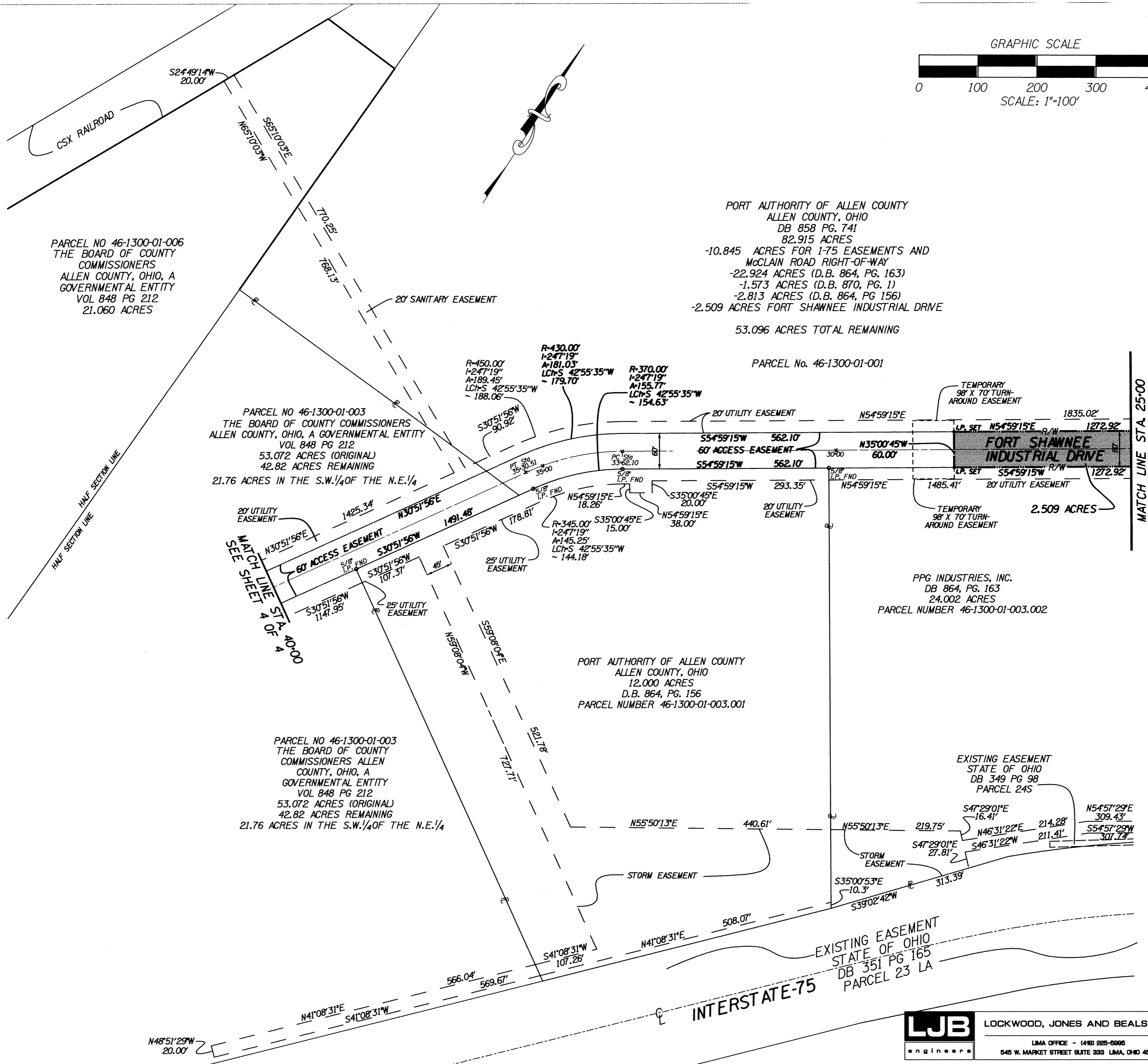
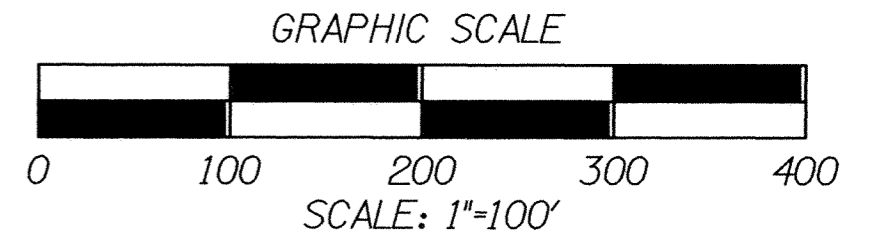
VICINITY MAP
N.T.S.

T.P.O.B.



LJB LOCKWOOD, JONES AND BEALS INC.
engineers
LIMA OFFICE - (419) 226-6886
545 W. MARKET STREET SUITE 333 LIMA, OHIO 45801

18
SHAWNEE TOWNSHIP, OHIO
FORT SHAWNEE INDUSTRIAL DRIVE
EASEMENT AND DEDICATION PLAT
ALLEN COUNTY, OHIO
NE QUARTER OF SECTION 13, T-4 SOUTH, R-6 EAST
2
4



PARCEL NO 46-1300-01-006
THE BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO, A GOVERNMENTAL ENTITY
VOL 848 PG 212
21.060 ACRES

PARCEL NO 46-1300-01-003
THE BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO, A GOVERNMENTAL ENTITY
VOL 848 PG 212
53.072 ACRES (ORIGINAL)
42.82 ACRES REMAINING
21.76 ACRES IN THE S.W. 1/4 OF THE N.E. 1/4

PARCEL NO 46-1300-01-003
THE BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO, A GOVERNMENTAL ENTITY
VOL 848 PG 212
53.072 ACRES (ORIGINAL)
42.82 ACRES REMAINING
21.76 ACRES IN THE S.W. 1/4 OF THE N.E. 1/4

PORT AUTHORITY OF ALLEN COUNTY
ALLEN COUNTY, OHIO
DB 858 PG. 741
82.915 ACRES
-10.845 ACRES FOR I-75 EASEMENTS AND
MCLAIN ROAD RIGHT-OF-WAY
-22.924 ACRES (D.B. 864, PG. 163)
-1.573 ACRES (D.B. 870, PG. 1)
-2.813 ACRES (D.B. 864, PG 156)
-2.509 ACRES FORT SHAWNEE INDUSTRIAL DRIVE
53.096 ACRES TOTAL REMAINING

PARCEL No. 46-1300-01-001

PPG INDUSTRIES, INC.
DB 864, PG. 163
24.002 ACRES
PARCEL NUMBER 46-1300-01-003.002

PORT AUTHORITY OF ALLEN COUNTY
ALLEN COUNTY, OHIO
12.000 ACRES
D.B. 864, PG. 156
PARCEL NUMBER 46-1300-01-003.001

EXISTING EASEMENT
STATE OF OHIO
DB 351 PG 165
PARCEL 23 LA

FORT SHAWNEE INDUSTRIAL DRIVE
EASEMENT AND DEDICATION PLAT
NE QUARTER OF SECTION 13, T-4 SOUTH, R-6 EAST

SHAWNEE TOWNSHIP
ALLEN COUNTY, OHIO

LJB LOCKWOOD, JONES AND BEALS INC.
engineers

LIMA OFFICE - (419) 226-5885
545 W. MARKET STREET SUITE 333 LIMA, OHIO 45801

CSX RAILROAD

THE BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO, A GOVERNMENTAL ENTITY
VOL 848 PG 212
53.072 ACRES (ORIGINAL)
42.82 ACRES REMAINING
21.76 ACRES IN THE S.W. 1/4 OF THE N.E. 1/4
PARCEL NO 46-1300-01-003

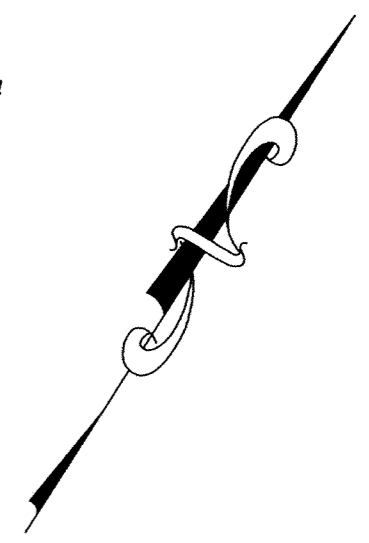
THE BOARD OF COUNTY COMMISSIONERS
ALLEN COUNTY, OHIO, A GOVERNMENTAL ENTITY
VOL 848 PG 212
21.060 ACRES
PARCEL NO 46-1300-01-006

THE BOARD OF COUNTY COMMISSIONERS ALLEN COUNTY, OHIO, A GOVERNMENTAL ENTITY
VOL 848 PG 212
53.072 ACRES (ORIGINAL)
42.82 ACRES REMAINING
21.76 ACRES IN THE S.W. 1/4 OF THE N.E. 1/4
PARCEL NO 46-1300-01-003

LIMA GROWTH ASSOCIATION
D.B. 834, PG. 125
34.988 ACRES

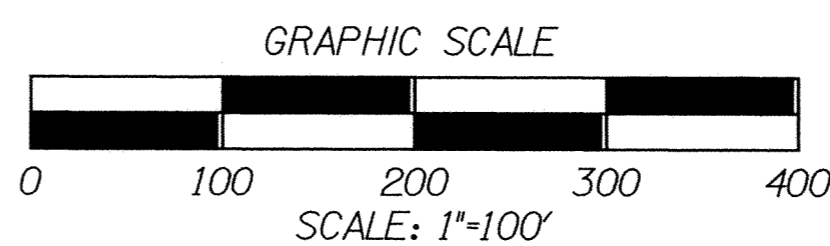
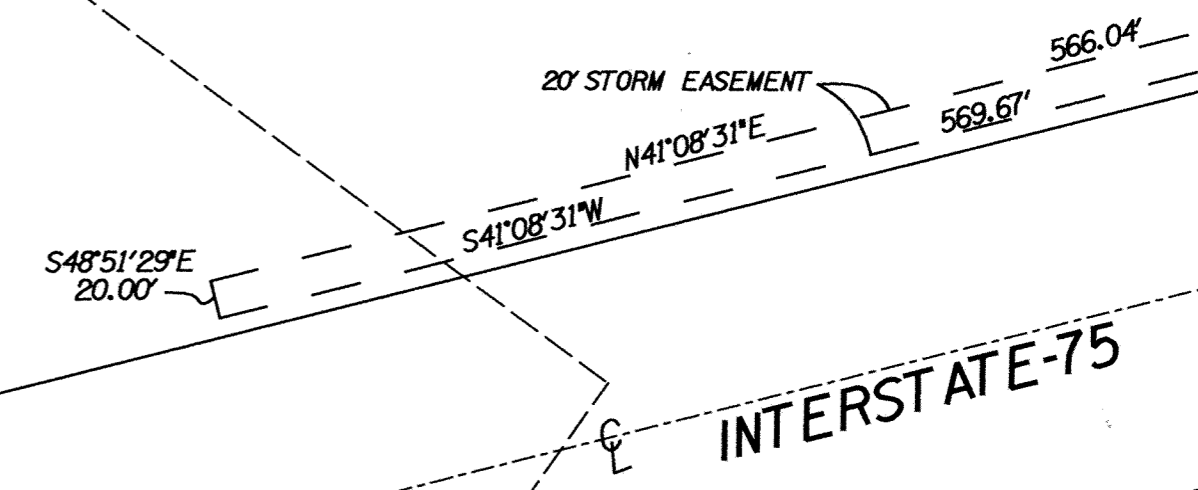
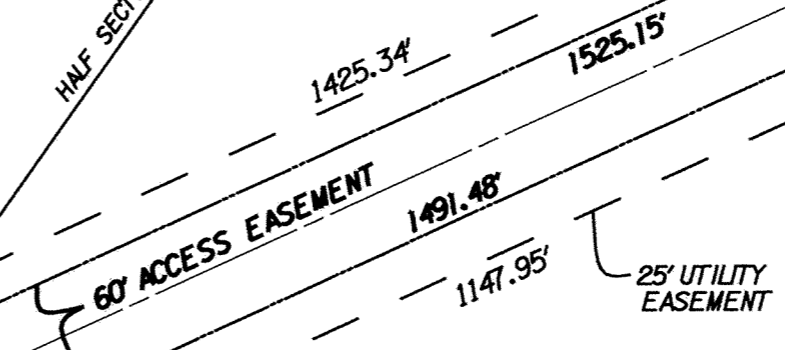
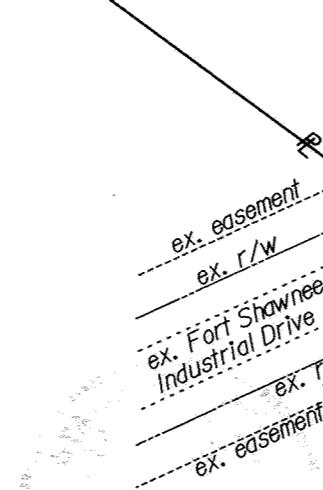
EXISTING EASEMENT
INLAND CORPORATION
D.B. 434, PG. 119

SEE MATCH LINE
SHEET 3 OF 4
STA. 4+000



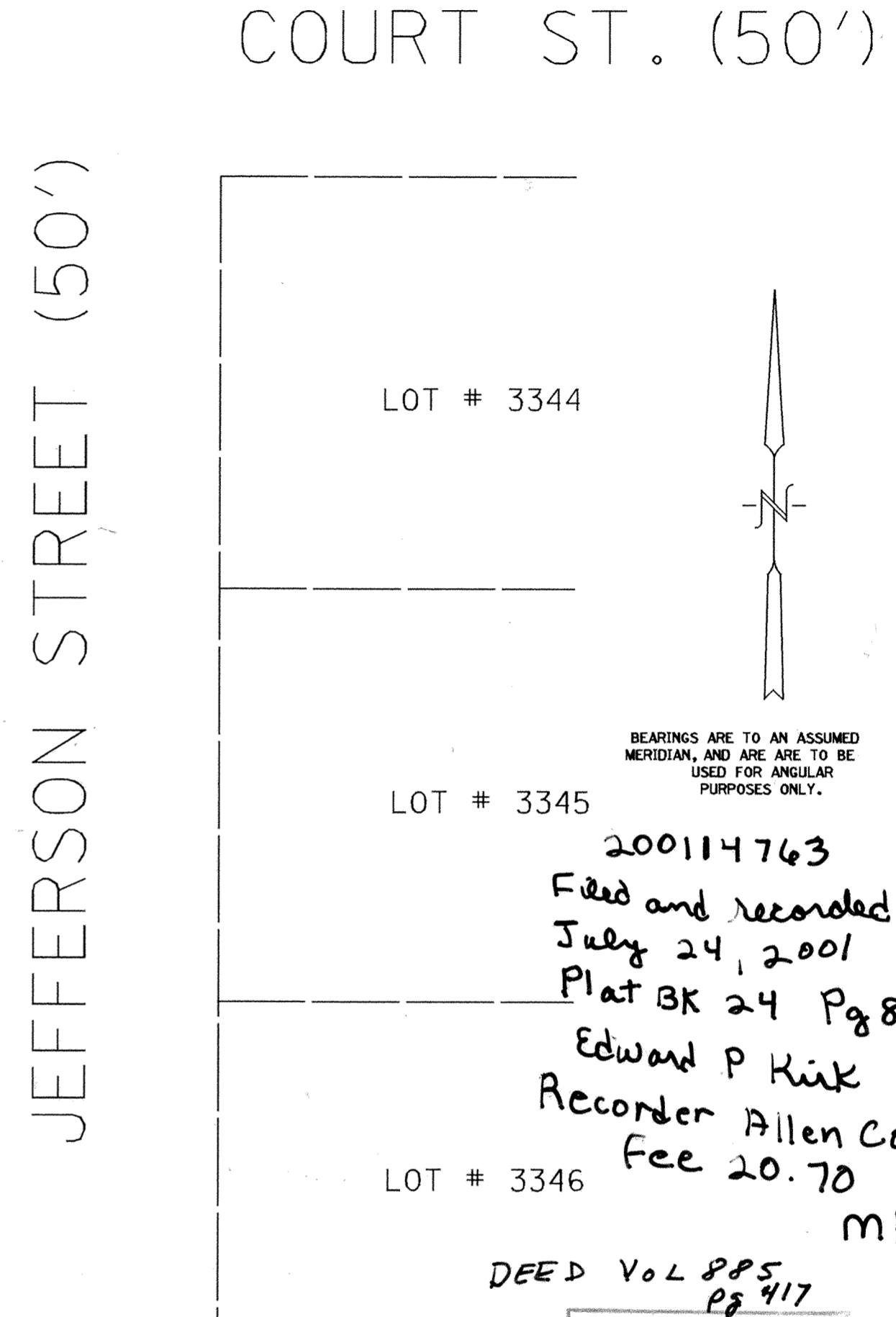
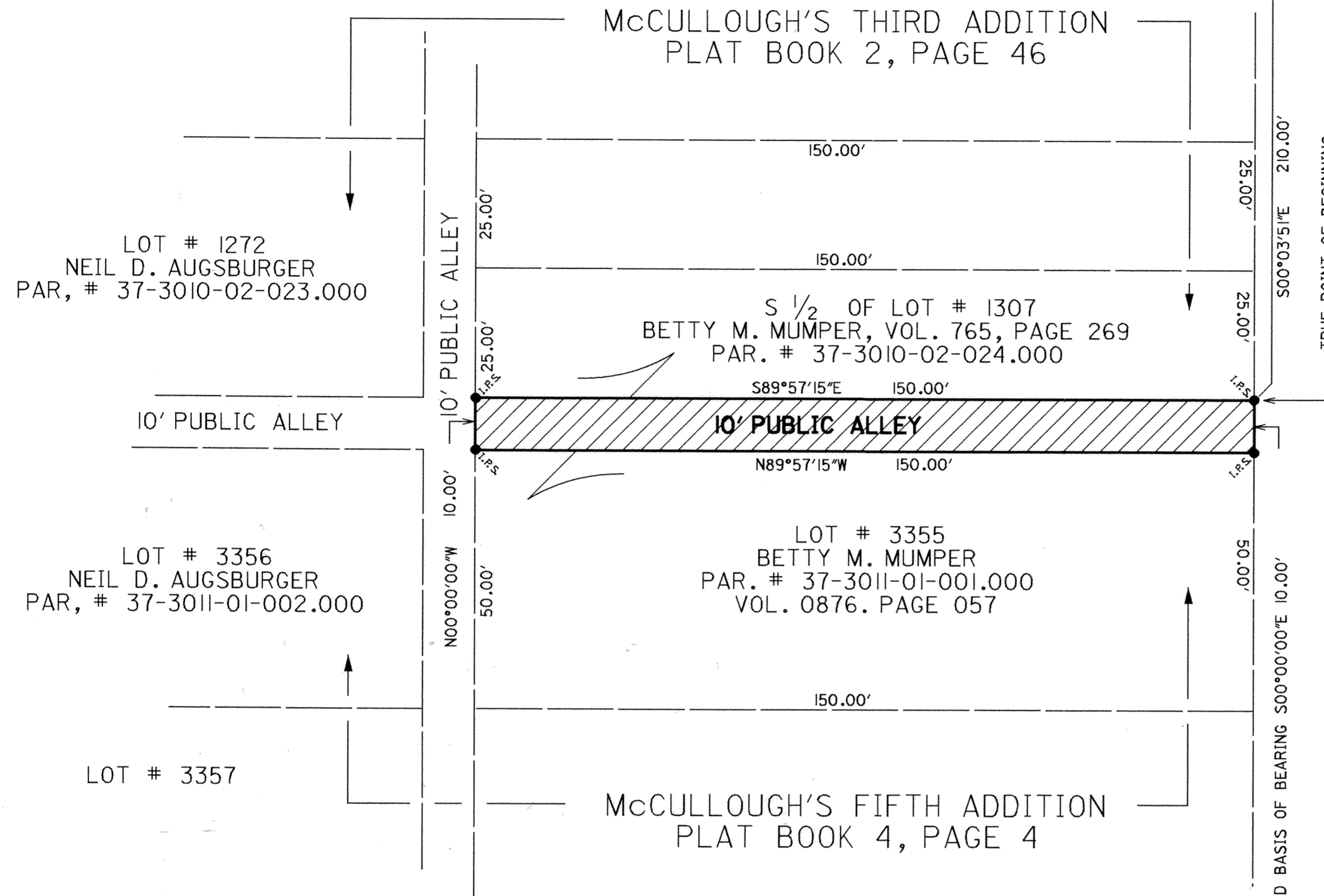
FORT SHAWNEE INDUSTRIAL DRIVE
EASEMENT AND DEDICATION PLAT
NE QUARTER OF SECTION 13, T-4 SOUTH, R-6 EAST

SHAWNEE TOWNSHIP
ALLEN COUNTY, OHIO



LJB LOCKWOOD, JONES AND BEALS INC.
engineers
LIMA OFFICE - (419) 825-5995
545 W. MARKET STREET SUITE 333 LIMA, OHIO 45801

ALLEY VACATION PLAT CITY OF LIMA ALLEN COUNTY, OHIO



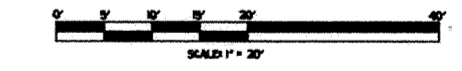
DESCRIPTION

Being a Ten Foot East-West Alley, situated in the South half of Section 30, Bath Township, T3S, R7E, Allen County, Ohio and lying between Lot No. 1307 in McCullough's Third Addition to the City of Lima as recorded in Plat Book 2, Page 46 and Lot No. 3355 in McCullough's Fifth Addition to the City of Lima, as recorded in Plat Book 4, Page 4, in the Allen County Recorders Office and more particularly described as follows:

- BEGINNING at an iron pin found at the Northeast corner of Lot Number 1304 in said Third Addition; thence South 00 degrees, 03 minutes, 51 seconds, East, a distance of 210.00 feet to a capped iron pin set at the Southeast corner of Lot Number 1307 in said Third Addition and the TRUE POINT OF BEGINNING:
- 1) thence South 00 degrees, 00 minutes, 00 seconds East, a distance of 10.00 feet, on and along the West Right-of-way line of Jefferson Street to a capped iron pin set at the Northeast corner of Lot Number 3355 in said Fifth Addition;
 - 2) thence North 89 degrees, 57 minutes, 15 seconds West, a distance of 150.00 feet, on and along the north line of Lot Number 3355 and the South line of said alley, to a capped iron pin set at the Northwest corner of Lot Number in said Fifth Addition;
 - 3) thence North 00 degrees, 00 minutes, 00 seconds West, a distance of 10.00 feet, to a capped iron pin set on the Southwest corner of Lot Number 1307 in said Third Addition;
 - 4) thence South 89 degrees, 57 minutes, 15 seconds East, a distance of 150.00 feet, on and along the South line of Lot Number 1307 in said Third Addition and the North line of said alley to the TRUE POINT OF BEGINNING.

The area to be vacated contains as area of 0.034 acres, subject to to any leaseholdings or restrictions of record. Bearings are based on an assumed cardinal direction for the West Right-of-way line of Jefferson Street and are to be used for angular purposes only. Capped iron pins set this survey are 5/8 inch by 30 inch rebar with a yellow plastic cap marked "RLS 7328".

- LEGEND
- I.R.S. 5/8" IRON PIN SET "RLS 7328"
 - ⊙ I.R.F. IRON PIN FOUND
 - Ⓜ MONUMENT BOX FOUND
 - ⊙ P.F. IRON PIPE FOUND
 - ⊙ P.K.F. P.K. NAIL FOUND
 - P.K.S. P.K. NAIL SET
 - ⊙ POST FOUND
 - ⊙ R/R SPIKE FOUND



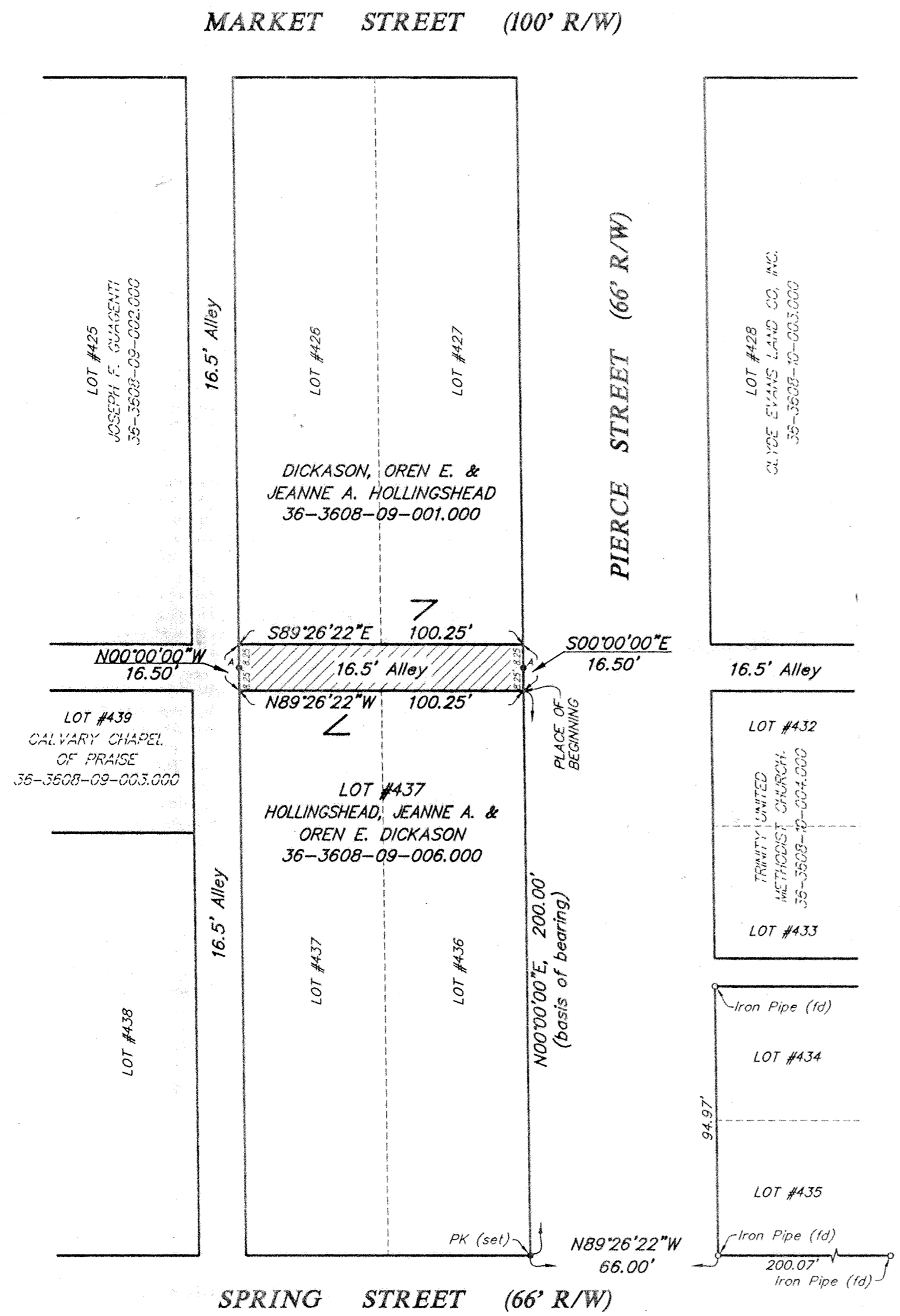
John Linck
 John Linck
 Ohio Registered Surveyor No. 7328
 March 12, 2001



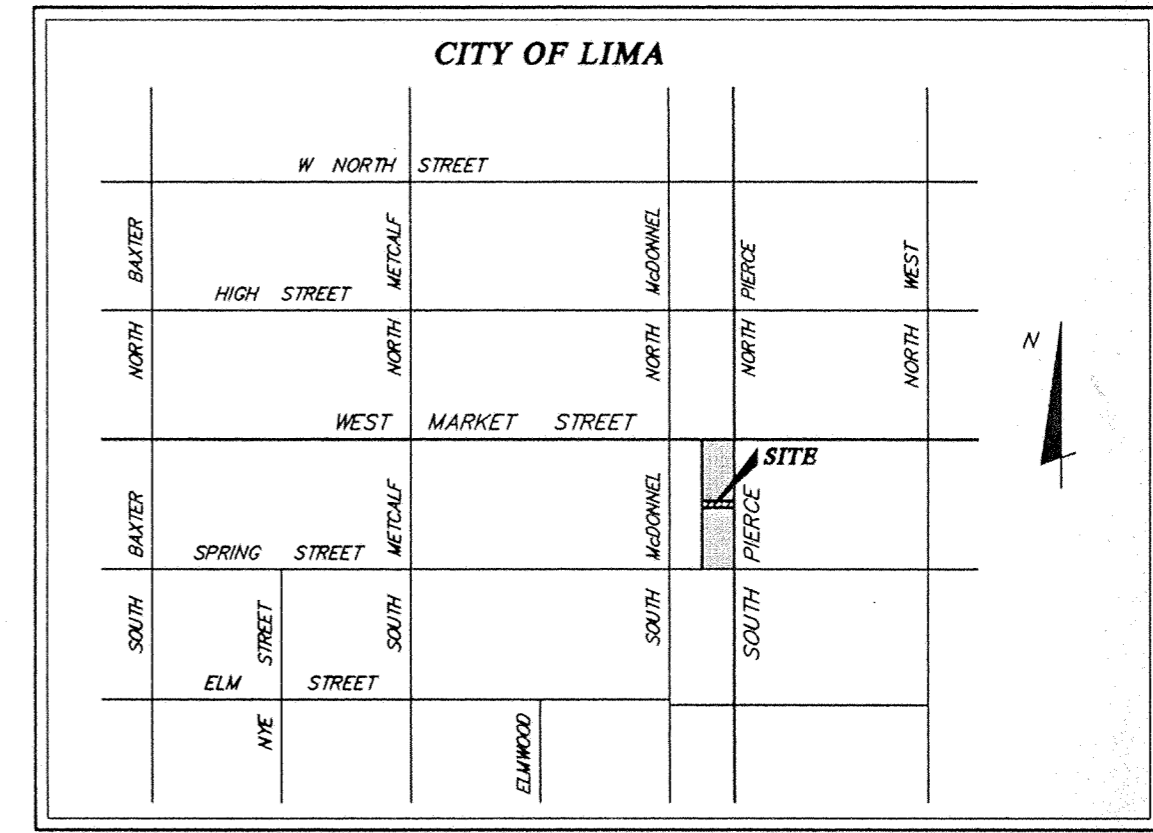
200114763
 Filed and recorded
 July 24, 2001
 Plat BK 24 Pg 81
 Edward P Kirk
 Recorder Allen Co
 Fee 20.70
 MH

DEED Vol 885
 Pg 417
 REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 3/19/01

ALLEY VACATION CITY OF LIMA ALLEN COUNTY, OHIO



N
Scale:
1" = 40'
LEGEND:
• PK Nail & Shiner (set)



DESCRIPTION

Being a sixteen and a half foot wide (16 1/2') East-West Alley lying between Lots Number 426 and 427 and Lots Number 436 and 437 in the McDonels Addition to the Town of Lima, as shown on recorded plat in Plat Book No. 1 on Page 16 in the Allen County, Ohio Recorder's Office, (formerly part of the Northeast quarter of Section 36, American Township), and more particularly described as follows:

Commencing at an iron pipe found at the southwest corner of Lot No. 435 in said McDonels Addition; thence N 89°26'22" W with the westerly projection of the south line of said Lot No. 435, 66.00 feet to a PK nail set at the southeast corner of Lot No. 436 in said McDonel Addition; thence N 00°00'00" E (basis of bearing - assumed) with the east line of said Lot No. 436 (also the west right-of-way of Pierce Street), 200.00 feet to a point and the PLACE OF BEGINNING thence N 89°26'22" W with the north line of Lots No. 436 and 437 in said McDonels Addition (also the south line of said sixteen and a half foot alley), 100.25 feet to the northwest corner of said Lot No. 437 in said McDonels Addition; thence N 00°00'00" E (passing through a PK nail and shiner set 8.25 feet), 16.50 feet to the southwest corner of Lot No. 426 in said McDonels Addition; thence S 89°26'22" E with the south line of Lots No. 426 and 427 in said McDonels Addition (also the north line of said sixteen and a half foot alley), 100.25 feet to the southeast corner of said Lot No. 427 in said McDonels Addition; thence S 00°00'00" W (passing through a PK nail and shiner set at 8.25 feet), 16.50 feet to the PLACE OF BEGINNING containing 0.038 acres more or less and subject to all highway and other legal easements of record.

200117077
AUG 24, 2001
AT 1:45 PM
PLAT BK 24 pg 22
EDWARD P. KIRK
ALLEN Co. RECORDER
20.70
DEED VOL 886 pg 651
Michael Howlett J.A.S.
MICHAEL HOWLETT P.E.
ALLEN COUNTY ENGINEER
DATE 4-17-01

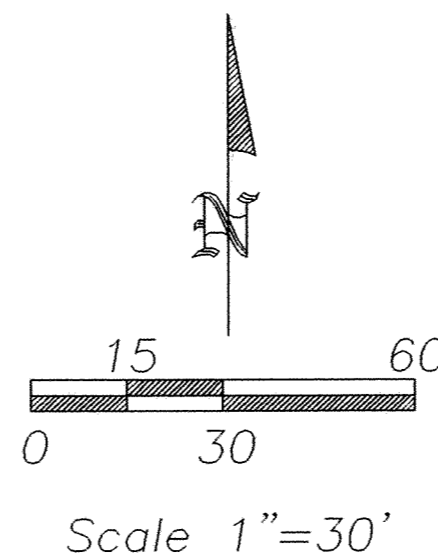
I hereby certify the accompanying map and survey which it represents to be correct to the best of my knowledge and belief.

Richard D. Morrisey
KUCK and MORRISEY, Inc.
Richard D. Morrisey, L.S. 6470 (Ohio)



Alley Vacation Plat

16.5' Public Alley
 Between Lots 131, 132, 94 & 95
 in Goble's Addition to Shannon
 Plat Book 1, Page 46
 SW1/4, Section 1, T2S, R8E,
 Village of Bluffton, Allen County, Ohio



Being those portions of a 16.50 feet wide Public Alley in Goble's Addition (Plat Book 1, Page 46) in the SW1/4 of Section 2, T2S, R8E, Village of Bluffton, Allen County, Ohio, and more particularly described as follows:

Tract "A"

Beginning at an existing 1" pinched pipe at the west corner of Lot No. 94, thence the following courses;

1. S.45°-28'-23"E. on the southwest line of Lot No. 94, 165.82' to a point at the southern most corner of said lot;
2. S.44°-31'-37"W. parallel to Main Street, 16.50' to the east corner of Lot No. 95, passing over a set PK nail at 8.25';
3. N.45°-28'-23"W. on the north line of said lot, 165.82' to a point at the north corner of said lot;
4. N.44°-31'-37"E. parallel to Main Street, 16.50' to the POINT OF BEGINNING, passing over a set PK nail at 8.25'.

Said Tract "A" containing 0.063 acres of land more or less.

ALSO:

Tract "B"

Commencing at an existing 1" pinch pipe at the west corner of Lot No. 94, thence N.45°-28'-23"W. parallel to the southwest line of said lot extended, 16.50' to the POINT OF BEGINNING, thence the following courses:

1. S.44°-31'-37"W. parallel to Main Street, 16.50' to a point at the east corner of Lot No. 131, passing over a set PK nail at 8.25';
2. N. 45°-28'-23"W. on the northeast line of said lot, 166.37' to the north corner of said lot;
3. N.44°-31'-37"E. on a line parallel to Main Street, 16.50' to the west corner of Lot No. 132, passing over a set PK nail at 8.25';
4. S.45°-28'-23"E. on southwest line of said lot, 166.37' to the POINT OF BEGINNING.

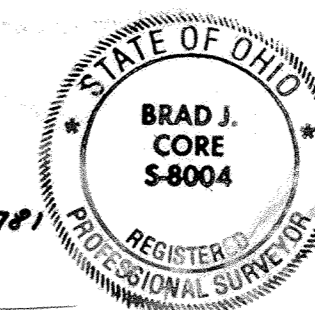
Said Tract "B" containing 0.063 acres of land more or less.

A bearing of N.44°-31'-37"E. was assumed for the centerline of Main Street.

The above-described tracts subject to all legal highways and easements of record.

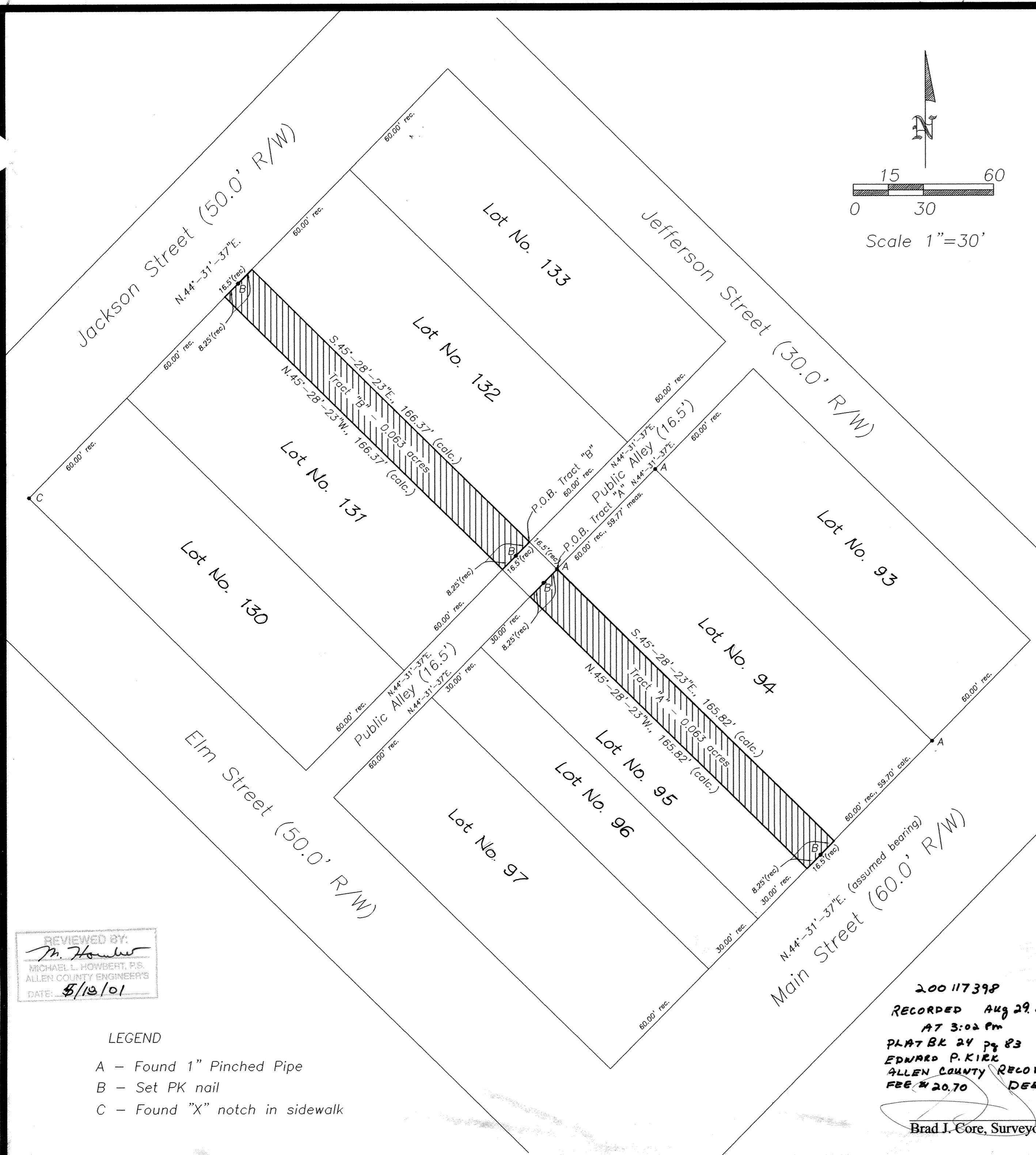
This plat and legal description represent an actual boundary survey prepared under the direct supervision of Brad J. Core, Ohio Registered Surveyor #8004, on April 22, 2001.

200 117398
 RECORDED Aug 29 2001
 AT 3:02 PM
 PLAT BK 24 pg 83
 EDWARD P. KIRK
 ALLEN COUNTY RECORDER
 FEB 20 2001 DEED Vol 886 pg 78
 Brad J. Core, Surveyor No. 8004



Core Consulting

A Division of Materials Testing Inc.
 1575 S. Defiance Trail
 Spencerville, Ohio 45887
 Phone: (419) 647-6163
 Fax: (419) 647-6163



REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 5/15/01

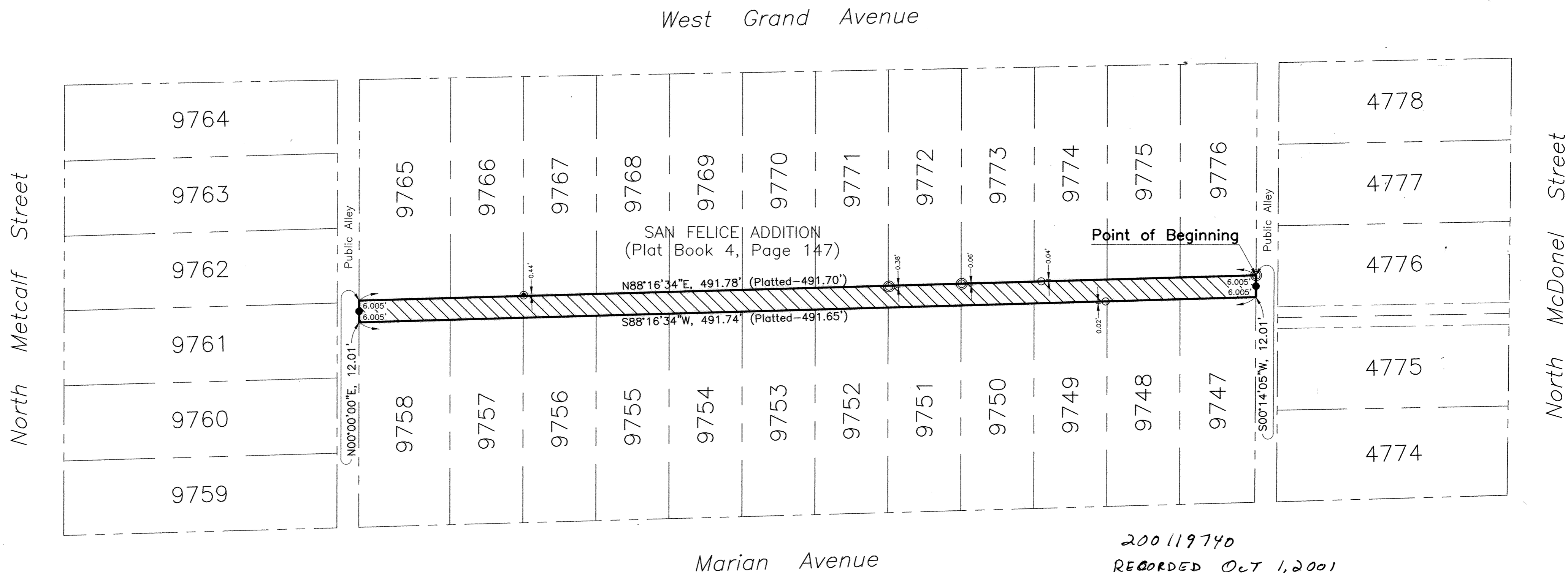
LEGEND

- A - Found 1" Pinched Pipe
- B - Set PK nail
- C - Found "X" notch in sidewalk

VACATION OF RIGHT-OF-WAY

12-FOOT PUBLIC ALLEY, IN SAN FELICE ADDITION

Part of the Southeast Quarter of Section 25, Township 3 South, Range 6 East, American Township
CITY OF LIMA, ALLEN COUNTY, OHIO



Marian Avenue

200119740
 RECORDED OCT 1, 2001
 AT 2:59 PM
 PLAT BK 24 pg 84
 EDWARD P. KIRK
 ALLEN CO RECORDER
 FEE \$20.70
 DEED VOL 888 pg 61

Authorized and approved by City of Lima Ordinance No. 121-01,
 passed August 6, 2001.

DESCRIPTION

Being a 12-foot public alley, platted in San Felice Addition (Plat Book 4, Page 147)(part of the southeast quarter of Section 25, Township 3 South, Range 6 East, American Township) in the City of Lima, Allen County, Ohio, and more particularly described as follows:

BEGINNING at an iron pipe found at the southeast corner of Lot 9776 in said San Felice Addition;

thence S00°14'05"W with the west line of a 12-foot north-south public alley, 12.01 feet to the northeast corner of Lot 9747, passing at 6.005 feet an iron pin set;

thence S88°16'34"W with the north line of Lots 9747, 9748, 9749, 9750, 9751, 9752, 9753, 9754, 9755, 9756, 9757 and 9758, 491.74 feet (platted distance is 491.65 feet) to the northwest corner of said Lot 9758;

thence N00°00'00"E with the east line of a 12-foot north-south public alley, 12.01 feet to the southwest corner of Lot 9765, passing at 6.005 feet an iron pin set;

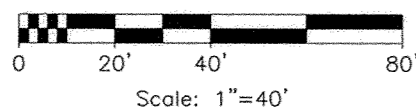
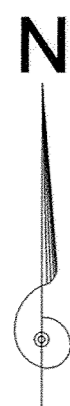
thence N88°16'34"E with the south line of Lots 9765, 9766, 9767, 9768, 9769, 9770, 9771, 9772, 9773, 9774, 9775 and 9776, 491.78 feet (platted distance is 491.70 feet) to an iron pipe found at the southeast corner of said Lot 9776, being the POINT OF BEGINNING.

Containing 0.135 acres, more or less, subject to any legal easements or other restrictions of record.

Bearings are based on an assumed bearing of N00°00'00"E for the east right-of-way line of N. Metcalf Street.

This description is based on a survey completed by the City of Lima, Engineering Division on May 4, 2001, under the direction of Ohio Professional Surveyor Larry W. Stayonovich (#7365).

Iron pins set are 5/8" x 30" rebar with a yellow cap marked "City of Lima/P.S. 7365".



LEGEND

- 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
- REBAR (found)
- ⊙ IRON PIPE (found)
- ⊙ PINCHED PIPE (found)

8-28-01
 Date

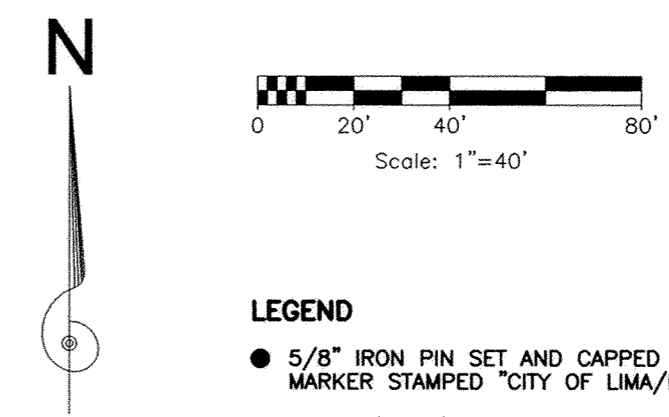
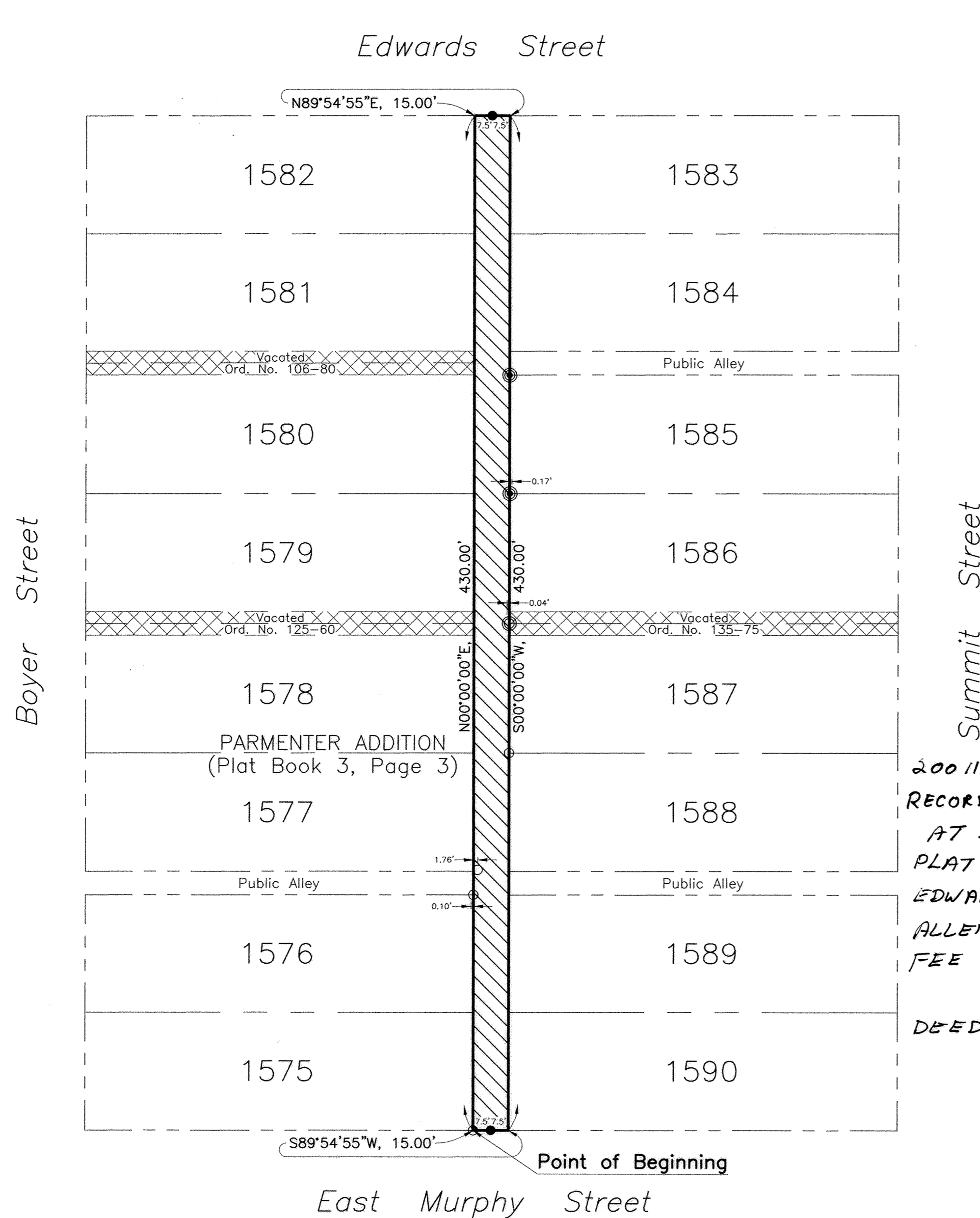
Larry W. Stayonovich
 Larry W. Stayonovich, P.S. #7365



VACATION OF RIGHT-OF-WAY

15-FOOT PUBLIC ALLEY, IN PARMENTER ADDITION

Part of the Northeast Quarter of Section 30, Township 3 South, Range 7 East, Bath Township
CITY OF LIMA, ALLEN COUNTY, OHIO



- LEGEND**
- 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
 - REBAR (found)
 - ⊙ IRON PIPE (found)
 - ⊙ IRON PIPE WITH CAP (found)

Authorized and approved by City of Lima Ordinance No. 121-01,
passed August 6, 2001.

DESCRIPTION

Being a 15-foot public alley, platted in Parmenter Addition (Plat Book 3, Page 3)(part of the northeast quarter of Section 30, Township 3 South, Range 7 East, Bath Township) in the City of Lima, Allen County, Ohio, and more particularly described as follows:

BEGINNING at a rebar found at the southeast corner of Lot 1575 in said Parmenter Addition;

thence N00°00'00"E with the east line of Lots 1575 and 1576, continuing across a 10-foot public alley running between Lots 1576 and 1577, the east line of Lots 1577 and 1578, the east line of a vacated alley, said alley vacated by Ordinance 125-60, recorded in Deed Volume 396, Page 428, the east line of Lots 1579 and 1580, the east line of a vacated alley, said alley vacated by Ordinance 106-80, recorded in Deed Volume 628, Page 100 and Plat Book 15, Page 132, and the east line of Lots 1581 and 1582, 430.00 feet to the northeast corner of said Lot 1582;

thence N89°54'55"E with the south right-of-way line of Edwards Street, 15.00 feet to the northwest corner of Lot 1583, passing at 7.50 feet an iron pin set;

thence S00°00'00"W with the west line of Lots 1583 and 1584, continuing across a 10-foot public alley running between Lots 1584 and 1585, the west line of Lots 1585 and 1586, the west line of a vacated alley, said alley vacated by Ordinance 135-75, recorded in Deed Volume 567, Page 466 and Plat Book 13, Page 168, the west line of Lots 1587 and 1588, continuing across a 10-foot public alley running between Lots 1588 and 1589, and the west line of Lots 1589 and 1590, 430.00 feet to the southwest corner of said Lot 1590;

thence S89°54'55"W with the north right-of-way line of E. Murphy Street, 15.00 feet to a rebar found at the southeast corner of Lot 1575, being the POINT OF BEGINNING, passing at 7.50 feet an iron pin set.

Containing 0.148 acres, more or less, subject to any legal easements or other restrictions of record.

Bearings are based on an assumed bearing of N00°00'00"E for the west right-of-way line of Summit Street.

This description is based on a survey completed by the City of Lima, Engineering Division on May 2, 2001, under the direction of Ohio Professional Surveyor Larry W. Stayonovich (#7365).

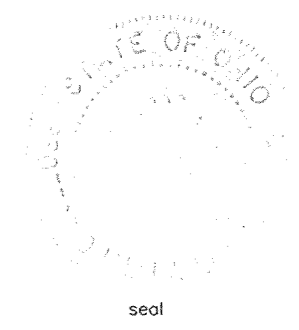
Iron pins set are 5/8" x 30" rebar with a yellow cap marked "City of Lima/P.S. 7365".

200119741
RECORDED OCT 1, 2001
AT 3:00 PM
PLAT BK 24 pg 85
EDWARD P. KIRK
ALLEN CO RECORDER
FEE \$ 20.70

DEED VOL 888 pg 61

8-28-01
Date

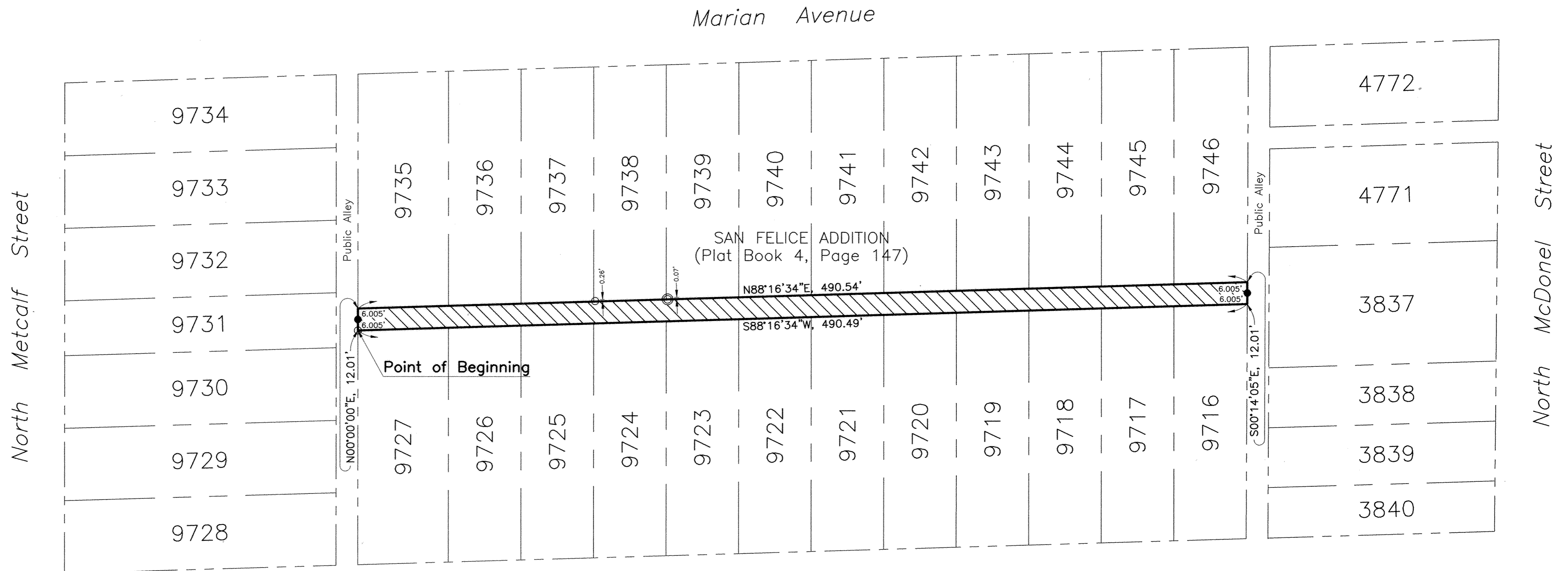
Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365



VACATION OF RIGHT-OF-WAY

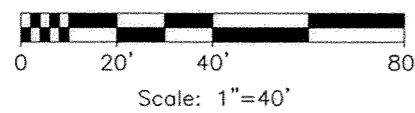
12-FOOT PUBLIC ALLEY, IN SAN FELICE ADDITION

Part of the Southeast Quarter of Section 25, Township 3 South, Range 6 East, American Township
CITY OF LIMA, ALLEN COUNTY, OHIO



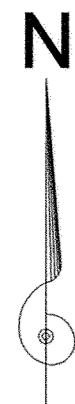
200119742
 RECORDED Oct 1, 2001
 AT 3:01 PM
 PLAT BK 24 pg 86
 EDWARD P. KIRK
 ALLEN CO RECORDER
 FEE \$20.70

DEED VOL 888 pg 61



LEGEND

- 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
- REBAR (found)
- ◎ IRON PIPE (found)



Hazel Avenue

Authorized and approved by City of Lima Ordinance No. 121-01,
 passed August 6, 2001.

DESCRIPTION

Being a 12-foot public alley, platted in San Felice Addition (Plat Book 4, Page 147)(part of the southeast quarter of Section 25, Township 3 South, Range 6 East, American Township) in the City of Lima, Allen County, Ohio, and more particularly described as follows:

BEGINNING at a rebar found at the northwest corner of Lot 9727 in said San Felice Addition;

thence N00°00'00"E with the east line of a 12-foot north-south public alley, 12.01 feet to the southwest corner of Lot 9735, passing at 6.005 feet an iron pin set;

thence N88°16'34"E with the south line of Lots 9735, 9736, 9737, 9738, 9739, 9740, 9741, 9742, 9743, 9744, 9745 and 9746, 490.54 feet to the southeast corner of said Lot 9746;

thence S00°14'05"E with the west line of a 12-foot north-south public alley, 12.01 feet to the northeast corner of Lot 9716, passing at 6.005 feet an iron pin set;

thence S88°16'34"W with the north line of Lots 9716, 9717, 9718, 9719, 9720, 9721, 9722, 9723, 9724, 9725, 9726 and 9727, 490.49 feet to a rebar found at the northwest corner of said Lot 9727, being the POINT OF BEGINNING.

Containing 0.135 acres, more or less, subject to any legal easements or other restrictions of record.

Bearings are based on an assumed bearing of N00°00'00"E for the east right-of-way line of N. Metcalf Street.

This description is based on a survey completed by the City of Lima, Engineering Division on May 4, 2001, under the direction of Ohio Professional Surveyor Larry W. Stayonovich (#7365).

Iron pins set are 5/8" x 30" rebar with a yellow cap marked "City of Lima/P.S. 7365".

8-28-01
 Date

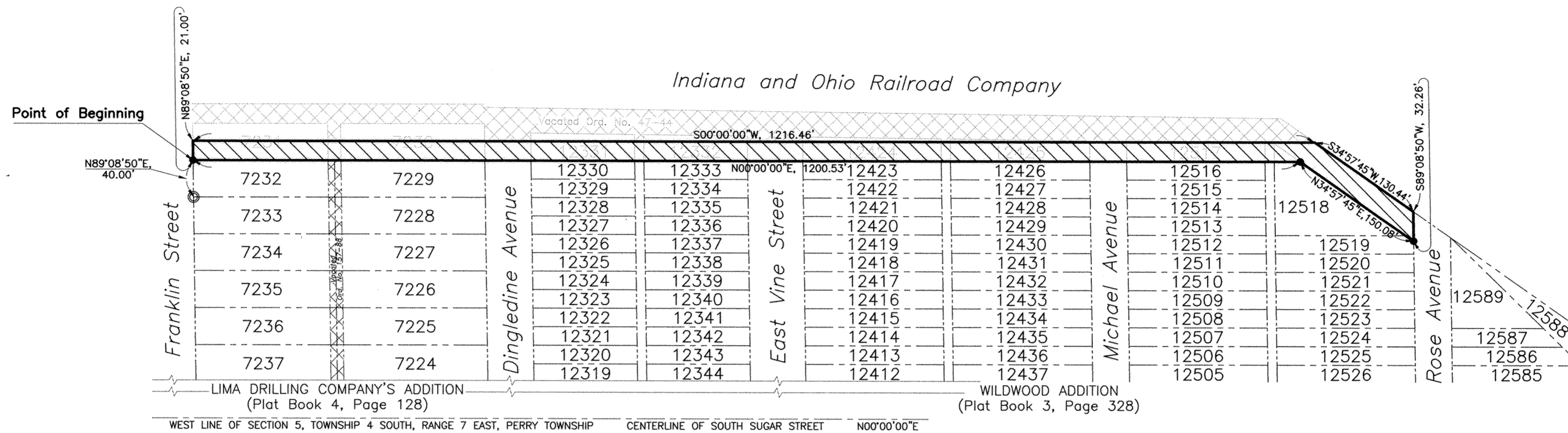
Larry W. Stayonovich
 Larry W. Stayonovich, P.S. #7365



VACATION OF RIGHT-OF-WAY

21-FOOT PUBLIC ALLEY, IN LIMA DRILLING COMPANY'S ADDITION & WILDWOOD ADDITION

Part of the Northwest Quarter of Section 5, Township 4 South, Range 7 East, Perry Township CITY OF LIMA, ALLEN COUNTY, OHIO



Authorized and approved by City of Lima Ordinance No. 121-01,
passed August 6, 2001.

200119743
RECORDED OCT 1, 2001
AT 3:02 PM
PLAT BK 24 PG 87
EDWARD P. KIRK
ALLEN CO RECORDER
FEE \$2070

DEED VOL 888 PG 61

DESCRIPTION

Being a strip of land, part of which was deeded to the City of Lima from the Detroit, Toledo, and Ironton Railroad Company, recorded in Deed Volume 275, Page 25, and dedicated as a public alley by Ordinance No. 51-44, described as being part of Lots 7230 and 7231, platted in Lima Drilling Company's Addition (Plat Book 4, Page 128) (part of the northwest quarter of Section 5, Township 4 South, Range 7 East, Perry Township) and part of Lots 12331, 12332, 12424, 12425, 12517 and 12518, platted in Wildwood Addition (Plat Book 3, Page 328) (part of the northwest quarter of Section 5, Township 4 South, Range 7 East, Perry Township), also included in said strip of land are three ten-foot public alleys between Lots 12331 & 12332, Lots 12424 & 12425 and Lots 12517 & 12518, a fourteen-foot public alley between Lots 7230 & 7231, the east end of Dingleline Avenue, East Vine Street and Michael Avenue, and a public alley running adjacent to the east side of Lot 12518 in said Wildwood Addition from the north right-of-way line of Rose Avenue to its intersection with the said land deeded to the City of Lima from the Detroit, Toledo, and Ironton Railroad Company, all of which is part of said Lima Drilling Company's Addition and said Wildwood Addition, in the City of Lima, Allen County, Ohio, and more particularly described as follows:

Commencing at an iron pipe found at the northeast corner of Lot 7233 in said Lima Drilling Company's Addition;

thence N89°08'50"E with the south right-of-way line of Franklin Street, 40.00 feet to an iron pin set at the northeast corner of Lot 7232, being the POINT OF BEGINNING;

thence continuing N89°08'50"E with the south right-of-way line of Franklin Street, 21.00 feet;

thence S00°00'00"W with the east line of said land deeded to the City of Lima from the Detroit, Toledo, and Ironton Railroad Company, also being the present west line of land owned by the Indiana and Ohio Railway Company, 1216.46 feet to a point on the east line of a public alley running adjacent to the east side of said Lot 12518;

thence S34°57'45"W with the east line of a public alley running adjacent to the east side of Lot 12518, said east line also being the present west line of land owned by the Indiana and Ohio Railway Company, 130.44' to a point where said east line intersects the north right-of-way line of Rose Avenue;

thence S89°08'50"W with the north right-of-way line of Rose Avenue, 32.26 feet to an iron pin set at the southeast corner of Lot 12519;

thence N34°57'45"E with the southeasterly line of Lots 12519 and 12518, 150.08 feet to an iron pin set;

thence N00°00'00"E with the west line of said land deeded to the City of Lima from the Detroit, Toledo, and Ironton Railroad Company (by record being the west line of Lots 12517, 12425, 12424, 12332, and 12331 in Wildwood Addition and the west line of Lots 7230 and 7231 in Lima Drilling Company's Addition and the extension thereof), 1200.53 feet to an iron pin set at the northeast corner of Lot 7232, being the POINT OF BEGINNING.

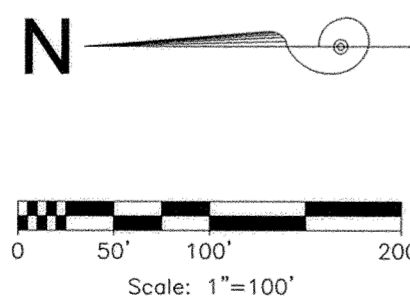
Containing 0.667 acres, more or less, subject to any legal easements or other restrictions of record.

Bearings are based on an assumed bearing of N00°00'00"E for the west line of Section 5, Township 4 South, Range 7 East, Perry Township, also being the centerline of S. Sugar Street.

Note: The following agreement was included in the deed from the Detroit, Toledo, and Ironton Railroad Company to the City of Lima: "The land herein conveyed is to be used for the purpose of a public alley or street. In the event such use and purpose shall be abandoned or said alley or street vacated, the title thereto, the entire width of said alley, shall revert to the respective owners of the lands abutting the east side of said alley. That is, each owner shall acquire that portion of the alley only upon which his lands abuts, respectively.

This description is based on a survey completed by the City of Lima, Engineering Division on May 1, 2001, under the direction of Ohio Professional Surveyor Larry W. Stayonovich (#7365).

Iron pins set are 5/8" x 30" rebar with a yellow cap marked "City of Lima/P.S. 7365".



- LEGEND**
- 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
 - IRON PIPE (found)

8-23-01
Date

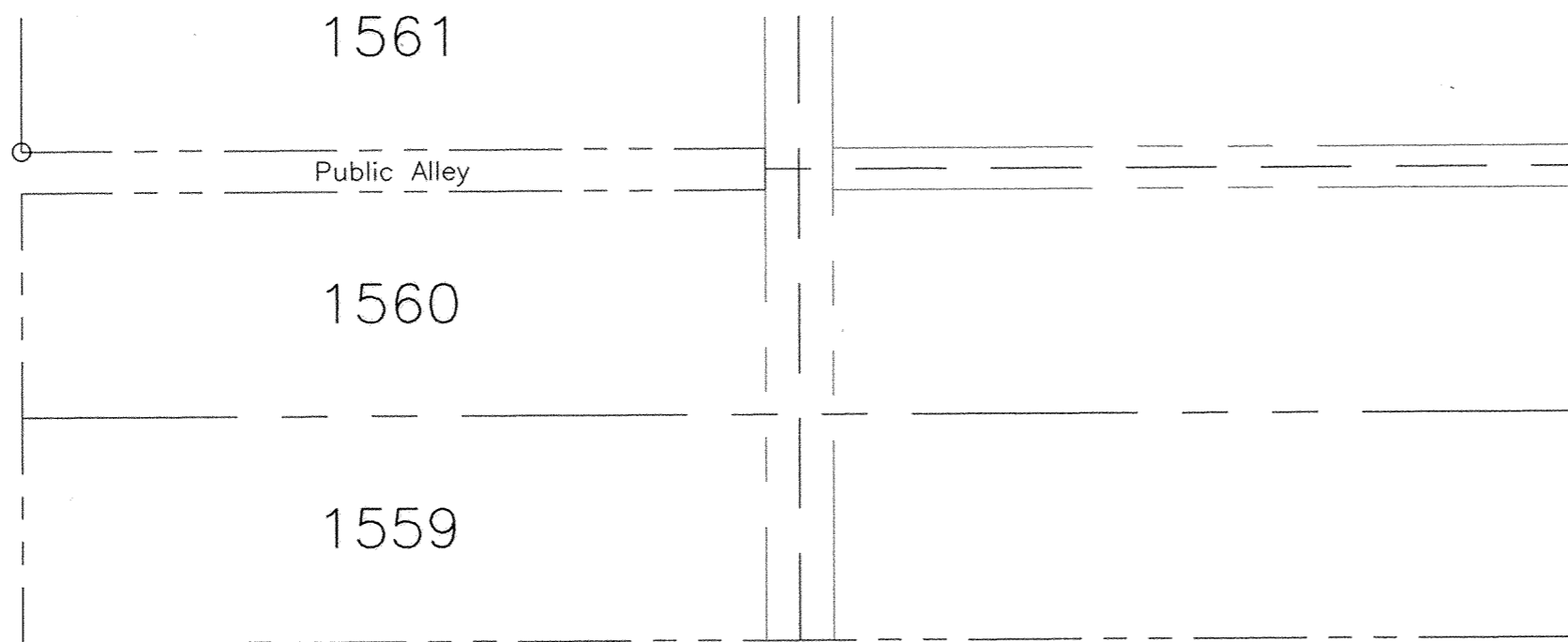
Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365



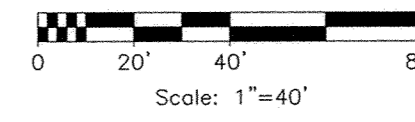
VACATION OF RIGHT-OF-WAY

10-FOOT PUBLIC ALLEY, IN PARMENTER ADDITION

Part of the Northeast Quarter of Section 30, Township 3 South, Range 7 East, Bath Township
CITY OF LIMA, ALLEN COUNTY, OHIO

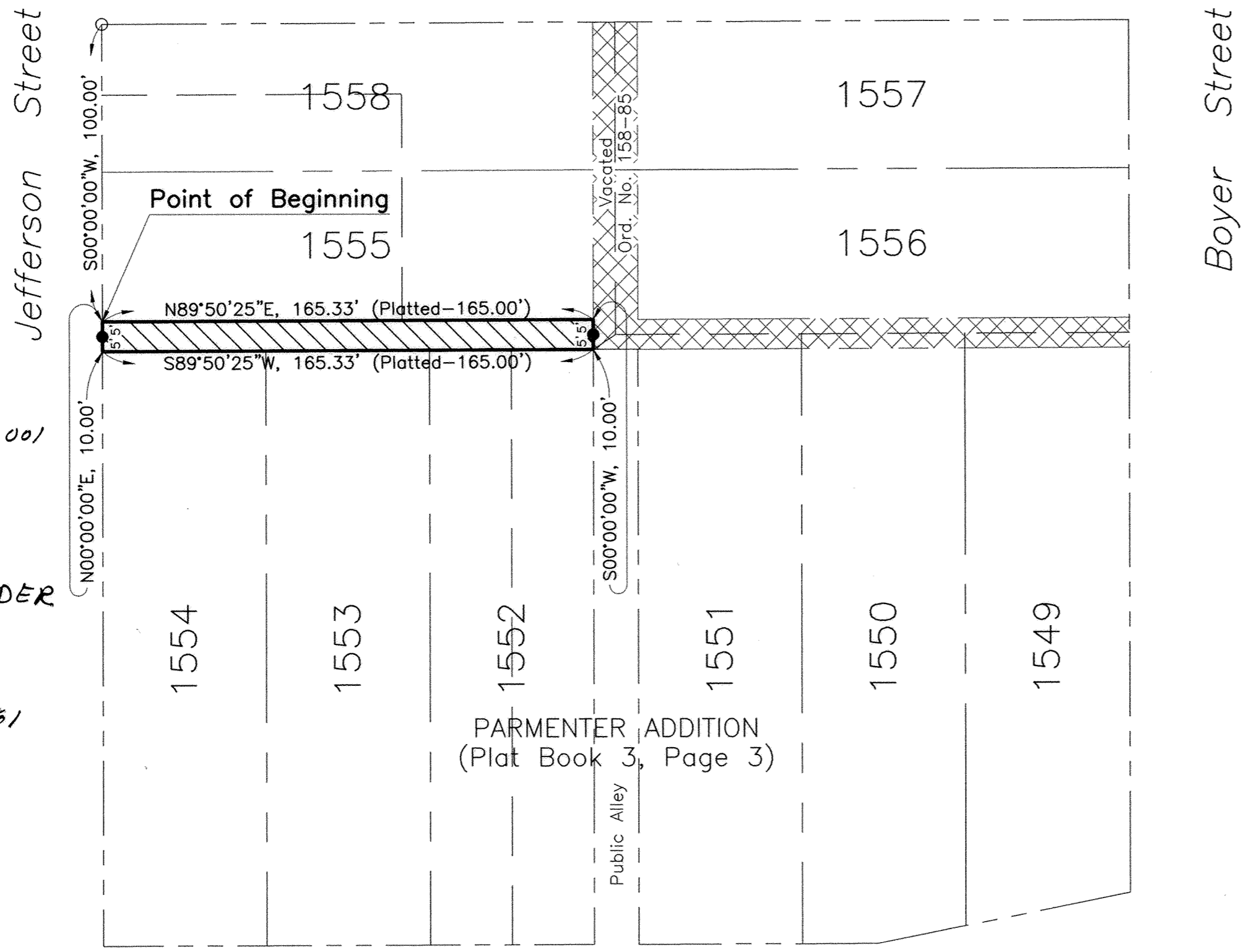


East Murphy Street



LEGEND

- 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
- IRON PIPE (found)



Flanders Avenue

Authorized and approved by City of Lima Ordinance No. 121-01,
passed August 6, 2001.

DESCRIPTION

Being a 10-foot public alley, platted in Parmenter Addition (Plat Book 3, Page 3)(part of the northeast quarter of Section 30, Township 3 South, Range 7 East, Bath Township) in the City of Lima, Allen County, Ohio, and more particularly described as follows:

Commencing at an iron pipe found at the northwest corner of Lot 1558 in said Parmenter Addition, said corner also being the intersection of the east right-of-way line of Jefferson Street and the south right-of-way line of East Murphy Street;

thence S00°00'00"W with the west line of Lots 1558 and 1555, also being the east right-of-way line of Jefferson Street, 100.00 feet to the southwest corner of said Lot 1555, being the POINT OF BEGINNING;

thence N89°50'25"E with the south line of Lot 1555, 165.33 feet (platted distance is 165.00 feet) to the southeast corner of said Lot 1555;

thence S00°00'00"W with the west line of a vacated alley, said alley vacated by Ordinance No. 158-85 and recorded in Deed Volume 679, Page 556 and Plat Book 14, Page 176, 10.00 feet to the northeast corner of Lot 1552, passing at 5.00 feet an iron pin set;

thence S89°50'25"W with the north line of Lots 1552, 1553, and 1554, 165.33 feet (platted distance is 165.00 feet) to the northwest corner of said Lot 1554;

thence N00°00'00"E with the east right-of-way line of Jefferson Street, 10.00 feet to the southeast corner of Lot 1555, being the POINT OF BEGINNING, passing at 5.00 feet an iron pin set.

Containing 0.038 acres, more or less, subject to any legal easements or other restrictions of record.

Bearings are based on an assumed bearing of N00°00'00"E for the east right-of-way line of Jefferson Street.

This description is based on a survey completed by the City of Lima, Engineering Division on May 3, 2001, under the direction of Ohio Professional Surveyor Larry W. Stayonovich (#7365).

Iron pins set are 5/8" x 30" rebar with a yellow cap marked "City of Lima/P.S. 7365".

200119744
RECORDED OCT 1, 2001
AT 2:03 PM
PLAT BK 24 pg 88
EDWARD P. KIRK
ALLEN Co RECORDER
FEE 420.70

DEED VOL 888 pg 61

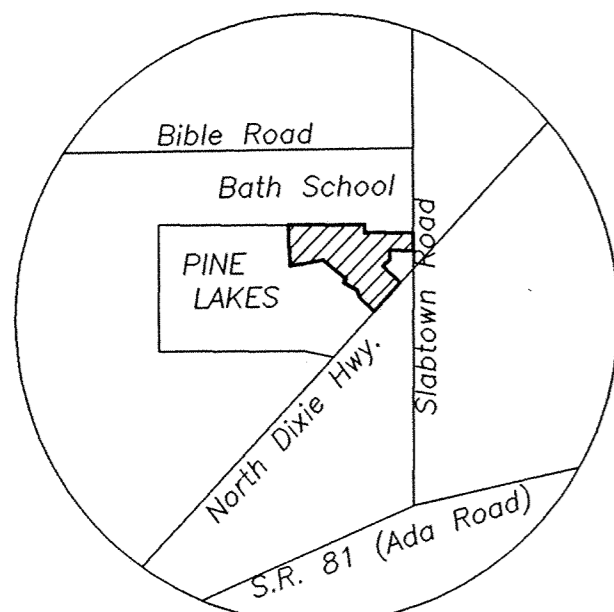
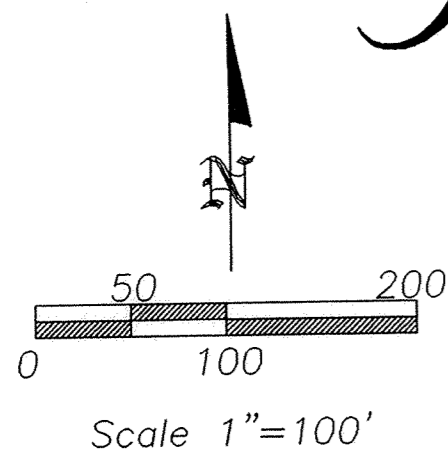
8-23-01
Date

Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365



Pine Lakes Subdivision No. 1

NE1/4 Section 21, T3S, R7E
Bath Township, Allen County, Ohio



Vicinity Map
Scale 1" = 2000'

MONUMENTATION: All exterior corners of Pine Lakes Subdivision No. 1 are marked with a cast-in-place concrete monument, 30" deep, with a #5 rebar core, capped with a yellow plastic ID cap. All interior lot corners, PC's, PT's and PI's are marked with #5 rebars 30" long and capped with yellow ID caps. All street centerline intersections, P.C. & P.T's are marked with 2 1/2" Mag nails.

R/W CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C7	35.00'	55.24'	N.44°22'18"W., 49.38'
C8	220.00'	183.17'	S.66°54'37"W., 177.92'
C9	220.00'	101.21'	S.29°52'43"W., 100.32'
C10	430.00'	115.86'	S.24°25'05"W., 115.51'
C11	370.00'	99.69'	N.24°25'05"E., 99.39'
C12	25.00'	36.96'	N.25°39'01"W., 33.68'
C13	280.00'	140.49'	N.53°37'52"W., 139.02'
C14	220.00'	238.98'	N.70°22'12"W., 227.40'
C15	380.00'	62.25'	S.83°12'13"W., 62.18'
C16	320.00'	64.04'	N.84°14'38"E., 63.93'
C17	280.00'	304.15'	S.70°22'12"E., 289.42'
C18	220.00'	110.39'	S.53°37'32"E., 109.23'
C19	25.00'	41.15'	N.64°51'02"E., 36.66'
C20	280.00'	123.92'	N.30°22'48"E., 122.91'
C21	280.00'	233.12'	N.66°54'38"E., 226.45'

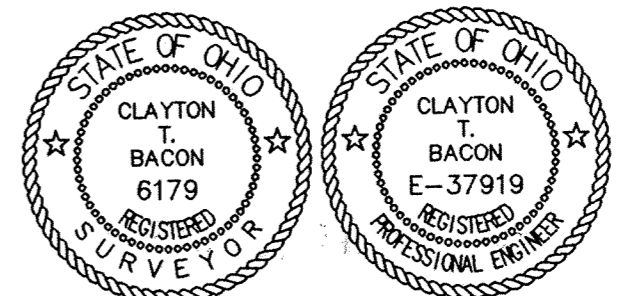
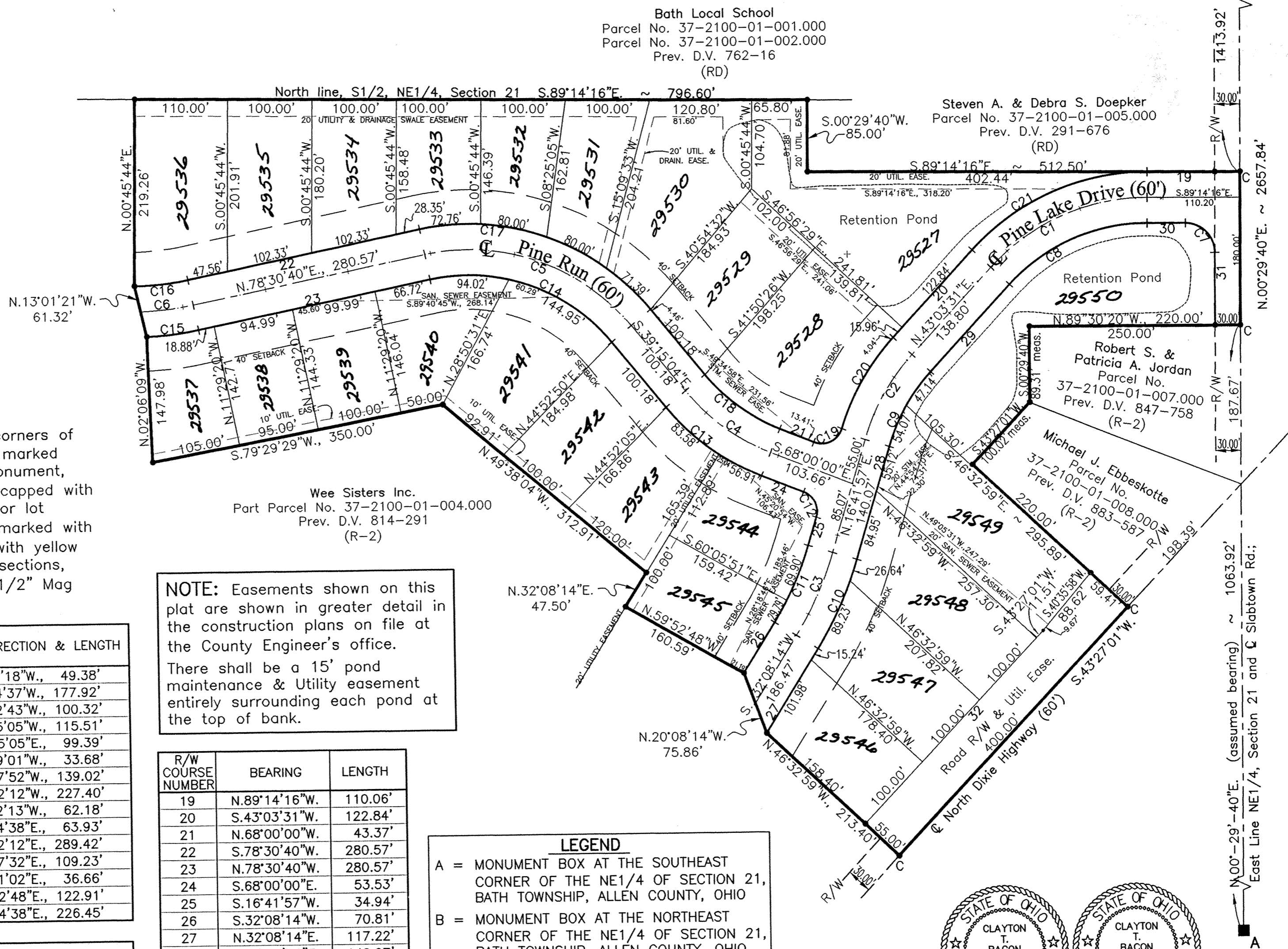
CENTERLINE CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C1	250.00'	208.15'	N.66°54'38"E., 202.19'
C2	250.00'	115.01'	N.29°52'44"E., 114.00'
C3	400.00'	107.78'	N.24°25'26"E., 107.45'
C4	250.00'	125.44'	S.65°07'57"E., 124.13'
C5	250.00'	271.56'	S.41°20'38"E., 258.41'
C6	350.00'	63.14'	N.83°40'43"E., 63.05'

NOTE: Easements shown on this plat are shown in greater detail in the construction plans on file at the County Engineer's office. There shall be a 15' pond maintenance & Utility easement entirely surrounding each pond at the top of bank.

R/W COURSE NUMBER	BEARING	LENGTH
19	N.89°14'16"W.	110.06'
20	S.43°03'31"W.	122.84'
21	N.68°00'00"W.	43.37'
22	S.78°30'40"W.	280.57'
23	N.78°30'40"W.	280.57'
24	S.68°00'00"E.	53.53'
25	S.16°41'57"W.	34.94'
26	S.32°08'14"W.	70.81'
27	N.32°08'14"E.	117.22'
28	N.16°41'57"E.	140.07'
29	N.43°03'31"E.	138.80'
30	S.89°14'16"E.	45.51'
31	S.00°29'40"W.	85.30'
32	S.43°27'01"W.	311.49'

PINE LAKES SUBDIVISION No. 1
Part Parcel No. 37-2100-01-004.000
14.489 Ac. of which 2.356 Ac will be in new road R/W and 0.634 Ac is in existing road R/W
Prev. D.V. 814-291 (R-2)

LEGEND
A = MONUMENT BOX AT THE SOUTHEAST CORNER OF THE NE1/4 OF SECTION 21, BATH TOWNSHIP, ALLEN COUNTY, OHIO
B = MONUMENT BOX AT THE NORTHEAST CORNER OF THE NE1/4 OF SECTION 21, BATH TOWNSHIP, ALLEN COUNTY, OHIO
C = MAG NAIL (SET)



Clayton T. Bacon
Clayton T. Bacon, Reg. P.S. #6179 DATE: 10-25-01

This description and plat is based on an actual field survey performed on 6-4-98, by Clayton T. Bacon.

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Pine Lakes Subdivision No. 1
14.489 Acres, NE 1/4, Section 21, T3S, R7E
Bath Township, Allen County, Ohio

File: 46-98

Revisions:	10-08-01	10-25-01 REVIEW COMM.	Drawn: CAT
Date:	9-25-01		

Pine Lakes Subdivision No. 1

DESCRIPTION

Being a parcel of land in the NE¼ of Section 21, T3S, R7E, Bath Township, Allen County, Ohio., more particularly described as follows:

Commencing for reference at the monument box at the southeast corner of the NE¼ of Section 21, thence N.0°-29'-40"E. (assumed bearing) on the east line of the NE¼, (centerline of Slabtown Road), 1063.92' to a set PK nail, the POINT OF BEGINNING of the parcel to be described, thence the following courses;

1. N.89°-30'-20"W., 250.00' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. S.0°-29'-40"W., 89.31' to a cast concrete monument;
3. S.43°-27'-01"W., 100.02' to a cast concrete monument;
4. S.46°-32'-59"E., 250.00' to a set PK nail on the centerline of N. Dixie Highway, passing over a set #5 rebar at 190.59';
5. S.43°-27'-01"W. on the centerline of N. Dixie Highway, 400.00' to a set PK nail;
6. N.46°-32'-59"W., 213.40' to a cast concrete monument, passing over a cast concrete monument at 55.00';
7. N.20°-08'-14"W., 75.86' to a cast concrete monument;
8. N.59°-52'-48"W. 160.59' to a cast concrete monument;
9. N.32°-08'-14"E. 47.50' to a cast concrete monument;
10. N.49°-38'-04"W., 312.91' to a cast concrete monument;
11. S.79°-29'-29"W., 350.00' to a cast concrete monument;
12. N.2°-06'-09"W., 147.98' to a cast concrete monument;
13. N.13°-01'-21"W., 61.32' to a cast concrete monument;
14. N.0°-45'-44"E., 219.26' to a cast concrete monument on the north line of the S½ of the NE¼ of Section 21;
15. S.89°-14'-16"E. on said north line, 796.60' to a cast concrete monument;
16. S.0°-29'-40"W., 85.00' a cast concrete monument;
17. S.89°-14'-16"E., 512.50' to a set PK nail on the east line of the NE¼, passing over a cast concrete monument at 482.50';
18. S.0°-29'-40"W. on said east line, 180.00' to the POINT OF BEGINNING.

The above-described parcel contains 14.489 acres, more or less, subject to all legal highways and easements of record at the time of recording of this document.

DEDICATION

William A. McKissick, being the owner of the described premises, hereby voluntarily consents to the execution of this plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever. Easements shown on the adjoining plat are shown in greater detail in the construction plans on file at the County Engineer's office.

OWNER

William A. McKissick
William A. McKissick

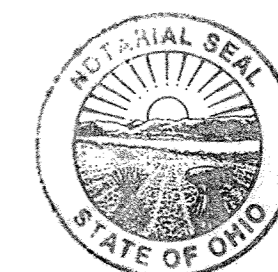
WITNESS

Greg A. Schaefer
Margie Humes

ACKNOWLEDGMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNER who acknowledged that he signed the hereon plat and the signing thereof was his free act and deed.
IN WITNESS thereof, I affix my hand and seal this 25 day of Oct., 2001.



MARGIE SUE HUMES
NOTARY PUBLIC, STATE OF OHIO
My Commission Expires 8/24/05

Margie Sue Humes
Notary Public

APPROVAL OF REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and accept this plat this 25 day of October, 2001.

John M. Magner
Executive Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATE

Filed for record this 25th day of Oct., 2001, at 3:27 PM o'clock in the office of the County Recorder and recorded in Plat Book 24, on Page 89.

200121629
FEE \$82.80
See Re-Recorded Plat BK 24 Pg 106 Edwards P. Kard by Jm
Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 25 day of Oct., 2001.

H. Dean Funch fee \$12.00
Auditor, Allen County, Ohio

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and accurate survey performed by me in January of 2000. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., P.S. 6179 will be set on all property corners.



Clayton T. Bacon
Clayton T. Bacon, P.S. 6179
Bacon & Associates, L.L.C.

ALLEN COUNTY HEALTH DEPT
10/25/01 Bill Kelly

Prepared By

Pine Lakes Subdivision No. 1

Bacon & Associates, L.L.C.

14.489 Acres, NE 1/4, Section 21, T3S, R7E
Bath Township, Allen County, Ohio

750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

File: 46-98

Revisions:	10-08-01
	10-25-01 REVIEW COMM.
Drawn:	CAT Date: 9-25-01

Pine Lakes Subdivision No. 1

SUBDIVISION RESTRICTIONS & COVENANTS

**Pine Lakes Subdivision - PHASE 1
SUBDIVISION RESTRICTIONS & COVENANTS**

As part of general plan for the development of real estate described as follows:

Situated in the Township of Bath, County of Allen and State of Ohio, to-wit;

See the attached legal description incorporated herein as if fully rewritten. As a residential area, and for the common advantage and benefit of the purchasers of any of the lots taken from said described real estate, the restrictions, covenants, reservations, liens, and charges hereinafter set forth, each owner thereof, shall inure to pass with said property and each and every parcel thereof, and shall apply to and be upon the purchasers and successors in interest; and the restrictions, covenants, reservations, easements, liens, and charges applicable for each tract, lot or parcel shall inure to the benefit of and be enforceable by the purchaser or purchasers of every other tract, lot or parcel and their successors in interest.

The tract, lots and parcels of real estate described above shall be held, transferred, sold and conveyed subject to the following conditions, restrictions, easements, liens and charges, only if the deeds conveying same contain a statement making the tract, lots and parcels of real estate conveying subject to the Pine Lakes Subdivision Restrictions, and refer specifically to these Pine Lakes Subdivision Restrictions.

1. The words (lots) or (building site) shall be construed to mean and shall refer to one or more lots shown on the foregoing plat.

Architectural Approval

No residential dwelling shall be erected on any lot unless the building plans, specifications and plot plans, showing location of the structures, have been approved by Developer. Developer shall give notice of approval or disapproval within fourteen (14) days after receipt of such plans and specifications. Developer agrees that the approval of such plans and specifications shall not be unreasonably withheld.

Criteria considered in granting approval for residential structures shall be conformity with commonly accepted building standards, harmony of external design and color with existing homes in the area designated as Pine Lakes Subdivision and proposed height and foundation in relationship to ground elevation.

Construction of any out-building or fences shall be only if such items are designated to be limited in nature, compatible with surrounding architecture and of no apparent detriment to the overall looks of the area designated as Pine Lakes Subdivision.

After the Developer has determined the need of an Architectural Committee there will be three (3) individuals chosen, who are owners of the lots in the Pine Lakes Subdivision and shall be appointed by the Developer. The Architectural Committee shall assume full responsibility for any out-buildings or fences that are to be constructed on the referred land. In case of death or resignation of any committee member originally appointed, the Developer shall have the power to appoint a new member to fill the vacancy.

The following material will be provided by the lot owner to the developer prior to the construction of a dwelling:

- a. A formal site plan with grade heights and landscaping lay-outs;
- b. A formal set of floor plans;
- c. A formal set of building elevations listing materials and specifications;
- d. A formal set of building specifications;

In the event Developer or Architectural Committee, as the case may be, fails to approve or reject said plans and specifications within thirty (30) days after submitted to them, then such approval shall not be required, provided the design is in said plat and confirms to all other covenants, restrictions and conditions set forth herein.

Construction Requirements

Every house must be constructed by an established building contractor engaged in the building business full time and approved by the Developer or Architectural Committee, as the case may be.

Each dwelling shall be constructed of new materials and in no case shall an existing structure be moved onto any lot.

2. No residential structure shall be erected on any building site, the habitable floor area of which, exclusive of basement, open porches, garages, shall be less than 1800 square feet for a two-story structure with the first floor being no less than 1200 square feet. The same square footage for two-story residences shall be required on tri-level structures, and the main floor plus upper level plus one half of the finished lower level shall be added to obtain the square footage. Ranch-style structures shall be no less than 1800 square feet.

3. Said building sites shall be used and occupied solely and exclusively for private residential purpose by a single family, including family servants.

4. No buildings or structures, other than one family residences, shall exceed two and one-half stories in height, together with customary out-buildings such as private garages, home workshops and home greenhouses, incidental to the residential use as such within the designated building square. Any out buildings must conform to style and architectural appearance of the house, with the approval of Developer or Architectural Committee being required.

6. No house may be occupied before completed. House must be completed in eight (8) months from time of commencing construction.

7. Owners of each lot shall be prohibited from filling drainage swales.
8. No animals, livestock, or poultry shall be maintained on any of building sites, except ordinary house pets which do not constitute an annoyance or nuisance, nor shall any house have trailers, campers or motor homes or boats or boat trailers or snowmobile trailers, or any other such type equipment be stored or permitted to remain upon any building site, except inside a permitted structure.
9. No signs, advertisements or billboards (except For Rent or For Sale signs) may be erected or maintained on any building site.
10. No oil or gas wells shall be drilled nor shall any mining or commercial excavating operation of any kind be conducted on any building site.
11. No trade activity of business nature shall be carried on upon any building sites nor shall anything be done thereon which may become an annoyance or nuisance.
12. All lots shall be seeded and landscaped according to what is customary, normal and usual for the residence which is being constructed. All exterior sites shall be approved by the Developer or Architectural Committee. The owner or owners of any residence constructed upon any building site in the area designated as Pine Lakes Subdivision Phase #1 shall professionally landscape such building site in such manner that the value of such landscape construction is defined as outdoor patio space, retaining wall, walkways, lawns, shrubbery, tree work, and yard lights. Said landscaping shall be shown on a plot plan and be approved by the Architectural Committee as to quality, and harmony with the existing landscaping in the area of said building site and as to location with respect to graphic and natural lot drainage. Landscaping construction and paved driveway to be completed within eighteen (18) months from the start of construction. Lots must be kept mowed, not allowing grass to exceed five (5) inches in height. Vacant lots must be seeded properly by owners.
13. No walls, fences or hedges except retaining walls not extending above ground level, shall be erected or planted on any building site without written approval of Developer or Architectural Committee.
14. No lots shall be used or maintained as a dumping ground for rubbish. Trash, garbage or other waste shall be kept in sanitary containers in a sanitary location hidden from public view.
15. All utilities providing service to any dwelling, house or building accessory thereto shall be located under ground.
16. All lots shall be subject to the setback lines of Bath Township rules and regulations.
17. Each property owner shall be responsible for maintaining the existing landscaping berms, and no owner shall remove, alter, or modify the berms without the approval of three-fourths of the owners. The berm area is between the curb and sidewalk.
18. Each residence constructed on the lots shall be connected to the sanitary sewer system when available.
19. A 7.5 foot easement for the installation and maintenance of storm sewer, water and other utilities and drainage facilities are reserved around the perimeter of each lot. Any lot area designated for natural flow of surface water and any improvements made on or under any easement shall be made at the risk of the owner of the building site on which such improvements are made. All utilities servicing lots shall be located underground at the expense of the lot owner.
20. No swimming pools of any kind shall be installed in-ground so that the top thereof, exclusive of diving boards, shall be more than one (1) foot above the established grade level of the on which said swimming pool is to be installed. This restriction shall not apply to portable wading pools.
21. Vegetable Garden: Vegetable gardens are permitted and encouraged. The size and location of the garden will require Architectural Committee approval.
22. Public sidewalks will be required to be finished prior to residential occupancy of the Lot.

23. Structural design on all houses built in said subdivision shall provide two ridge lines with a minimum of one foot elevation differential. (Dormer roofs are not considered ridge line.) All front lines shall include an offset of at least 15% of the total structure width (exclusive of garage), and front elevation (front of home) shall consist of at least 30% natural material, RE: wood, brick or stone. Configuration and design of material that is to be used on the front of the building shall be subject to the Developer or Architectural Committee. Vinyl siding may be permitted if approved by the developer or Architectural Committee.
24. Antennas: No ariel dish or antenna for reception or transmission or radio or television or other electronic signals shall be maintained on the roof or any building nor shall they be maintained at any other exterior location so as to be visible from neighboring property or adjacent streets.
25. Owner Maintenance: Each owner shall maintain their exterior of the dwelling and accessory building and all structures, lawns and landscaping, walks and driveways. To keep them in good condition shall cause them to be repaired when effects of damage or deterioration become apparent. All building surfaces and trim shall be repainted periodically and before the surfacing becomes weather-beaten or unsightly.
26. Rebuilding and Restoration: Any dwelling which may be destroyed in whole or in part by fire, windstorm, or from any other cause or act of God, must be removed and the lot restored to a slightly condition; such as rebuilding or restoration to be completed with reasonable promptness and in event within six (6) months from time of damage.
27. All easements, restrictions, covenants and conditions as set forth and described are covenants running with the land and are reserved for the benefit of all owners and shall be binding on all future owners of all building sites and all persons claiming under them until January 1, 2016, after which time restrictions, covenants and conditions shall be automatically extended for successive periods of ten (10) years each, providing that the owners of three-fourths majority of the building sites reservations or conditions at any time.
28. Should any one or more of the foregoing restrictions, covenants or conditions at any time in the future be held illegal, void or unenforceable such fact shall not in any way impair the validity of any of the other restrictions, covenants or conditions, all of which shall remain in full force and effect.
29. Maintenance of ponds and Entry Ways: Upon purchase of every lot a prorated fee of \$5.00 a month shall be paid for upkeep to ponds and entry ways. After this yearly fee of \$60.00 a year shall be due March 15th of every year. This fee will be due to the Developer until the Architectural committee is established. The purpose of this fee is to maintain the ponds and landscaping and to insure all liability insurance for this area. Other than 2 1/2% inflationary factor the subdivision lot owners will vote for any increase in this fee.
30. Ponds: No swimming, wading, fishing, boating or any other recreation in this area unless otherwise approved by developer or architectural committee. (Such as an annual fishing derby)
31. Any placing of meters RE: gas, electric, etc. shall need approval of Developer or Architectural Committee.
32. Owners have twenty-four months from date of purchase to begin construction of residence.
33. Developer has the ability to modify or change any of the herein restrictions.
34. Location of the house on said lot must be approved by Developer or Architectural Committee.
35. Easements and rights-of-way are reserved in and over lots shown on the plat for construction, operation, and maintenance of poles, wires, or other facilities therewith for the transmission of electricity, telephone, drainage facilities, construction, operation and maintenance of drains, sewers, and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished, or performed in any method above or beneath the surface of the ground. Easements shown upon the plat may be used by utility companies and public agencies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, trees or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.

Prepared By **Bacon & Associates, L.L.C.**

750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Pine Lakes Subdivision No. 1

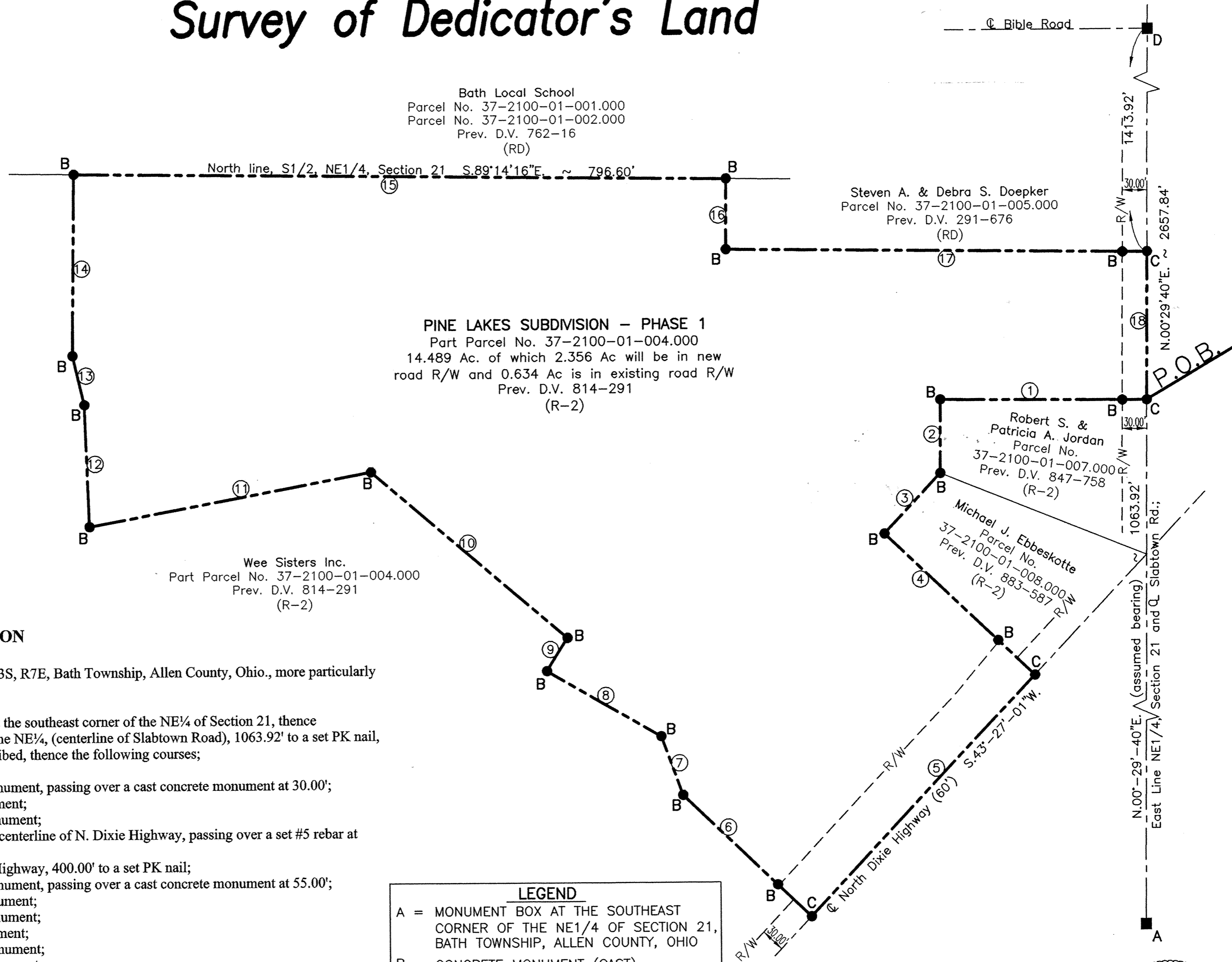
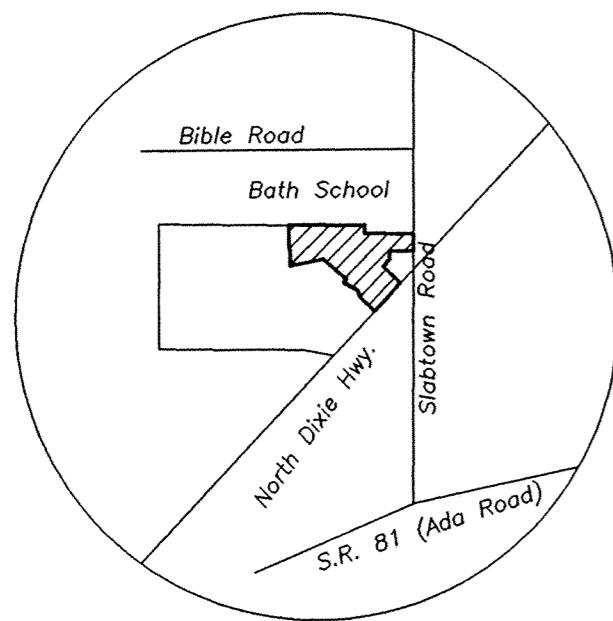
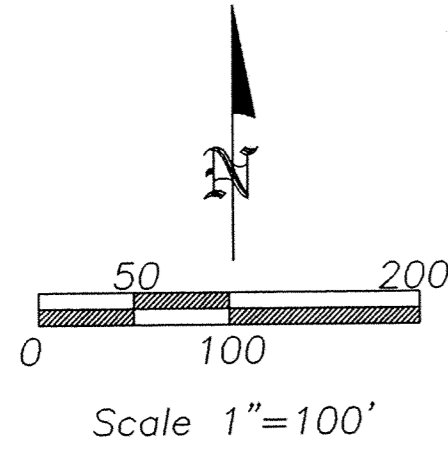
14.489 Acres, NE 1/4, Section 21, T3S, R7E
Bath Township, Allen County, Ohio

File: 46-98

Revisions: 10-08-01
10-25-01 REVIEW COMM.
Drawn: MSH Date: 9-24-01

Pine Lakes Subdivision No. 1

Survey of Dedicator's Land



DESCRIPTION

Being a parcel of land in the NE $\frac{1}{4}$ of Section 21, T3S, R7E, Bath Township, Allen County, Ohio., more particularly described as follows:

Commencing for reference at the monument box at the southeast corner of the NE $\frac{1}{4}$ of Section 21, thence N.0°-29'-40"E. (assumed bearing) on the east line of the NE $\frac{1}{4}$, (centerline of Slabtown Road), 1063.92' to a set PK nail, the POINT OF BEGINNING of the parcel to be described, thence the following courses;

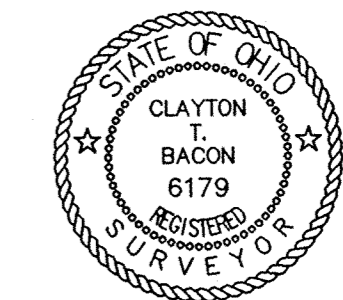
1. N.89°-30'-20"W., 250.00' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. S.0°-29'-40"W., 89.31' to a cast concrete monument;
3. S.43°-27'-01"W., 100.02' to a cast concrete monument;
4. S.46°-32'-59"E., 250.00' to a set PK nail on the centerline of N. Dixie Highway, passing over a set #5 rebar at 190.59';
5. S.43°-27'-01"W. on the centerline of N. Dixie Highway, 400.00' to a set PK nail;
6. N.46°-32'-59"W., 213.40' to a cast concrete monument, passing over a cast concrete monument at 55.00';
7. N.20°-08'-14"W., 75.86' to a cast concrete monument;
8. N.59°-52'-48"W. 160.59' to a cast concrete monument;
9. N.32°-08'-14"E. 47.50' to a cast concrete monument;
10. N.49°-38'-04"W., 312.91' to a cast concrete monument;
11. S.79°-29'-29"W., 350.00' to a cast concrete monument;
12. N.2°-06'-09"W., 147.98' to a cast concrete monument;
13. N.13°-01'-21"W., 61.32' to a cast concrete monument;
14. N.0°-45'-44"E., 219.26' to a cast concrete monument on the north line of the S $\frac{1}{2}$ of the NE $\frac{1}{4}$ of Section 21;
15. S.89°-14'-16"E. on said north line, 796.60' to a cast concrete monument;
16. S.0°-29'-40"W., 85.00' a cast concrete monument;
17. S.89°-14'-16"E., 512.50' to a set PK nail on the east line of the NE $\frac{1}{4}$, passing over a cast concrete monument at 482.50';
18. S.0°-29'-40"W. on said east line, 180.00' to the POINT OF BEGINNING.

The above-described parcel contains 14.489 acres, more or less, subject to all legal highways and easements of record at the time of recording of this document.

LEGEND	
A	= MONUMENT BOX AT THE SOUTHEAST CORNER OF THE NE $\frac{1}{4}$ OF SECTION 21, BATH TOWNSHIP, ALLEN COUNTY, OHIO
B	= CONCRETE MONUMENT (CAST)
C	= MAG NAIL (SET)
D	= MONUMENT BOX AT THE NORTHEAST CORNER OF THE NE $\frac{1}{4}$ OF SECTION 21, BATH TOWNSHIP, ALLEN COUNTY, OHIO

REVIEWED BY:
M. Harris
M.C. ALL RIGHTS RESERVED
ALLEN COUNTY ENGINEERS
DATE 10/25/01

Clayton T. Bacon
Clayton T. Bacon, Reg. P.S. #6179



DATE: 10-25-01

This description and plat is based on an actual field survey performed on 6-4-98, by Clayton T. Bacon.

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

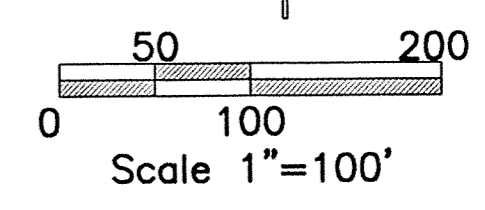
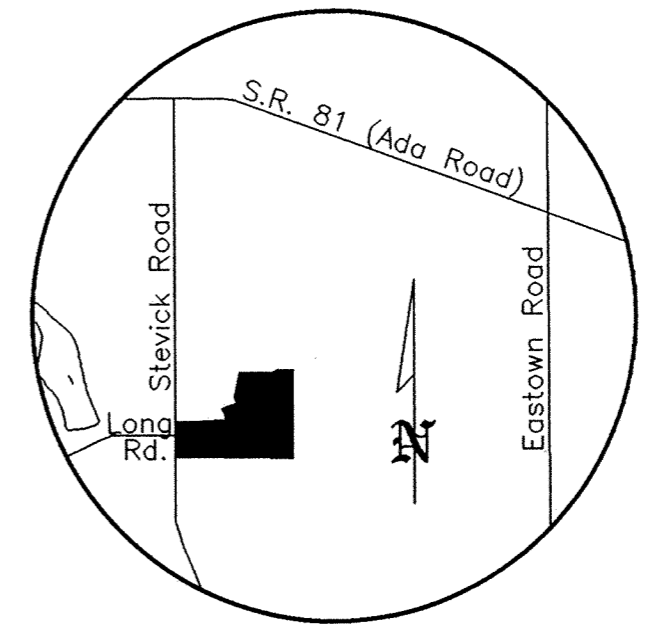
Pine Lakes Subdivision No. 1
14.489 Acres, NE 1/4, Section 21, T3S, R7E
Bath Township, Allen County, Ohio

Revisions:	10-08-01
	10-25-01 REVIEW COMM.
Drawn:	CAT
Date:	9-25-01
File:	46-98

7 Oaks Subdivision No. 1

SW1/4 Section 28, T3S, R6E

American Township, Allen County, Ohio



CENTERLINE CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C1	253.34'	90.09'	S.80°19'11"E., 89.62'
C2	500.00'	169.44'	S.79°50'23"E., 168.63'
C3	100.00'	168.41'	N.42°12'23"E., 149.20'
C4	4800.00'	397.91'	N.03°39'51"W., 397.79'
C5	4800.00'	187.33'	N.00°10'16"W., 187.32'
C8	250.00'	78.22'	N.02°31'25"E., 77.90'
C9	250.00'	90.39'	N.16°47'52"W., 89.90'
C12	100.00'	164.94'	N.41°23'59"E., 146.87'
C13	100.00'	159.72'	N.39°54'17"E., 143.28'

R/W COURSE NUMBER	BEARING	LENGTH
15	N.89°29'32"E.	366.85'
16	N.11°29'13"E.	74.93'
17	S.27°09'19"E.	39.15'
18	N.85°39'41"E.	107.34'
19	N.05°51'07"W.	114.10'
20	N.88°39'03"E.	147.99'
21	S.06°02'20"E.	104.72'
22	N.89°32'53"W.	285.31'
23	N.70°07'54"W.	99.96'
24	S.89°29'33"W.	367.38'

MONUMENTATION: All exterior corners of 7 Oaks Subdivision No. 1 are marked with a cast-in-place concrete monument, 30" deep, with a #5 rebar core, capped with a yellow plastic ID cap. All interior lot corners are marked with #5 rebars 30" long capped with yellow plastic ID caps. All street centerline intersections, P.C. & P.T.'s are marked with 2 1/2" Mag nails.

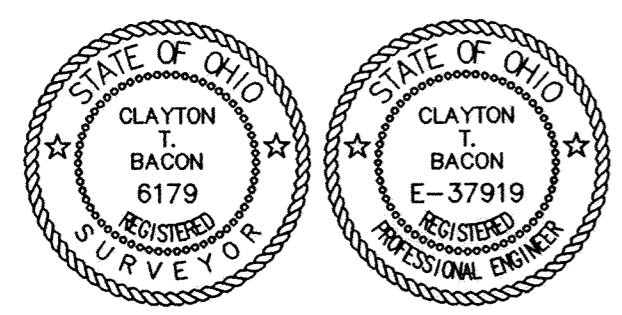
R/W CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C14	25.00'	42.23'	N.59°52'34"E., 37.38'
C15	225.00'	64.49'	N.03°16'35"E., 64.27'
C16	275.00'	54.92'	S.21°26'03"E., 54.83'
C17	25.00'	34.31'	S.55°01'33"E., 31.68'
C18	75.00'	119.79'	N.39°54'17"E., 107.46'
C19	125.00'	206.17'	N.41°23'58"E., 183.58'
C20	25.00'	38.99'	N.43°58'32"E., 35.15'
C22	4770.00'	606.42'	S.02°23'49"E., 606.01'
C23	130.00'	218.93'	S.42°12'23"W., 193.96'
C24	530.00'	179.61'	N.79°50'23"W., 178.75'
C25	223.34'	79.42'	N.80°19'09"W., 79.01'
C26	283.34'	92.84'	S.81°07'16"E., 92.42'
C27	25.00'	35.61'	S.29°19'21"E., 32.68'
C28	470.00'	159.27'	S.79°50'24"E., 158.51'
C29	70.00'	117.89'	N.42°12'23"E., 104.44'
C30	4830.00'	350.59'	N.03°57'34"W., 350.52'
C31	25.00'	39.04'	N.46°36'52"W., 35.19'
C32	75.00'	123.70'	S.41°23'59"W., 110.15'
C33	125.00'	199.65'	S.39°54'17"W., 179.10'
C34	25.00'	35.86'	S.44°34'23"W., 32.86'
C35	275.00'	38.41'	S.07°29'08"W., 38.38'

LEGEND

- A - Monument box at the northwest corner of the SW1/4 of Section 28
- B - PK nail (set)
- C - Cast-in-place concrete monument w/#5 rebar core and cap.
- * - #5 Rebar (set)
- D - PK nail (set)
- E - 1" Steel Rod at the P.I. of Stevick Road set in 1962 by Allen County Engineer.

Mercer Development Inc.
 Part Parcel No. 36-2800-03-005.000
 20.819 Ac of Mercer Development plus Laux Construction land totals 21.098 Ac. of which 0.279 Ac. is in Stevick Rd. R/W and 3.799 Ac. will be in new road R/W
 D.V. 863-615

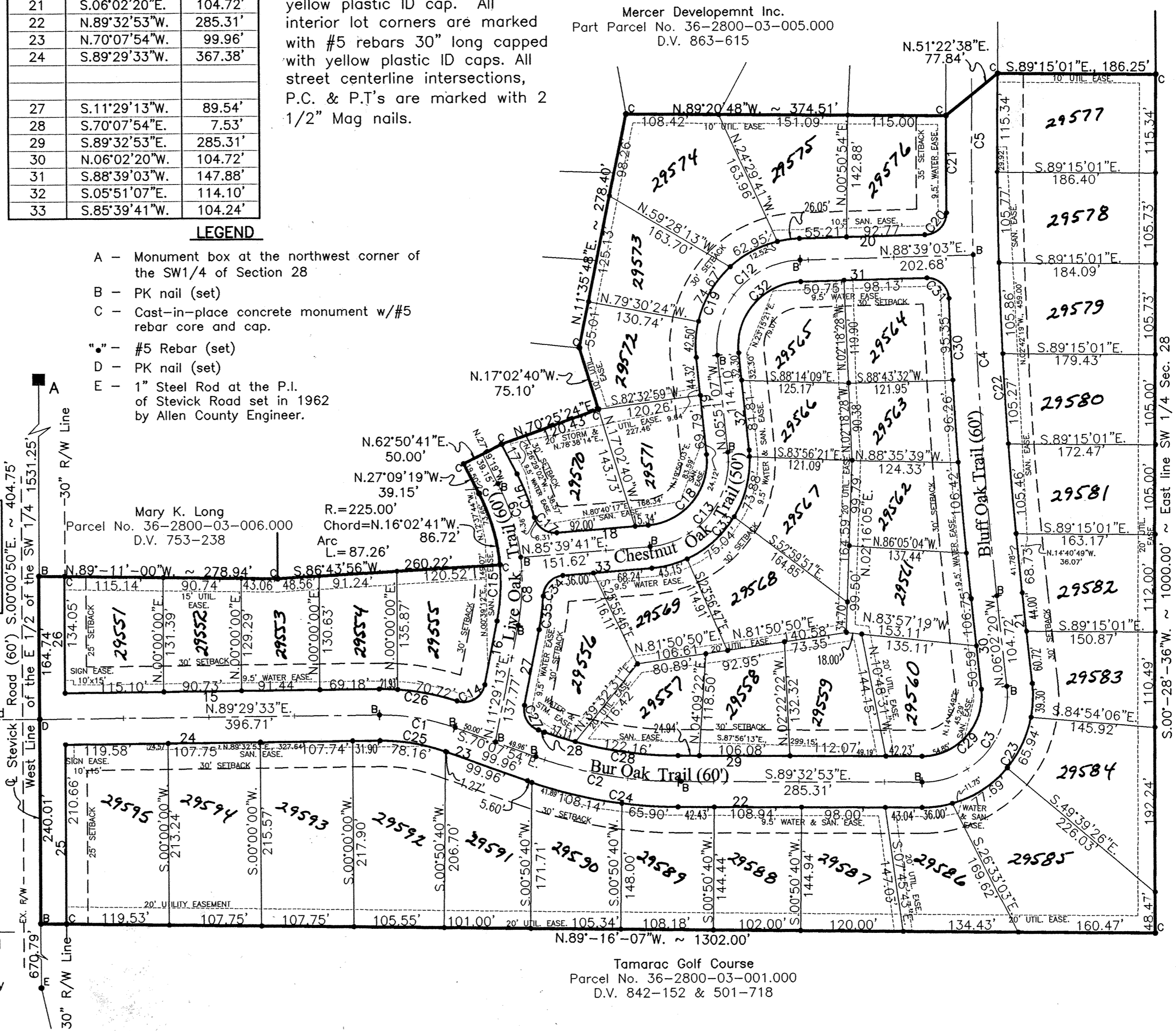
NOTE: Easements shown on this plat are shown in greater detail in the construction plans on file at the County Engineer's office.



Clayton T. Bacon
 Clayton T. Bacon, Reg. P.E. #37919
 Reg. P.S. #6179

DATE: 10-23-01

This description and plat is based on an actual field survey performed on 10-23-01, by Clayton T. Bacon.



Mercer Development Inc.
 Part Parcel No. 36-2800-03-005.000
 D.V. 863-615

Tamarac Golf Course
 Parcel No. 36-2800-03-001.000
 D.V. 842-152 & 501-718

Prepared By
Bacon & Associates, L.L.C.
 750 N. Eastown Rd., Elida, Ohio 45807
 Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1
 21.098 Acres, SW 1/4, Section 28, T3S, R6E
 American Township, Allen County, Ohio

File: 132-99

Revisions:	10-09-01
	10-23-01 REVIEW COMM.
Drawn:	CAT Date: 9-17-01

7 Oaks Subdivision No. 1

DESCRIPTION

Being a parcel of land in the East 1/2 of the SW 1/4 of Section 28, T3S, R6E, American Township, Allen County, Ohio, more particularly described as follows:

Beginning at a set PK nail on the west line of the East 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), S.00°00'50"E. (assumed bearing), 1531.25' from the monument box at the northwest corner of the SW 1/4, thence the following courses;

1. S.89°-11'-00"E., 278.94' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. N.86°-43'-56"E., 260.22' to a cast concrete monument;
3. Northwestly nontangentially on a curve to the left, 87.26' to a cast concrete monument, at the P.T., said curve having a radius of 225.00' and a chord of N.16°02'41"W., 86.72';
4. N.27°-09'-19"W., 39.15' to a cast concrete monument;
5. N.62°-50'-41"E., 50.00' to a cast concrete monument;
6. N.70°-25'-24"E., 120.43' to a cast concrete monument;
7. N.17°-02'-40"W., 75.10' to a cast concrete monument;
8. N.11°-35'-48"E., 278.40' to a cast concrete monument;
9. S.89°-20'-46"E., 374.51' to a cast concrete monument;
10. N.51°-22'-38"E., 77.84' to a cast concrete monument;
11. S.89°-15'-01"E., 186.25' to a cast concrete monument on the east line of the SW 1/4 of Section 28;
12. S.00°-28'-36"W. on said east line, 1000.00' to a cast concrete monument;
13. N.89°-16'-07"W., 1302.00' to a set PK nail on the west line of the E 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), passing over a cast concrete monument at 1272.00';
14. N.00°-00'-50"W. on the centerline of Stevick Road, 404.75' to the POINT OF BEGINNING, passing over a set PK nail at 240.01' at the intersection with the centerline of Long Road.

The above-described parcel contains 21.098 acres of which 0.279 acre is in Stevick Road R/W & 3.799 Ac. in new road R/W, more or less subject to all legal easements of record at the time of recording of this document.

Prior deed reference, Mercer Development Inc. (D.V. 863-615) and Laux Construction Inc. (D.V. 885-257).

This description and plat is based on an actual field survey performed on 9-12-1999, by Clayton T. Bacon, P.S. #6179.

DEDICATION

Rick Uppenkamp, being the owner of the described premises, hereby voluntarily consents to the execution of said plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

OWNER

WITNESS Margie Sues

Rick Uppenkamp
Rick Uppenkamp

ACKNOWLEDGEMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNER who acknowledged that he signed the hereon plat and the signing thereof was his free act and deed.
IN WITNESS thereof, I affix my hand and seal this 25 day of Oct., 2001.



DEDICATION

Laux Construction Inc., being the owner of the described premises, hereby voluntarily consents to the execution of said plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

OWNER

WITNESS

Daniel C. Laux
Daniel Laux

Clayton J. Bacon

Michael N. Laux
Michael Laux

Margie Sues



ACKNOWLEDGEMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.
IN WITNESS thereof, I affix my hand and seal this 25 day of Oct, 2001.

Margie Sue Humes
Notary Public

APPROVAL OF REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and except this plat this 25th day of OCTOBER, 2001.

John M. Magan
Executive Director, Regional Planning Commission

200121636 COUNTY RECORDER'S CERTIFICATE
Filed for record this 25th day of Oct, 2001, at 2:47 PM o'clock in the office of the County Recorder and recorded in Plat Book 24, on Page 93.

FEE \$ 82.80
Re-Recorded plat BK 24 pg 102
Clayton J. Bacon
Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 25th day of October, 2001.

W. Dean French
Auditor, Allen County, Ohio KH Fee 22.50

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and accurate survey performed by me in September of 1999. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., P.S. 6179 will be set on all property corners of interior lots and cast-in-place concrete monuments with a 30" long #5 rebar core with a plastic I.D. cap on all subdivision boundary corners.



Clayton J. Bacon
Clayton T. Bacon, P.S. 6179
Bacon & Associates, L.L.C.

Allen County General Health District
10/25/01 B.S.D. Kelly

Prepared By **Bacon & Associates, L.L.C.**
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1
21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

File: 132-99

Revisions: 10-09-01
10-23-01 REVIEW COMM.

Drawn: CAT Date: 9-17-01

7 Oaks Subdivision No. 1

SUBDIVISION RESTRICTIONS & COVENANTS

7 OAKS SUBDIVISION No. 1 SUBDIVISION RESTRICTIONS & COVENANTS

As a part of a general plan for development of the real estate in the residential area on the foregoing plat, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, the restrictions, covenants, reservations, easements, liens and charges hereinafter set forth, each and all of which is and are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property and each parcel thereof, and shall apply to and be binding upon the purchasers and successors in interest, and the restrictions, covenants, reservations, easements, liens and charges applicable to each tract, lot or parcel shall inure to the benefit of and be enforceable by the purchasers of every tract, lot or parcel and their successor in interest.

All lots included in The 7 Oaks Subdivision - Phase 1, SW 1/4, Sec. 28, T3S, R6E American Township, Allen County, Ohio, are hereby made subject to the following covenants and restrictions, not recited on the plat, forms, or corporations claiming under them:

1. Lots or building sites shall be used and occupied solely and exclusively for private residential purposes by a single-family residence.
2. The finished living space overall for a one-story ranch dwelling exclusive of open porches and garages, erected upon all of the lots in 7 Oaks Subdivision shall not be less than 1850 square feet and for a 2 story dwelling it may not be less than 2250 square feet. All residences must have a two car attached garage with a minimum of 500 square feet and front of home must be brick, stucco or stone. All foundations shall be poured concrete. No building, structures or parts thereof shall be permitted to be moved onto said lots and only new construction, using new materials only shall be permitted on said lots. The dwelling must be completed within a one-year period from the start of construction.
3. No structure shall be erected on any lot in said subdivision until the final building plans and specifications have been approved, in writing, by the developer or his agents, (Currently Michael and Daniel Laux). The developer reserves the right to approve contractors and suppliers.
4. The front of the residence, or a part thereof, excluding open porches, constructed on the lot in this subdivision shall be located so that it conforms to the platted setback line. The owners of any residence constructed upon any lot or building site, in this subdivision shall landscape such lot of building site in such a manner that the value of such landscaping, including lawn cost, is not less than 3% of the fair market value of the residence constructed on said lot or building site. Landscaping shall be completed within one year of occupancy of home.
5. No building shall be erected, placed or altered on any lot or building site until construction plans and specifications and a plot plan showing the location of the structure shall have been approved by the developer or his agents as to construction materials, harmony of exterior design with the existing structures and as to location with respect to topographic and finished grade elevation.
6. All driveways shall be constructed and completed with the residence and shall be constructed in an attractive permanent fashion. All driveways must be constructed of finished concrete as approved by the developer or his agents.
7. All lot owners will construct a 4 ft. sidewalk 1' inside the road right-of-way upon completion of the residence, in accordance with the Allen County Construction Standards.
8. All utility services to homes must be underground. No structure, trailer, basement, tent, shed, garage, barn or other outbuildings shall be used on any lot at any time either as a temporary or permanent structure.
9. No noxious or offensive activity shall be carried on or upon any lot in said above-described plat, nor shall anything be done thereon which may be or may become an annoyance or nuisance to the neighborhood.
10. It shall be the duty of the property owner to keep the property including lawns, shrubbery and trees in a neat and clean condition. Such duty for lawn and landscaping maintenance shall extend to the edge of the paved area of the street or road right-of-way. All property owners with lots located on the property line bordering the golf course must keep all trees located on that property line trimmed to a height of no less than 12 ft.
11. The developer or his agents reserves the right to grant easements for the construction and operation of electric light, telephone lines, gas piping, storm water sewers, cable television, waterlines and other utilities, public or private in and upon the property within the platted utility easement areas until such services are granted to all properties in the 7 Oaks Subdivision.
12. No animals, livestock or poultry of any kind shall be raised, bred or kept on any lots in said plat except dogs, cats or other household pets, not to exceed a total of two (2) pets, providing they are not kept; bred or maintained for any commercial purpose. Kennels are hereby strictly forbidden.
13. No lot in said subdivision shall be used or maintained as a dumping ground for rubbish or trash, including grass and landscape trimmings.
14. No trucks, semi trailers, boats, trailers, motor homes, vans or other chattels of a similar nature shall be stored or maintained on the premises unless the same be parked and kept in a garage.
15. There shall be no television or radio antennas or discs permitted in the 7 Oaks Subdivision unless the same is approved by the developer or his agents and then they will only be permitted in the rear of the house.
16. All houses will be designed such that the electric and gas meters, as well as the air conditioning condensers, will be located in the rear lot areas unless approved by the developer or his agents. Landscaping screening and decorative wood fences must be provided as required to screen these devices and pieces of equipment.
17. Only split rail type fences or hedges not to exceed 4 feet in height above ground level shall be erected or planted on said building site and shall not extend closer to the street than the rear of the house. A privacy fence may be used around a pool area. It must be a minimum of 6 feet in height and of wood construction or other suitable material as approved by the agents of the developer.
18. These covenants, restrictions, and limitations shall be binding on all parties hereto and all land owners of lots in said subdivision for a period of twenty (20) years from the date of recording, after which time such covenants, restrictions and limitations shall automatically extend for successive periods of ten (10) years each. These restrictions can be amended in whole or in part in a writing, signed by a majority of the owners of the lots in the Subdivision. Such amendments shall be recorded in the Recorder's office.
19. No lot split shall be permitted which would result in the location of a dwelling to be situated on a parcel of land comprised of less than the recorded plots dimensions.
20. Enforcement of the terms of these restrictions shall vest in each of the lot owners of this development. Said lot owners may, at their discretion, join together to enforce any and all of the terms of this agreement. Enforcement shall be proceedings in law or in equity against any person or persons or legal entity violating or attempting to violate any covenant, restrictions or limitations. These remedies are available to lot owner of said above-described premises who may seek both a restrain of such violation and damages thereof.
21. For purposes of these restrictive covenants the term building site shall refer to one or more lots as shown on the plat of 7 Oaks Subdivision.
22. Easements and rights-of-way are reserved in and over lots shown on the plat for construction, operation, and maintenance of poles, wires, or other facilities therewith for the transmission of electricity, telephone, drainage facilities, construction, operation and maintenance of drains, sewers, and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished, or performed in any method above or beneath the surface of the ground. Easements shown upon the plat may be used by utility companies and public agencies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, trees or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.
23. The 7 Oaks drainage detention pond is to be petitioned for maintenance by the owners as shown on the Dedication Certificate on page 2 of 4 of this Final Plat. All fee holders and all receiving title to the fee through them are subject to payment of drainage maintenance fees assessed or to be assessed by the county pursuant to Ohio Revised Code, Sections 6131 and 6137. A specific and distinct ditch maintenance fund shall be created as per the referenced sections of the Ohio Revised Code for this project.
24. All new house construction within five years of the recording of this plat shall be heated with natural gas.
25. All sanitary sewer service lateral connections to the main sewer shall be procured through the developer.

Prepared By

7 Oaks Subdivision No. 1

21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

File:

132-99

Revisions: 10-09-01

10-23-01 REVIEW COMM.

Drawn: CAT Date: 9-17-01

Bacon & Associates, L.L.C.

750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1

SURVEY OF DEDICATOR'S LAND

DESCRIPTION

Being a parcel of land in the East 1/2 of the SW 1/4 of Section 28, T3S, R6E, American Township, Allen County, Ohio, more particularly described as follows:

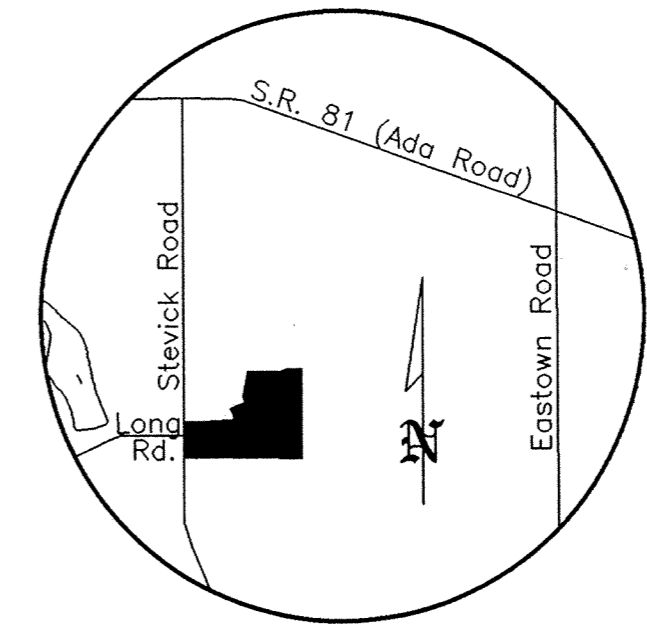
Beginning at a set PK nail on the west line of the East 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), S.00°00'50"E. (assumed bearing), 1531.25' from the monument box at the northwest corner of the SW 1/4, thence the following courses;

1. S.89°-11'-00"E., 278.94' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. N.86°-43'-56"E., 260.22' to a cast concrete monument;
3. Northwesterly nontangentially on a curve to the left, 87.26' to a cast concrete monument, at the P.T., said curve having a radius of 225.00' and a chord of N.16°02'41"W., 86.72';
4. N.27°-09'-19"W., 39.15' to a cast concrete monument;
5. N.62°-50'-41"E., 50.00' to a cast concrete monument;
6. N.70°-25'-24"E., 120.43' to a cast concrete monument;
7. N.17°-02'-40"W., 75.10' to a cast concrete monument;
8. N.11°-35'-48"E., 278.40' to a cast concrete monument;
9. S.89°-20'-46"E., 374.51' to a cast concrete monument;
10. N.51°-22'-38"E., 77.84' to a cast concrete monument;
11. S.89°-15'-01"E., 186.25' to a cast concrete monument on the east line of the SW 1/4 of Section 28;
12. S.00°-28'-36"W. on said east line, 1000.00' to a cast concrete monument;
13. N.89°-16'-07"W., 1302.00' to a set PK nail on the west line of the E 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), passing over a cast concrete monument at 1272.00';
14. N.00°-00'-50"W. on the centerline of Stevick Road, 404.75' to the POINT OF BEGINNING, passing over a set PK nail at 240.01' at the intersection with the centerline of Long Road.

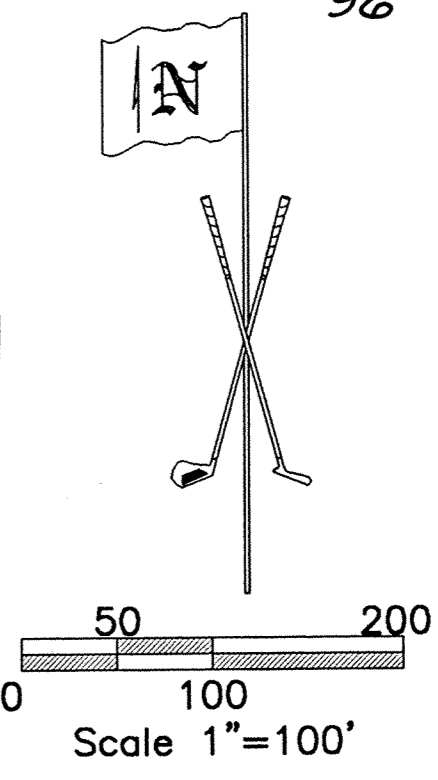
The above-described parcel contains 21.097 acres of which 0.279 acre is in Road R/W, more or less subject to all legal easements of record at the time of recording of this document.

Prior deed reference, Mercer Development Inc. (D.V. 863-615) and Laux Construction Inc. (D.V. 885-257).

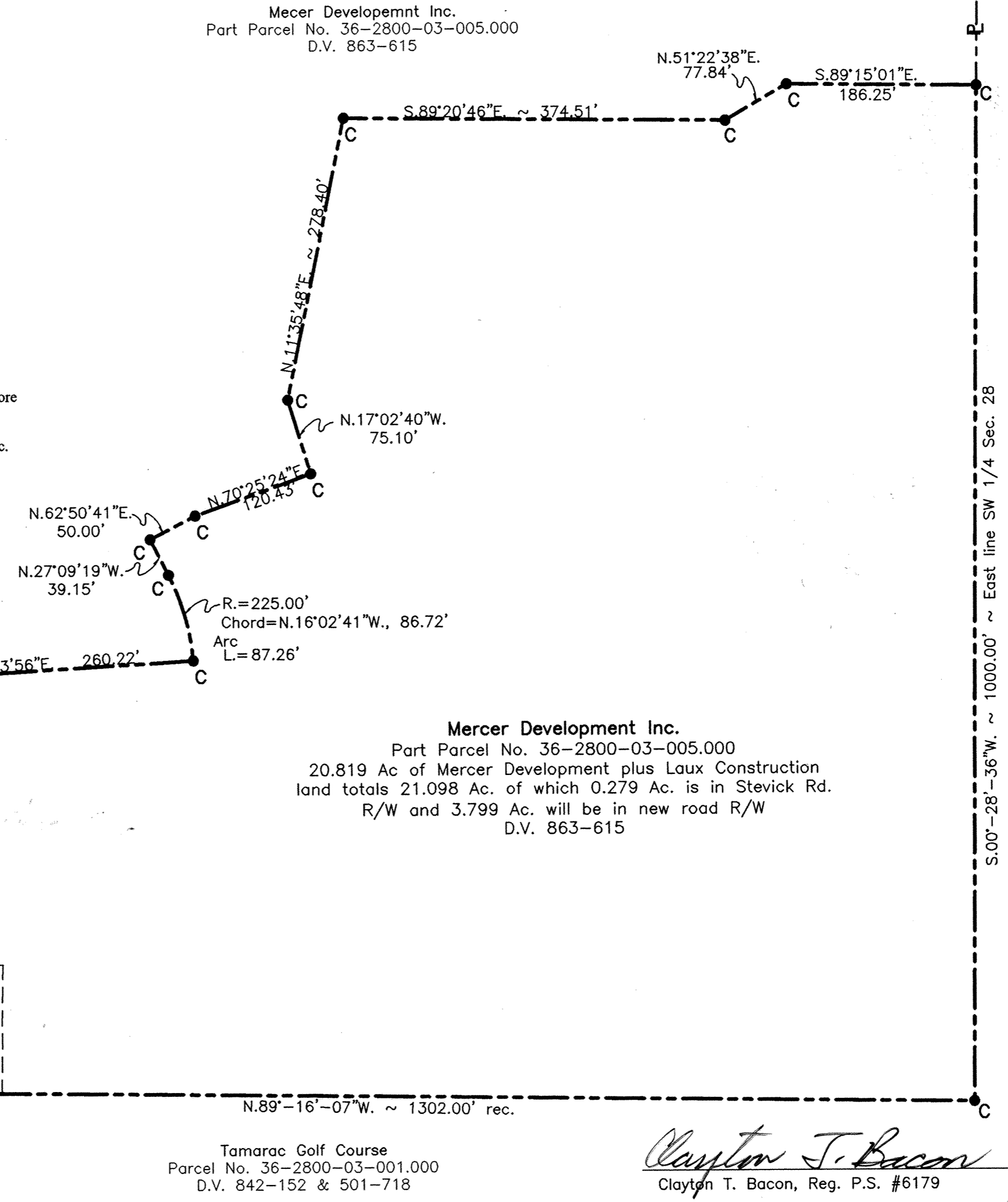
This description and plat is based on an actual field survey performed on 9-12-1999, by Clayton T. Bacon, P.S. #6179.



Vicinity Map
Scale 1" = 2000'



Mercer Development Inc.
Part Parcel No. 36-2800-03-005.000
D.V. 863-615



Mercer Development Inc.
Part Parcel No. 36-2800-03-005.000
20.819 Ac of Mercer Development plus Laux Construction
land totals 21.098 Ac. of which 0.279 Ac. is in Stevick Rd.
R/W and 3.799 Ac. will be in new road R/W
D.V. 863-615

Mary K. Long
Parcel No. 36-2800-03-006.000
D.V. 753-238

Laux Construction Inc.
Parcel No. 36-2800-03-004.000
D.V. 885-257

Tamarac Golf Course
Parcel No. 36-2800-03-001.000
D.V. 842-152 & 501-718

Tamarac Golf Course
Parcel No. 36-2800-03-001.000
D.V. 842-152 & 501-718

REVIEWED BY
M. Bacon
DATE 10/25/01

LEGEND

- A - Monument box at the northwest corner of the SW 1/4 of Section 28
- B - PK nail (set)
- C - Cast concrete monument (set)
- D - PK nail (set)
- E - 1" Steel Rod at the P.I. of Stevick Road set in 1962 by Allen County Engineer.



Clayton T. Bacon
Clayton T. Bacon, Reg. P.S. #6179

DATE: 10-23-01

This description and plat is based on an actual field survey performed on 10-23-01, by Clayton T. Bacon.

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1
21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

File: 132-99

Revisions:	10-09-01
	10-23-01 REVIEW COMM.
Drawn:	CAT
Date:	9-17-01

Indian Brook Estates No. 10

NW1/4 Section 5, T4S, R6E
Shawnee Township, Allen County, Ohio

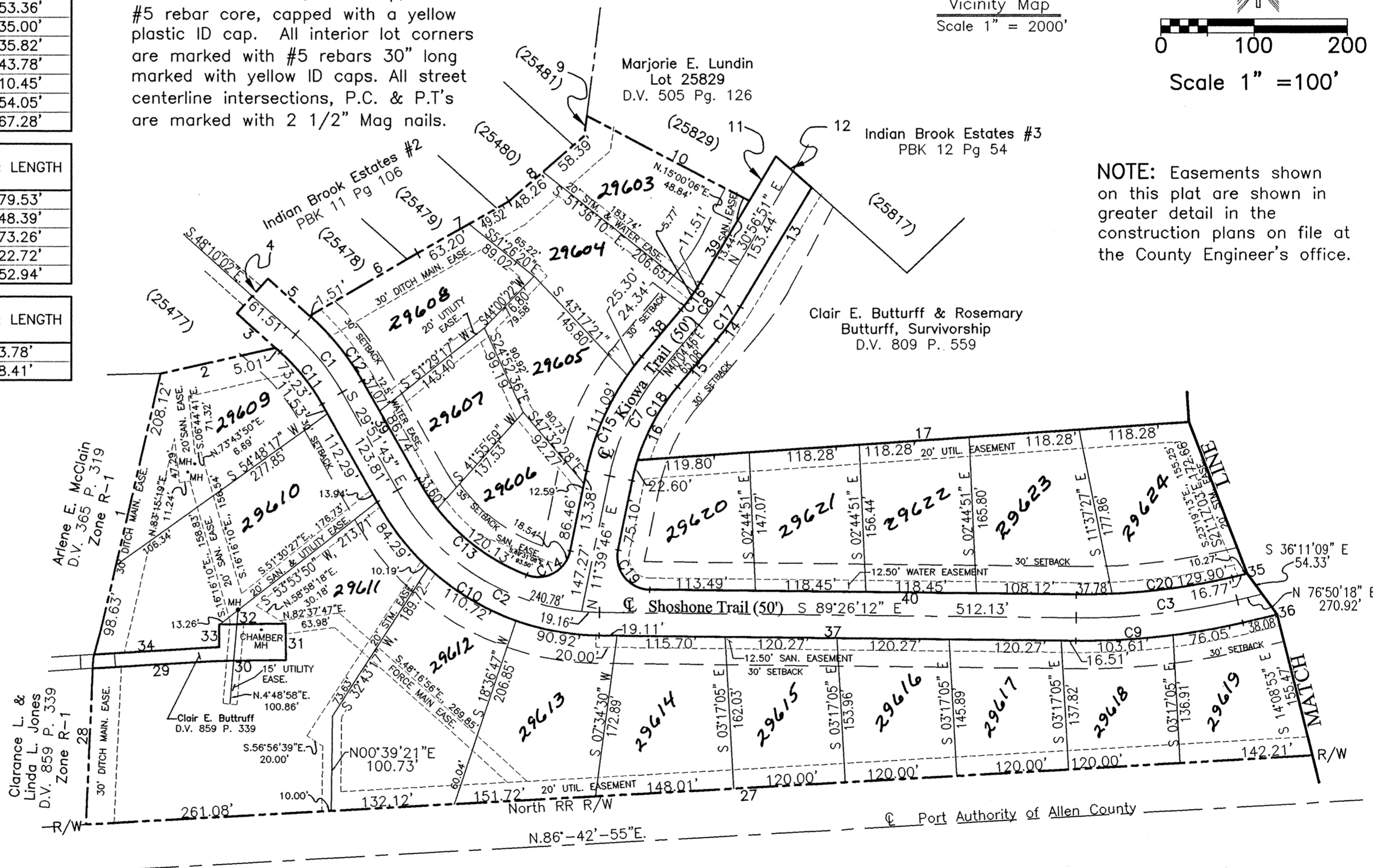
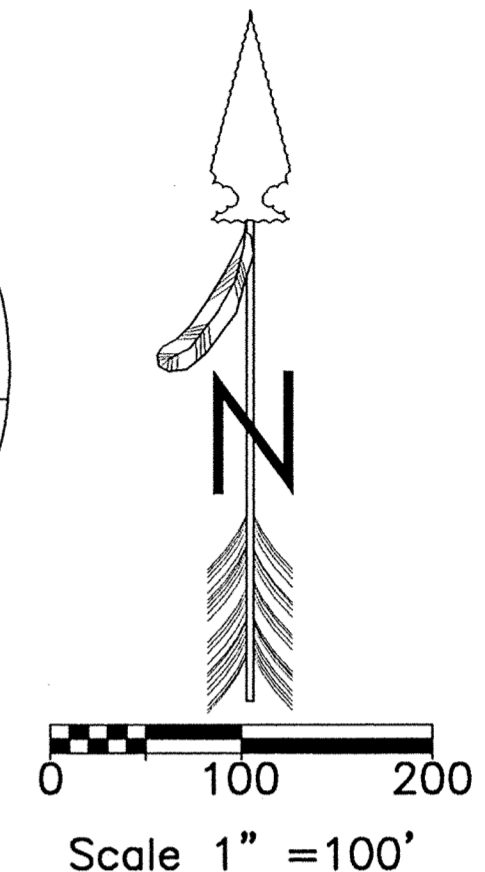
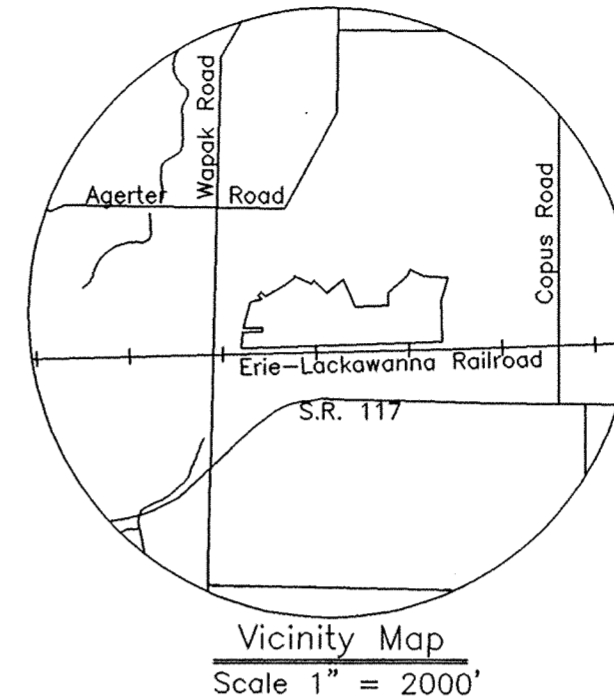
R/W CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C9	750.00'	179.66'	S.83°42'03"W., 179.23'
C10	275.00'	285.94'	S.59°38'58"E., 273.23'
C11	225.00'	71.88'	S.39°00'52"E., 71.58'
C12	275.00'	87.86'	S.39°00'52"E., 87.49'
C13	225.00'	153.73'	S.49°26'04"E., 150.75'
C14	35.00'	60.68'	N.61°19'39"E., 53.36'
C15	275.00'	136.39'	N.25°52'16"E., 135.00'
C16	225.00'	35.86'	N.35°30'48"W., 35.82'
C17	275.00'	43.83'	S.35°30'48"W., 43.78'
C18	225.00'	111.59'	S.25°52'16"W., 110.45'
C19	35.00'	61.76'	S.38°53'13"E., 54.05'
C20	700.00'	167.68'	N.83°42'03"E., 167.28'

CENTERLINE CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C1	250.00'	79.87'	S.39°00'53"E., 79.53'
C2	250.00'	259.94'	S.59°38'58"E., 248.39'
C3	725.00'	173.57'	N.83°42'03"E., 173.26'
C7	250.00'	123.99'	N.25°52'16"E., 122.72'
C8	250.00'	53.04'	N.34°00'06"E., 52.94'

BOUNDARY CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
14	275.00'	43.83'	S.35°30'48"W., 43.78'
16	225.00'	88.99'	S.28°44'55"W., 88.41'

COURSE NUMBER	COURSE BEARING	COURSE LENGTH
1	N.13°-32'-04"E.	306.75'
2	N.77°-48'-12"E.	126.68'
3	N.48°-10'-02"W.	56.50'
4	N.41°-49'-58"E.	50.00'
5	S.48°-10'-02"E.	60.00'
6	N.59°-40'-15"E.	134.00'
7	N.60°-23'-14"E.	112.72'
8	N.49°-08'-01"E.	106.65'
9	N.08°-35'-28"E.	21.51'
10	S.62°-30'-23"E.	195.51'
11	N.30°-56'-51"E.	55.50'
12	S.48°-51'-19"E.	50.80'
13	S.30°-56'-51"W.	148.94'
14	CURVE DATA	
15	S.40°-04'-46"W.	65.07'
16	CURVE DATA	
17	N.86°-01'-46"E.	592.91'
27	S.86°-42'-55"W.	2105.75'
28	N.01°-19'-26"E.	167.16'
29	N.86°-28'-37"E.	135.74'
30	N.89°-14'-57"E.	71.75'
31	N.00°-47'-36"W.	39.50'
32	S.89°-14'-57"W.	71.30'
33	S.00°-08'-51"E.	24.51'
34	S.86°-28'-37"W.	133.69'
35	N.76°-50'-18"E.	271.18'
36	S.76°-50'-18"W.	271.18'
37	S.89°-26'-12"E.	512.13'
38	S.40°-04'-46"W.	65.07'
39	N.30°-56'-51"E.	102.43'
40	S.89°-26'-12"E.	458.50'

MONUMENTATION: All exterior corners of Indian Brook Estates No. 10 are marked with a cast-in-place concrete monument, 30" deep, with a #5 rebar core, capped with a yellow plastic ID cap. All interior lot corners are marked with #5 rebars 30" long marked with yellow ID caps. All street centerline intersections, P.C. & P.T's are marked with 2 1/2" Mag nails.



NOTE: Easements shown on this plat are shown in greater detail in the construction plans on file at the County Engineer's office.

Clayton J. Bacon
Clayton T. Bacon, Reg. P.E. #37919 DATE: 10-24-01
Reg. P.S. #6179

This description and plat is based on an actual field survey performed on 2-2-00, by Clayton T. Bacon.



Prepared By

Bacon & Associates, L.L.C.

750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Indian Brook Estates No. 10
24.860 Acres, NW1/4 Section 5, T4S, R6E
Shawnee Township, Allen County, Ohio

File: 1-00

Revisions: 10-08-01

10-24-01 REVIEW COMM.

Drawn: CAT Date: 9-7-01

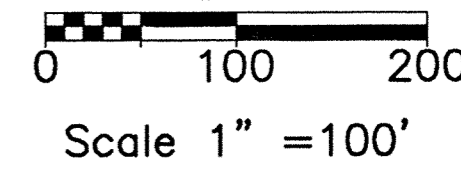
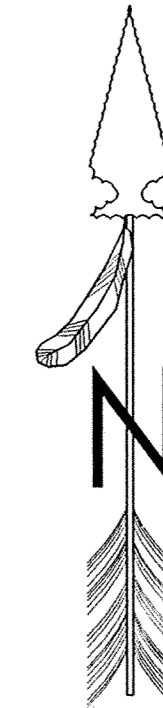
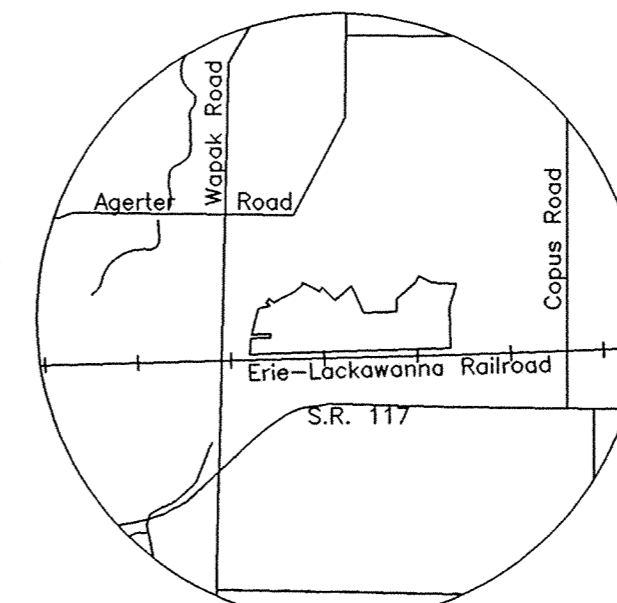
Indian Brook Estates No. 10

NW1/4 Section 5, T4S, R6E
Shawnee Township, Allen County, Ohio

R/W CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C21	395.00'	381.88'	N.49°08'32"E., 367.18'
C22	275.00'	79.90'	N.29°46'10"E., 79.62'
C23	225.00'	65.37'	S.29°46'10"W., 65.14'
C24	445.00'	102.51'	S.28°02'42"W., 102.28'
C25	35.00'	55.85'	S.11°04'11"E., 50.11'
C26	35.00'	25.58'	S.77°43'13"E., 25.01'
C27	61.00'	299.72'	S.42°06'04"W., 77.18'
C28	35.00'	36.43'	N.26°57'43"W., 34.81'
C29	35.00'	45.23'	N.86°11'43"E., 42.15'
C30	445.00'	214.86'	N.63°00'21"E., 212.78'

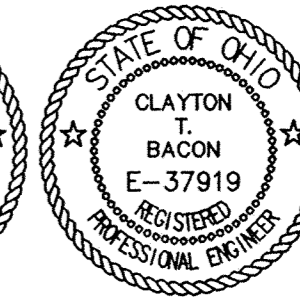
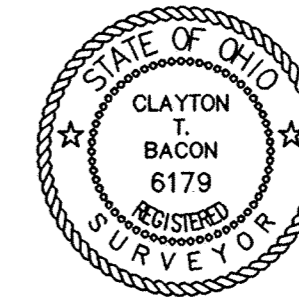
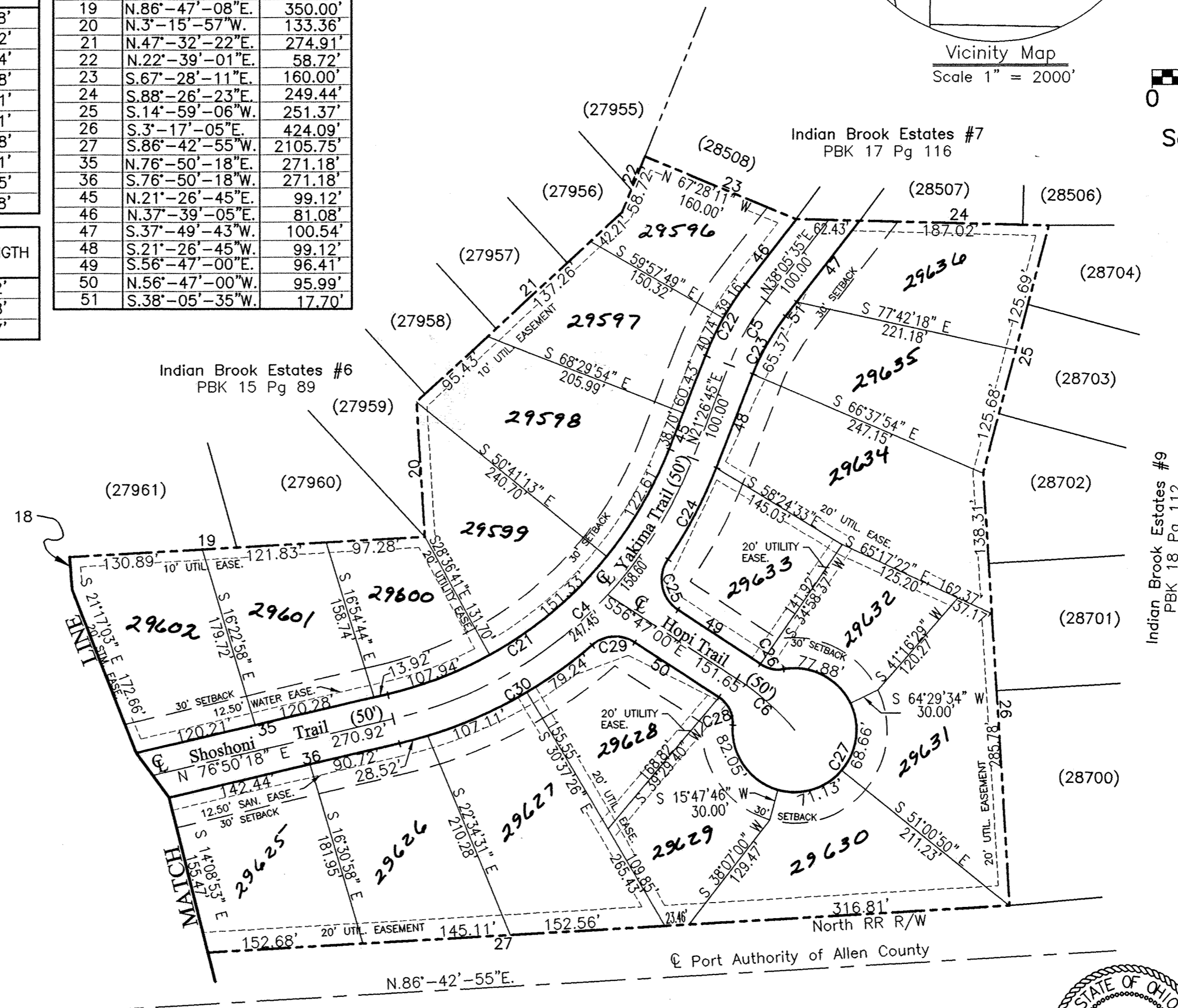
CENTERLINE CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C4	420.00'	406.05'	N.49°08'31"E., 390.42'
C5	250.00'	72.64'	N.29°46'10"E., 72.38'
C6	250.00'	76.07'	S.48°04'01"E., 75.77'

COURSE NUMBER	COURSE BEARING	COURSE LENGTH
18	N.02°-59'-24"W.	31.62'
19	N.86°-47'-08"E.	350.00'
20	N.3°-15'-57"W.	133.36'
21	N.47°-32'-22"E.	274.91'
22	N.22°-39'-01"E.	58.72'
23	S.67°-28'-11"E.	160.00'
24	S.88°-26'-23"E.	249.44'
25	S.14°-59'-06"W.	251.37'
26	S.3°-17'-05"E.	424.09'
27	S.86°-42'-55"W.	2105.75'
35	N.76°-50'-18"E.	271.18'
36	S.76°-50'-18"W.	271.18'
45	N.21°-26'-45"E.	99.12'
46	N.37°-39'-05"E.	81.08'
47	S.37°-49'-43"W.	100.54'
48	S.21°-26'-45"W.	99.12'
49	S.56°-47'-00"E.	96.41'
50	N.56°-47'-00"W.	95.99'
51	S.38°-05'-35"W.	17.70'



MONUMENTATION: All exterior corners of Indian Brook Estates No. 10 are marked with a cast-in-place concrete monument, 30" deep, with a #5 rebar core, capped with a yellow plastic ID cap. All interior lot corners are marked with #5 rebars 30" long marked with yellow ID caps. All street centerline intersections, P.C. & P.T's are marked with 2 1/2" Mag nails.

NOTE: Easements shown on this plat are shown in greater detail in the construction plans on file at the County Engineer's office.



Clayton T. Bacon
Clayton T. Bacon, Reg. P.E. #37919
Reg. P.S. #6179

DATE: 10-24-01

This description and plat is based on an actual field survey performed on 2-2-00, by Clayton T. Bacon.

Prepared By

Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Indian Brook Estates No. 10
24.860 Acres, NW1/4 Section 5, T4S, R6E
Shawnee Township, Allen County, Ohio

File:

1-00

Revisions: 10-08-01

10-24-01 REVIEW COMM.

Drawn: CAT Date: 9-7-01

Indian Brook Estates No. 10

DESCRIPTION

Being a parcel of land in the NW¼ of Section 5, T4S, R6E, Shawnee Township, Allen County, Ohio, more particularly described as follows:

Commencing for reference at the monument box at the southwest corner of the NW¼ of Section 5, thence N.1°-06'-15"W. (assumed bearing) on the west line of the NW¼ (centerline Wapak Road), 872.57'; thence N.86°-24'-58"E., 305.65' to an existing PK nail near the center of a bridge; thence N.13°-32'-04"E., 7.83' to the POINT OF BEGINNING on the edge of the bridge over the centerline of a creek, thence the following courses;

1. N.13°-32'-04"E. on the centerline of the creek, 306.75';
2. N.77°-48'-12"E. on the centerline of the creek, (south line lot 25477 in Indian Brook #2 as recorded in Plat Book 11, Page 106), 126.68';
3. N.48°-10'-02"W., 56.50' to a set #5 rebar;
4. N.41°-49'-58"E., 50.00' to a set #5 rebar;
5. S.48°-10'-02"E., 60.00' to the centerline of a creek;
6. N.59°-40'-15"E. on said centerline (east line of Lot 25478 in Indian Brook Estates No. 2 as recorded in Plat Book 11, page 106), 134.00';
7. N.60°-23'-14"E. on said centerline (east line of Lot 25479), 112.72';
8. N.49°-08'-01"E. on said centerline (east line of Lot 25480) in Indian Brook Estates No. 2, 106.65';
9. N.8°-35'-28"E. on said centerline, 21.51';
10. S.62°-30'-23"E., 195.51' to a set #5 rebar, passing over a set #5 rebar at 25.00';
11. N.30°-56'-51"E. on the north line of Kiowa Trail, 55.50' to a set #5 rebar;
12. S.48°-51'-19"E., 50.80' to a set #5 rebar on the south line of Kiowa Trail (northwest corner) of Lot 25817 in Indian Brook Estates No. 3 as recorded in Plat Book 12, page 54;
13. S.30°-56'-51"W., 148.94' to a set #5 rebar at the P.C. of a curve to the right;
14. Southeasterly on the curve, an arc length of 43.83', to a set #5 rebar at the P.T., said curve having a radius of 275.00 and a chord of S.35°-30'-48"W., 43.78';
15. S.40°-04'-46"W., 65.07' to set #5 rebar at the P.C. of a curve to the left;
16. Southwesterly on the arc of the curve, 88.99' to a set #5 rebar, said curve having a radius of 225.00' and a chord of S.28°-44'-55"W., 88.41';
17. N.86°-01'-46"E., 592.91' to a set #5 rebar;
18. N.2°-59'-24"W., 31.62' to an existing concrete monument at the southwest corner of Lot 27961 in Indian Brook Estates No. 6 as recorded in Plat Book 15, page 88;
19. N.86°-47'-08"E. on the south line of Lots 27961 & 27960, 350.00' to a set #5 rebar at the southeast corner of Lot 27960;
20. N.3°-15'-57"W. on the east line of Lot 27959, 133.36' to an existing concrete monument;
21. N.47°-32'-22"E. on the east side of Indian Brook Estates No. 6, 274.91' to a set #5 rebar;
22. N.22°-39'-01"E., 58.72' to a set #5 rebar at the southwest corner of Lot;
23. S.67°-28'-11"E. on the south line of Lot 28508 in Indian Brook Estates No. 7 as recorded in Plat Book 17, page 161, 160.00' to an existing concrete monument at the southeast corner of Lot 28508;
24. S.88°-26'-23"E. on the south line of Indian Brook Estates No. 7, 249.44' to an existing concrete monument at the northwest corner Lot 28704 in Indian Brook Estates No. 9 as recorded in Plat Book 18, page 112;
25. S.14°-59'-06"W. on the west line of Indian Brook Estates No. 9, 251.37' to a set #5 rebar;
26. S.3°-17'-05"E. on said west line, 424.09' to a set #5 rebar at the southwest corner of Lot 28699;
27. S.86°-42'-55"W. on the north line of the railroad, 2105.75' to the center of a creek, passing over a set #5 rebar at 2065.75';
28. N.1°-19'-26"E. on the centerline of the creek, 167.16';
29. N.86°-28'-37"E., 135.74' to an existing 1" pipe, passing over a set #5 rebar at 25.00';
30. N.89°-14'-57"E., 71.75' to an existing 1" pipe;
31. N.0°-47'-36"W., 39.50' to an existing 1" pipe;
32. S.89°-14'-57"W., 71.30' to an existing 1" pipe;
33. S.0°-08'-51"E., 24.51' to a set #5 rebar;
34. S.86°-28'-37"W., 133.69' to the POINT OF BEGINNING, passing over a set #5 rebar at 100.00'.

The above-described parcel contains 24.860 acres, more or less subject to all legal easements of record at the time of recording of this instrument.

Being part of Parcel No. 46-0502-04-050.000 and previous D.V. 751-595 and inclusive of Parcel No. 46-0502-04-046.000 and D.V. 538-113.

DEDICATION

Indianbrook West Company, being the owner of the described premises, hereby voluntarily consents to the execution of said plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever. Easements shown on the adjoining plat are shown in greater detail in the construction plans on file at the County Engineer's office.

OWNER - INDIANBROOK WEST CO.

WITNESS

Clair E. Butturff
Clair E. Butturff (President)

Margie Sue Humes
Clayton T. Bacon

ACKNOWLEDGMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNER who acknowledged that he signed the hereon plat and the signing thereof was his free act and deed.
IN WITNESS thereof, I affix my hand and seal this 26 day of Oct., 2001.



MARGIE SUE HUMES
NOTARY PUBLIC, STATE OF OHIO
My Commission Expires 8-24-05

Margie Sue Humes
Notary Public

APPROVAL OF REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and except this plat this 26th day of OCTOBER, 2001.

Alan M. Hays
Executive Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATE

200121702
Filed for record this 26th day of Oct, 2001, at 11:57 AM clock in the office of the County Recorder and recorded in Plat Book 24, on Page 97.

10350

Edward P. Keed by Jr
Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 26th day of October, 2001.

W. Dean French
Auditor, Allen County, Ohio KH Fee 20.50

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and accurate survey performed by me in February of 2000. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., P.S. 6179 will be set on all property corners.



Clayton T. Bacon
Clayton T. Bacon, P.S. 6179
Bacon & Associates, L.L.C.

Bacon & Associates, L.L.C.

750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Prepared By

Indian Brook Estates No. 10
24.860 Acres, NW¼ Section 5, T4S, R6E
Shawnee Township, Allen County, Ohio

File: 1-00

Revisions: 10-08-01

10-24-01 REVIEW COMM.

Drawn: CAT Date: 9-7-01

Indian Brook Estates No. 10

SUBDIVISION RESTRICTIONS AND COVENANTS

INDIAN BROOK ESTATES #10
SUBDIVISION RESTRICTIONS & COVENANTS

As a part of a general plan for development of the real estate shown on the forgoing plat previously recorded, as a residential area, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, restrictions, covenants, reservations, liens and charges are hereinafter set forth. Each and all are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property and each and every parcel thereof, and shall apply to and be binding upon the purchasers and successors in interest. The restrictions, covenants, reservations, liens, and charges applicable to each tract, lot or parcel and their successors in interest or by the Indian Brook Homeowner's Association upon resolution of its Board of Trustees.

The tracts, lots and parcels of real estate shown and described on the plats are and shall be held, transferred, sold and conveyed subject to the following conditions, restrictions, covenants, reservations, easements, liens and charges:

1. The words "Lots" or "Building Site" or "residences" shall be construed to mean and shall refer to one or more Lots shown in the forgoing plat.
2. Said Building Sites shall be used and occupied solely and exclusively for private residential purposes by a single family, including family servants.
3. Building and structures and one family residences shall not exceed two and one-half stories in height, together with customary out-buildings such as private garages, home workshops, and home greenhouses and incidentals to the residential use of such Building Sites shall be erected, maintained or permitted upon any Building Site. Any out-buildings must conform in style and architecture to the appearance of the house.
4. All buildings shall be constructed of new material and no building or other structures whatsoever, erected elsewhere, shall be permitted to be moved upon any Building Site without the written approval of the Architectural Committee, hereinafter referred to.
5. No building or structure of any kind shall be located on any Building Site nearer than thirty (30) feet from the front property line or nearer than ten (10) feet from the side property line (except on corner Lots where no structure shall be located nearer than (30) feet from the street side property line). The restrictions as to the distance at which buildings shall be placed from the front, side, and rear Lot lines shall apply to and include porches, porte-cocheres, and other similar projections. All residential structures located on Building Sites must front on a street, excepting that structures on corner Lots may be located diagonally thereon.
6. No one-floor residential structure shall be erected on any Building Site, which shall have a ground floor area, exclusive of porches, garages, and basements, which shall be less than 2,000 square feet, plus a closed two car garage. The same square footage shall be required on tri-level structures in the main floor plus the upper level plus one-half the finished lower level shall be added to obtain the square footage. Residential structures of two stories shall be a total floor area, exclusive of porches, garages, and basements of not less than 2,000 square feet unless further restricted by deed. All Chimneys shall consist of masonry construction or masonry veneer.
7. Building or other structures shall not be erected, placed or altered on any Building Site unless the building plans, specifications, and plot plan showing the location of such building have been approved in writing by an Architectural Committee, composed of Clair E. Buttuff, President of Indian Brook West (The Developer) and his Appointees, ninety (90) days following completion of construction and habitation of new home, an architectural committee composed of three individuals who shall be appointed by the Indian Brook Homeowners Association. The Architectural Committee shall consist of the developer or his agent, President of the Board and third person appointed by the Board. Approval will be based upon the building's or structure's conformity and harmony of external design with the existing structures in the subdivision and as to the location of the building with reference to topography and finished ground elevation.
8. Walls, fences, or hedges, shall not be erected or placed on any Building Site between the front property line and the rear wall of the residence without prior approval of the Architectural Committee. No fences, decorative or otherwise shall be constructed or installed without prior written approval of the Architectural Committee. No "Privacy", "stockade" or similar visually obstructive fences three feet (3') or taller shall be permitted on any Lot. Further, no fenced dog runs will be permitted on any Lot. Privacy screens and fences can be installed around patio if attached to the house.
9. No animals, except common household pets shall be kept, bred, or maintained upon any Lot for any commercial purpose, and common household pets shall not be kept, bred, or maintained on any Lot in unreasonable numbers, as may be determined by Indian Brook Homeowners Association, from time to time. Each owner shall be responsible for cleaning up any unsanitary condition caused by said pet. All pets maintained on a Lot must be kept either within an enclosure, yard, or patio. No pit bull or rottweiler dogs shall be permitted on any Lot. No animal shall be kept on Lots not improved by a residence.
10. No automobile or motor-driven vehicle may be left upon any Lot or any street abutting any Lot for a period longer than seventy-two (72) hours in a condition such that it is incapable of being operated upon the public highways, after which time the vehicle shall be considered as a nuisance and detrimental to the welfare of the neighborhood and must be removed. Any towed vehicle, house or trailers, jet skis, temporarily kept thereon for periods longer than seven (7) days, shall be considered a nuisance and must be removed. The foregoing, however, does not apply to such boats or other vehicles, whether motor-driven or towed, as are stored wholly within any attached garage. No commercial vehicles may be parked, stored, or temporarily kept on any Lot or any street abutting any Lot except when stored wholly within private garages, or except when there to temporarily service existing improvements or to be used in connection with the construction of improvements on a Lot.
11. Signs, posters, displays, or other advertising device of any kind shall not be displayed to the public view on any Lot except such signs as may be used in connection with the development of the property and sale of Lots, and except for: (a) One (1) "for sale", "for lease", or "for exchange", sign of reasonable size [but not exceeding six (6) square feet]; and (b) political signs of reasonable size for two (2) weeks prior to an election of [but not exceeding four (4) square feet per sign], which shall be promptly removed the day following the election.
12. No oil, gas, or water wells shall be drilled nor shall any mining or commercial excavating operations of any kind be conducted on any Building Site.
13. No trade or activity of a business nature shall be carried on upon any Building Site which may be or may become an annoyance or nuisance except for a home office.
14. Water used for air conditioning, from down spouts, or from drainage tile shall not be discharged into the sanitary effluent lines. Preferably all such water must be discharged onto splash blocks.
15. Off street parking must be provided at each home site for at least six (6) automobiles, two (2) of which can be in the garage and the balance of which can be in the driveway. Parking shall not be permitted in grassy areas on any unpaved portions of a Lot, except when driveway is being repaired, resealed, or replaced.
16. All easements for utility purpose's are hereby expressly reserved to Indianbrook Wet Company, the present Owner of all Building Sites and to its successors and assigns, as shown on the plat sheet for Indianbrook Estates.
17. Every home must be constructed by a building contractor engaged in the home building business full-time. No residence may be occupied until completed. All residences shall be completed within one year.
18. Owners of each Lot shall be prohibited from filling or obstructing roadside drainage swales.
19. Above-ground pools shall not be erected, constructed, or installed on any site.
20. All shrubs, trees, grass, and plantings of every kind shall be well maintained, properly cultivated and free of trash and other unsightly material. Foundation, planting and balance of lot shall be graded and seeded no later than 180 days after completion of the residence.
21. No portion of the property shall be used or maintained as a dumping ground for rubbish or other similar material and all materials form construction shall be picked up weekly. All garbage and other similar materials shall be kept in sanitary containers. All equipment for the storage or disposal of such material shall be kept in a clean, sanitary condition and shall be stored no closer to the front of the lot than the front walls of the dwelling and shall be screened from view. In addition, no exterior lights shall be permitted, the principal beam of which shine upon areas other than the Lot upon which they are located, or which otherwise cause unreasonable interference with the use and enjoyment of other Lots by residents thereof. No speakers, horns, whistles, bells or other sound devices, shall be located, used or placed on any Lot, except security devices used exclusively for security purposes which are activated only in emergency situations or for testing thereof.
22. Lots, residences or other improvements shall not be permitted to become overgrown, unsightly or fall into disrepair. All residences and improvements shall at all times be kept in good condition and adequately painted or otherwise finished in accordance with the specifications established by the Architectural Committee.
23. As of the date of the recording of these restrictions and covenants, every person or entity who becomes a homeowner or thereafter becomes an Owner of a Lot within the subdivision shall be a dues-paying member of the Indian Brook Homeowners Association. All memberships in the Association shall apply to the residence owned by each member. Memberships in the Association shall be assignable, only to the person or entity to whom the title residence has been transferred. Ownership of such residence shall be the sole qualification for memberships in the Association. The Association may adopt a membership fee to be collected at the time a new Owner purchases a residence and may adopt an annual membership fee to be collected at the time a new Owner purchases a residence and may adopt an annual membership fee, all by a majority vote of the members attending a duly-called meeting for that purpose.
24. Every person who now or herein owns or acquires any rights, title or estate in any residence shall be considered to have agreed to every restriction contained herein whether or not a reference to these restrictions is contained in the instrument by which the person acquired an interest in said property.
25. The foregoing restrictions, covenants and conditions shall run with the land and shall be binding on all future Owners of all Building Sites and all persons claiming under them until January 1, 2010. After that time said restrictions, covenants, and conditions shall be automatically extended for successive periods of ten (10) years, except Owners of three-fourths majority of the residences, in writing, may change, modify, alter, amend, or annul any of the restrictions, reservations or conditions at any time.
26. Should any one or more of the foregoing restrictions, covenants, or conditions at any time in the future be held illegal, void, or unenforceable, such fact shall not in any way impair the validity of any of the the other restrictions, covenants, or conditions, all of which shall remain in full force and effect.
27. Members of the Architectural Committee shall be appointed by vote of the Executive Board of the Indian Brook Homeowners Association on an annual basis. After the initial election of the members of the Architectural Committee, members shall serve a three (3) year term with one new member being elected each year to provide continuity and experience on the Architectural Committee at all times.
28. Easements and rights-of-way are reserved in and over lots shown on the plat for construction, operation, and maintenance of poles, wires, or other facilities therewith for the transmission of electricity, telephone, drainage facilities, construction, operation and maintenance of drains, sewers, and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished, or performed in any method above or beneath the surface of the ground. Easements shown upon the plat may be used by utility companies and public agencies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, trees or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.
29. The private pond owned by Clair E. Buttuff recieves storm water runoff by storm sewer inflow and from overland runoff. This pond is considered to be private and is to be maintained by Clair E. Buttuff or his successors.

Prepared By

Indian Brook Estates No. 10
24.860 Acres, NW1/4 Section 5, T4S, R6E
Shawnee Township, Allen County, Ohio

File: 1-00

Revisions: 10-08-01

10-24-01 REVIEW COMM.

Drawn: CAT Date: 9-7-01

Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Indian Brook Estates No. 10

SURVEY OF DEDICATOR'S LAND

DESCRIPTION

Being a parcel of land in the NW¼ of Section 5, T4S, R6E, Shawnee Township, Allen County, Ohio, more particularly described as follows:

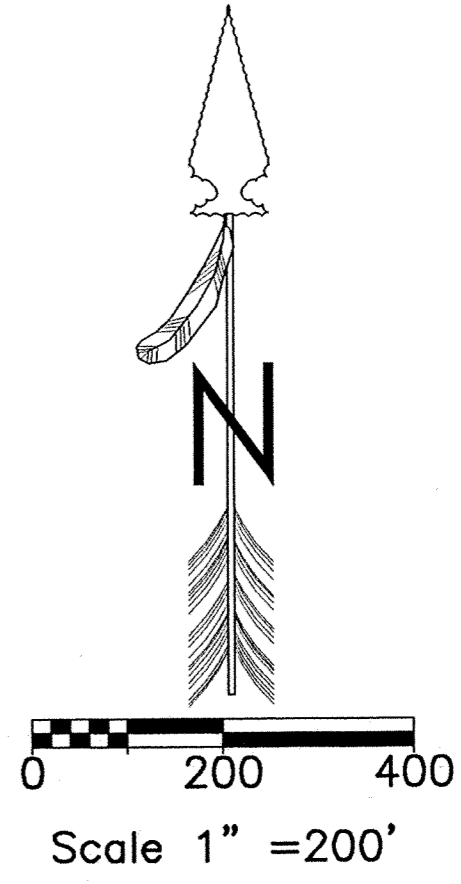
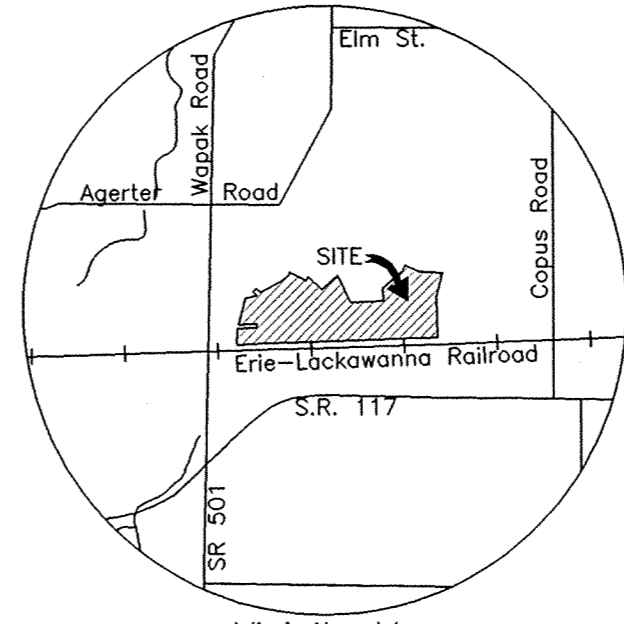
Commencing for reference at the monument box at the southwest corner of the NW¼ of Section 5, thence N.1°-06'-15"W. (assumed bearing) on the west line of the NW¼ (centerline Wapak Road), 872.57'; thence N.86°-24'-58"E., 305.65' to an existing PK nail near the center of a bridge; thence N.13°-32'-04"E., 7.83' to the POINT OF BEGINNING on the edge of the bridge over the centerline of a creek, thence the following courses;

- N.13°-32'-04"E. on the centerline of the creek, 306.75';
- N.77°-48'-12"E. on the centerline of the creek, (south line lot 25477 in Indian Brook #2 as recorded in Plat Book 11, Page 106), 126.68';
- N.48°-10'-02"W., 56.50' to a set #5 rebar;
- N.41°-49'-58"E., 50.00' to a set #5 rebar;
- S.48°-10'-02"E., 60.00' to the centerline of a creek;
- N.59°-40'-15"E. on said centerline (east line of Lot 25478 in Indian Brook Estates No. 2 as recorded in Plat Book 11, page 106), 134.00';
- N.60°-23'-14"E. on said centerline (east line of Lot 25479), 112.72';
- N.49°-08'-01"E. on said centerline (east line of Lot 25480) in Indian Brook Estates No. 2, 106.65';
- N.8°-35'-28"E. on said centerline, 21.51';
- S.62°-30'-23"E., 195.51' to a set #5 rebar, passing over a set #5 rebar at 25.00';
- N.30°-56'-51"E. on the north line of Kiowa Trail, 55.50' to a set #5 rebar;
- S.48°-51'-19"E., 50.80' to a set #5 rebar on the south line of Kiowa Trail (northwest corner) of Lot 25817 in Indian Brook Estates No. 3 as recorded in Plat Book 12, page 54;
- S.30°-56'-51"W., 148.94' to a set #5 rebar at the P.C. of a curve to the right;
- Southeasterly on the curve, an arc length of 43.83', to a set #5 rebar at the P.T., said curve having a radius of 275.00 and a chord of S.35°-30'-48"W., 43.78';
- S.40°-04'-46"W., 65.07' to set #5 rebar at the P.C. of a curve to the left;
- Southeasterly on the arc of the curve, 88.99' to a set #5 rebar, said curve having a radius of 225.00' and a chord of S.28°-44'-55"W., 88.41';
- N.86°-01'-46"E., 592.91' to a set #5 rebar;

- N.2°-59'-24"W., 31.62' to an existing concrete monument at the southwest corner of Lot 27961 in Indian Brook Estates No. 6 as recorded in Plat Book 15, page 88;
- N.86°-47'-08"E. on the south line of Lots 27961 & 27960, 350.00' to a set #5 rebar at the southeast corner of Lot 27960;
- N.3°-15'-57"W. on the east line of Lot 27959, 133.36' to an existing concrete monument;
- N.47°-32'-22"E. on the east side of Indian Brook Estates No. 6, 274.91' to a set #5 rebar;
- N.22°-39'-01"E., 58.72' to a set #5 rebar at the southwest corner of Lot;
- S.67°-28'-11"E. on the south line of Lot 28508 in Indian Brook Estates No. 7 as recorded in Plat Book 17, page 161, 160.00' to an existing concrete monument at the southeast corner of Lot 28508;
- S.88°-26'-23"E. on the south line of Indian Brook Estates No. 7, 249.44' to an existing concrete monument at the northwest corner Lot 28704 in Indian Brook Estates No. 9 as recorded in Plat Book 18, page 112;
- S.14°-59'-06"W. on the west line of Indian Brook Estates No. 9, 251.37' to a set #5 rebar;
- S.3°-17'-05"E. on said west line, 424.09' to a set #5 rebar at the southwest corner of Lot 28699;
- S.86°-42'-55"W. on the north line of the railroad, 2105.75' to the center of a creek, passing over a set #5 rebar at 2065.75';
- N.1°-19'-26"E. on the centerline of the creek, 167.16';
- N.86°-28'-37"E., 135.74' to an existing 1" pipe, passing over a set #5 rebar at 25.00';
- N.89°-14'-57"E., 71.75' to an existing 1" pipe;
- N.0°-47'-36"W., 39.50' to an existing 1" pipe;
- S.89°-14'-57"W., 71.30' to an existing 1" pipe;
- S.0°-08'-51"E., 24.51' to a set #5 rebar;
- S.86°-28'-37"W., 133.69' to the POINT OF BEGINNING, passing over a set #5 rebar at 100.00'.

The above-described parcel contains 24.860 acres, more or less subject to all legal easements of record at the time of recording of this instrument.

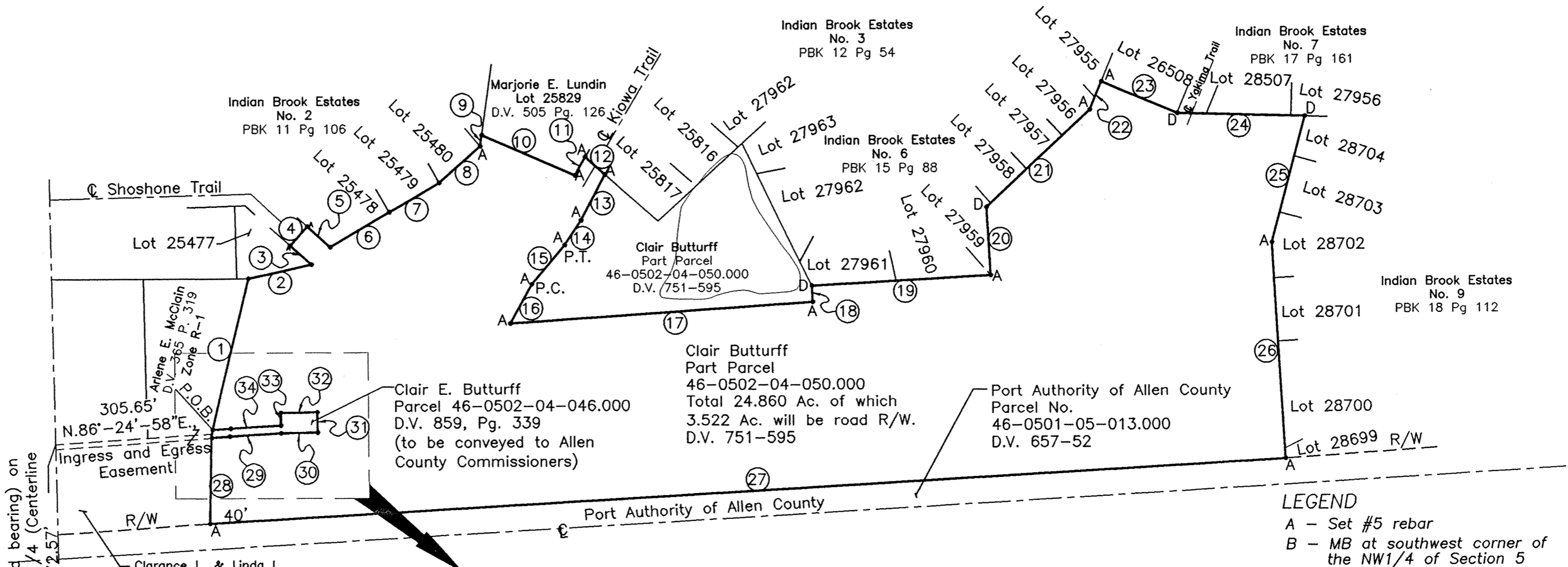
Being part of Parcel No. 46-0502-04-050.000 and previous D.V. 751-595 and inclusive of Parcel No. 46-0502-04-046.000 and D.V. 538-113.



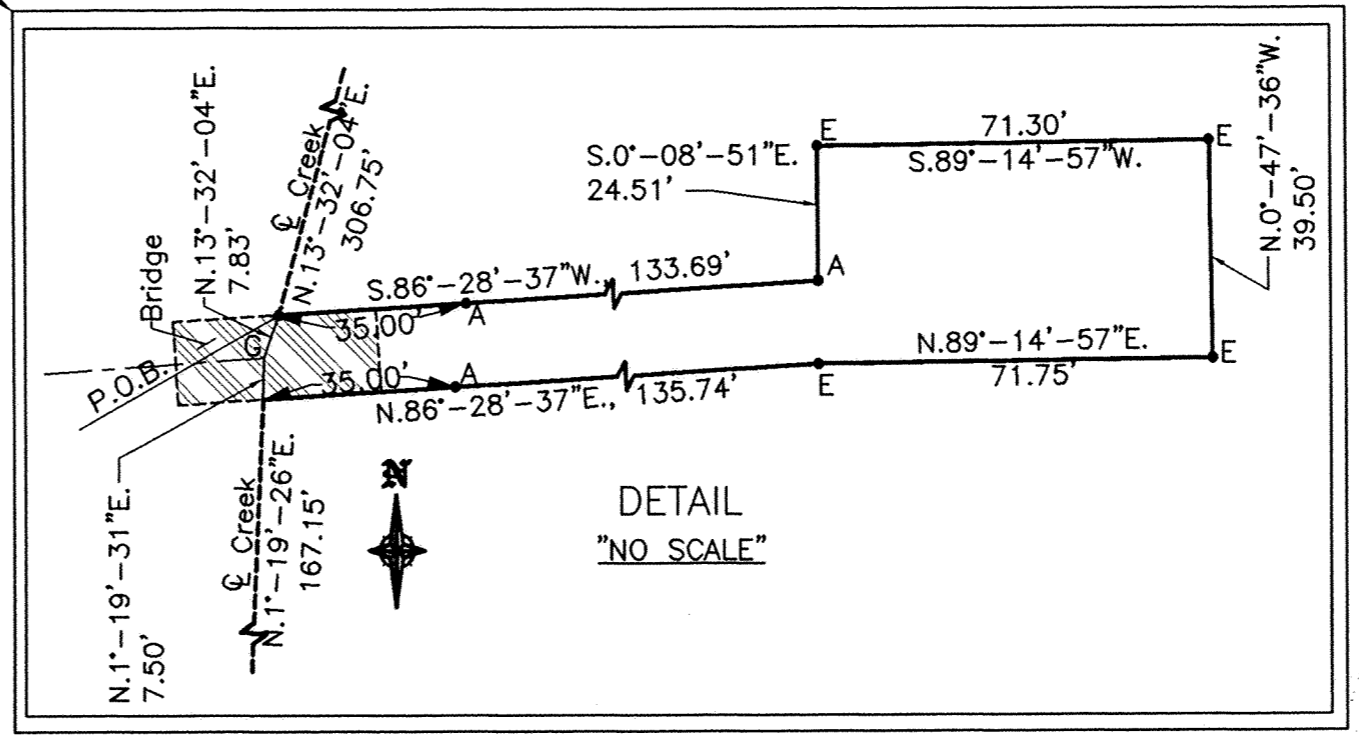
REVIEWED BY:
Michael C. Howbert
MICHAEL C. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 10/25/01

COURSE NUMBER	COURSE BEARING	COURSE LENGTH
1	N.13°-32'-04"E.	306.75'
2	N.77°-48'-12"E.	126.68'
3	N.48°-10'-02"W.	56.50'
4	N.41°-49'-58"E.	50.00'
5	S.48°-10'-02"E.	60.00'
6	N.59°-40'-15"E.	134.00'
7	N.60°-23'-14"E.	112.72'
8	N.49°-08'-01"E.	106.65'
9	N.08°-35'-28"E.	21.51'
10	S.62°-30'-23"E.	195.51'
11	N.30°-56'-51"E.	55.50'
12	S.48°-51'-19"E.	50.80'
13	S.30°-56'-51"W.	148.94'
14	CURVE DATA	
15	S.40°-04'-46"W.	65.07'
16	CURVE DATA	
17	N.86°-01'-46"E.	592.91'
18	N.02°-59'-24"W.	31.62'
19	N.86°-47'-08"E.	350.00'
20	N.03°-15'-57"W.	133.36'
21	N.47°-32'-22"E.	274.91'
22	N.22°-39'-01"E.	58.72'
23	S.67°-28'-11"E.	160.00'
24	S.88°-26'-23"E.	249.44'
25	S.14°-59'-06"W.	251.37'
26	S.03°-17'-05"E.	424.09'
27	S.86°-42'-55"W.	2105.75'
28	N.1°-19'-26"E.	167.16'
29	N.86°-28'-37"E.	135.74'
30	N.89°-14'-57"E.	71.75'
31	N.0°-47'-36"W.	39.50'
32	S.89°-14'-57"W.	71.30'
33	S.0°-08'-51"E.	24.51'
34	S.86°-28'-37"W.	133.69'

COURSE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
14	275.00'	43.83'	S.35°30'48"W., 43.78'
16	225.00'	88.99'	S.28°44'55"W., 88.41'



NOTE:
Deed 538, page 113 states:
Provided, however that the said premises herein conveyed continue to be used by the Grantees herein, as a sewage treatment plant; and, if such use should cease or be abandoned, then said premises shall revert to the Grantors herein, their heirs and assigns.



LEGEND
A - Set #5 rebar
B - MB at southwest corner of the NW¼ of Section 5
C - Existing PK nail
D - Existing concrete monument
E - Existing 1" pipe



Clayton T. Bacon
Clayton T. Bacon, Reg. Sur. #6179

This plat and description is based on an actual field survey performed on 2-2-00, by Clayton T. Bacon, P.S. #6179.

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

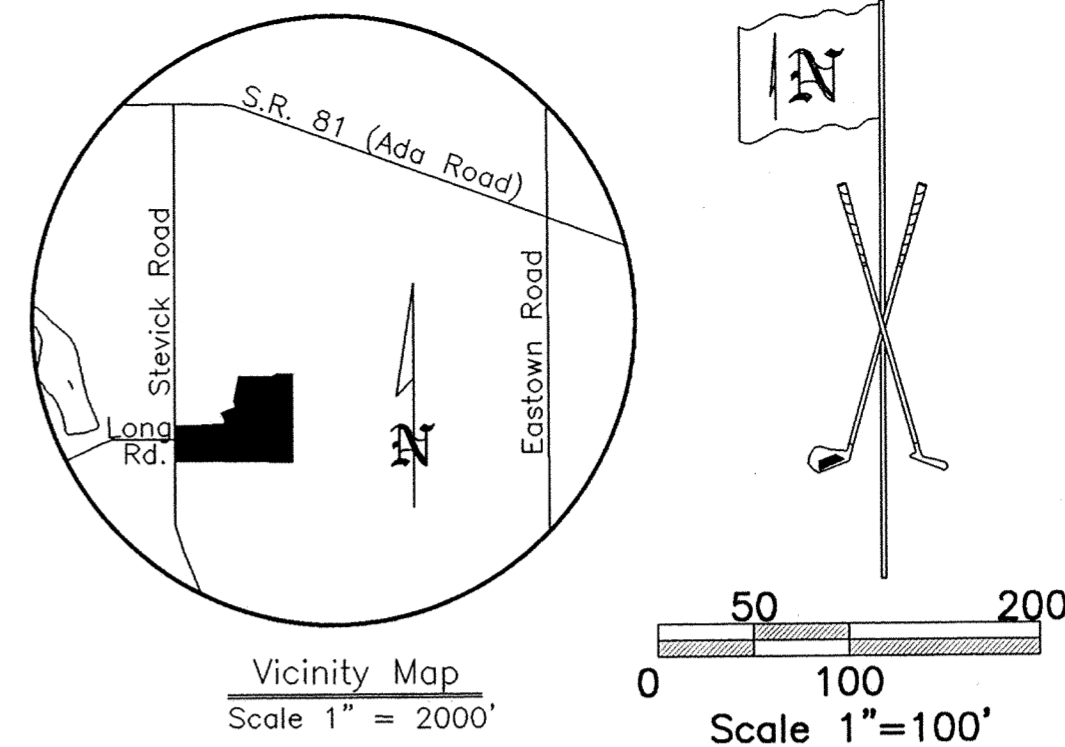
Indian Brook Estates No. 10
24.860 Acres, NW¼ Section 5, T4S, R6E
Shawnee Township, Allen County, Ohio

File: 1-00
Revisions: 10-08-01
10-24-01 REVIEW COMM.
Date: 9-7-01
Drawn: CAT

7 Oaks Subdivision No. 1

SW1/4 Section 28, T3S, R6E American Township, Allen County, Ohio

(Re-recorded to revise Dedicator's Certificate)



CENTERLINE CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C1	253.34'	90.09'	S.80°19'11"E., 89.62'
C2	500.00'	169.44'	S.79°50'23"E., 168.63'
C3	100.00'	168.41'	N.42°12'23"E., 149.20'
C4	4800.00'	397.91'	N.03°39'51"W., 397.79'
C5	4800.00'	187.33'	N.00°10'16"W., 187.32'
C8	250.00'	78.22'	N.02°31'25"E., 77.90'
C9	250.00'	90.39'	N.16°47'52"W., 89.90'
C12	100.00'	164.94'	N.41°23'59"E., 146.87'
C13	100.00'	159.72'	N.39°54'17"E., 143.28'

R/W COURSE NUMBER	BEARING	LENGTH
15	N.89°29'32"E.	366.85'
16	N.11°29'13"E.	74.93'
17	S.27°09'19"E.	39.15'
18	N.85°39'41"E.	107.34'
19	N.05°51'07"W.	114.10'
20	N.88°39'03"E.	147.99'
21	S.06°02'20"E.	104.72'
22	N.89°32'53"W.	285.31'
23	N.70°07'54"W.	99.96'
24	S.89°29'33"W.	367.38'

MONUMENTATION: All exterior corners of 7 Oaks Subdivision No. 1 are marked with a cast-in-place concrete monument, 30" deep, with a #5 rebar core, capped with a yellow plastic ID cap. All interior lot corners are marked with #5 rebars 30" long capped with yellow plastic ID caps. All street centerline intersections, P.C. & P.T.'s are marked with 2 1/2" Mag nails.

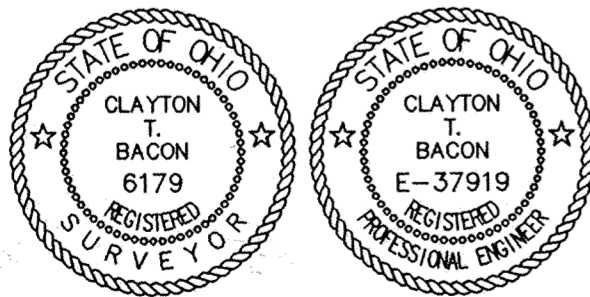
R/W CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C14	25.00'	42.23'	N.59°52'34"E., 37.38'
C15	225.00'	64.49'	N.03°16'35"E., 64.27'
C16	275.00'	54.92'	S.21°26'03"E., 54.83'
C17	25.00'	34.31'	S.55°01'33"E., 31.68'
C18	75.00'	119.79'	N.39°54'17"E., 107.46'
C19	125.00'	206.17'	N.41°23'58"E., 183.58'
C20	25.00'	38.99'	N.43°58'32"E., 35.15'
C21	4830.00'	114.08'	N.00°01'24"W., 114.07'
C22	4770.00'	606.42'	S.02°23'49"E., 606.01'
C23	130.00'	218.93'	S.42°12'23"W., 193.96'
C24	530.00'	179.61'	N.79°50'23"W., 178.75'
C25	223.34'	79.42'	N.80°19'09"W., 79.01'
C26	283.34'	92.84'	S.81°07'16"E., 92.42'
C27	25.00'	35.61'	S.29°19'21"E., 32.68'
C28	470.00'	159.27'	S.79°50'24"E., 158.51'
C29	70.00'	117.89'	N.42°12'23"E., 104.44'
C30	4830.00'	350.59'	N.03°57'34"W., 350.52'
C31	25.00'	39.04'	N.46°36'52"W., 35.19'
C32	75.00'	123.70'	S.41°23'59"W., 110.15'
C33	125.00'	199.65'	S.39°54'17"W., 179.10'
C34	25.00'	35.86'	S.44°34'23"W., 32.86'
C35	275.00'	38.41'	S.07°29'08"W., 38.38'

LEGEND

- A - Monument box at the northwest corner of the SW1/4 of Section 28
- B - PK nail (set)
- C - Cast-in-place concrete monument w/#5 rebar core and cap.
- * - #5 Rebar (set)
- D - PK nail (set)
- E - 1" Steel Rod at the P.I. of Stevick Road set in 1962 by Allen County Engineer.

Mercer Development Inc.
Part Parcel No. 36-2800-03-005.000
20.819 Ac of Mercer Development plus Laux Construction land totals 21.098 Ac. of which 0.279 Ac. is in Stevick Rd. R/W and 3.799 Ac. will be in new road R/W D.V. 863-615

NOTE: Easements shown on this plat are shown in greater detail in the construction plans on file at the County Engineer's office.



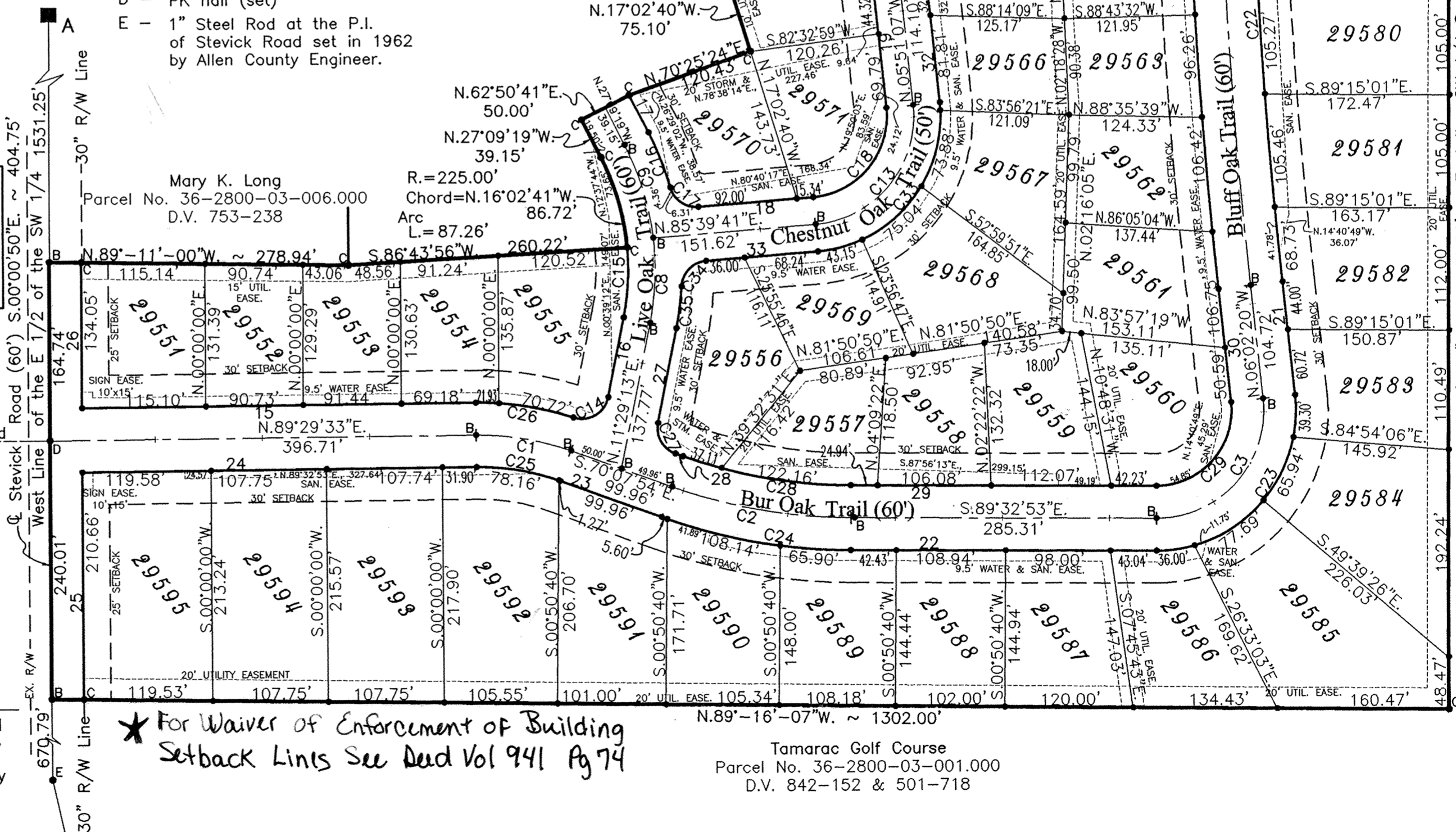
Clayton T. Bacon

Clayton T. Bacon, Reg. P.E. #37919
Reg. P.S. #6179

DATE: 10-23-01

11-6-01

This description and plat is based on an actual field survey performed on 10-23-01, by Clayton T. Bacon.



Mercer Development Inc.
Part Parcel No. 36-2800-03-005.000
D.V. 863-615

Tamarac Golf Course
Parcel No. 36-2800-03-001.000 D.V. 842-152 & 501-718

7 Oaks Subdivision No. 1

21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

Revisions: 10-09-01

10-23-01 REVIEW COMM.

11-06-01 Dedicator's Cert.

Drawn: CAT Date: 9-17-01

File: 132-99

Prepared By

Bacon & Associates, L.L.C.

750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1

DESCRIPTION

Being a parcel of land in the East 1/2 of the SW¼ of Section 28, T3S, R6E, American Township, Allen County, Ohio, more particularly described as follows:

Beginning at a set PK nail on the west line of the East 1/2 of the SW¼ of Section 28 (centerline Stevick Road), S.00°00'50"E. (assumed bearing), 1531.25' from the monument box at the northwest corner of the SW¼, thence the following courses;

1. S.89°-11'-00"E., 278.94' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. N.86°-43'-56"E., 260.22' to a cast concrete monument;
3. Northwesterly nontangentially on a curve to the left, 87.26' to a cast concrete monument, at the P.T., said curve having a radius of 225.00' and a chord of N.16°02'41"W., 86.72';
4. N.27°-09'-19"W., 39.15' to a cast concrete monument;
5. N.62°-50'-41"E., 50.00' to a cast concrete monument;
6. N.70°-25'-24"E., 120.43' to a cast concrete monument;
7. N.17°-02'-40"W., 75.10' to a cast concrete monument;
8. N.11°-35'-48"E., 278.40' to a cast concrete monument;
9. S.89°-20'-46"E., 374.51' to a cast concrete monument;
10. N.51°-22'-38"E., 77.84' to a cast concrete monument;
11. S.89°-15'-01"E., 186.25' to a cast concrete monument on the east line of the SW¼ of Section 28;
12. S.00°-28'-36"W. on said east line, 1000.00' to a cast concrete monument;
13. N.89°-16'-07"W., 1302.00' to a set PK nail on the west line of the E½ of the SW¼ of Section 28 (centerline Stevick Road), passing over a cast concrete monument at 1272.00';
14. N.00°-00'-50"W. on the centerline of Stevick Road, 404.75' to the POINT OF BEGINNING, passing over a set PK nail at 240.01' at the intersection with the centerline of Long Road.

The above-described parcel contains 21.098 acres of which 0.279 acre is in Stevick Road R/W & 3.799 Ac. in new road R/W, more or less subject to all legal easements of record at the time of recording of this document.

Prior deed reference, Mercer Development Inc. (D.V. 863-615) and Laux Construction Inc. (D.V. 885-257).

This description and plat is based on an actual field survey performed on 9-12-1999, by Clayton T. Bacon, P.S. #6179.

DEDICATION

Rick J. Uppenkamp, Trustee under a trust agreement dated January 12, 1999 as amended sole member of Mercer Consolidated L.L.C., General Partner of Mercer L.P. an Ohio Limited Partnership, being the owner of the described premises, hereby voluntarily consents to the execution of said plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

OWNER

Rick J. Uppenkamp, Trustee
Rick J. Uppenkamp Trustee

WITNESS

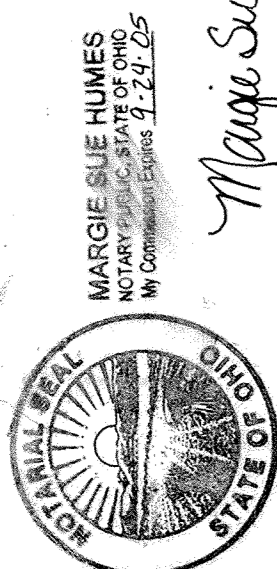
Clayton T. Bacon
Clayton T. Bacon

ACKNOWLEDGEMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNER who acknowledged that he signed the hereon plat and the signing thereof was his free act and deed.

IN WITNESS thereof, I affix my hand and seal this 6 day of Nov, 2001.



Margie Sue Humes

DEDICATION

Laux Construction Inc., being the owner of the described premises, hereby voluntarily consents to the execution of said plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

OWNER

Laux Construction Inc.

Michael Laux President
Michael Laux President

WITNESS

Daniel Laux Secretary-Treasurer
Daniel Laux Secretary-Treasurer

Clayton J. Bacon
Clayton J. Bacon

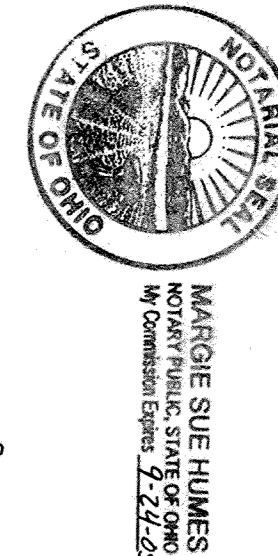
ACKNOWLEDGEMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.

IN WITNESS thereof, I affix my hand and seal this 6 day of Nov, 2001.

Margie Humes
Notary Public



APPROVAL OF REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and except this plat this 07 day of NOVEMBER, 2001.

John M. Meyer
Executive Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATE

Filed for record this 7th day of Nov, 2001, at 10:26 AM o'clock in the office of the County Recorder and recorded in Plat Book 24, on Page 102.
82.80

Edward P. Keil Jr
Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 7th day of November, 2001.

W. Deans Jurek
Auditor, Allen County, Ohio

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and accurate survey performed by me in September of 1999. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., P.S. 6179 will be set on all property corners of interior lots and cast-in-place concrete monuments with a 30" long #5 rebar core with a plastic I.D. cap on all subdivision boundary corners.



Clayton T. Bacon
Clayton T. Bacon, P.S. 6179
Bacon & Associates, L.L.C. 11-6-01

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1
21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

Revisions:	10-09-01
	10-23-01 REVIEW COMM.
Drawn:	CAT
Date:	9-17-01
Dedicator's Cert.:	
File:	132-99

7 Oaks Subdivision No. 1

SUBDIVISION RESTRICTIONS & COVENANTS

★ For Waiver of Enforcement of Building Setback lines See Deed Vol 941 Pg 74

7 OAKS SUBDIVISION No. 1
SUBDIVISION RESTRICTIONS & COVENANTS

As a part of a general plan for development of the real estate in the residential area on the foregoing plat, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, the restrictions, covenants, reservations, easements, liens and charges hereinafter set forth, each and all of which is and are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property and each parcel thereof, and shall apply to and be binding upon the purchasers and successors in interest, and the restrictions, covenants, reservations, easements, liens and charges applicable to each tract, lot or parcel shall inure to the benefit of and be enforceable by the purchasers of every tract, lot or parcel and their successor in interest.

All lots included in The 7 Oaks Subdivision - Phase 1, SW 1/4, Sec. 28, T3S, R6E American Township, Allen County, Ohio, are hereby made subject to the following covenants and restrictions, not recited on the plat, forms, or corporations claiming under them:

1. Lots or building sites shall be used and occupied solely and exclusively for private residential purposes by a single-family residence.
2. The finished living space overall for a one-story ranch dwelling exclusive of open porches and garages, erected upon all of the lots in 7 Oaks Subdivision shall not be less than 1850 square feet and for a 2 story dwelling it may not be less than 2250 square feet. All residences must have a two car attached garage with a minimum of 500 square feet and front of home must be brick, stucco or stone. All foundations shall be poured concrete. No building, structures or parts thereof shall be permitted to be moved onto said lots and only new construction, using new materials only shall be permitted on said lots. The dwelling must be completed within a one-year period from the start of construction.
3. No structure shall be erected on any lot in said subdivision until the final building plans and specifications have been approved, in writing, by the developer or his agents, (Currently Michael and Daniel Laux). The developer reserves the right to approve contractors and suppliers.
4. The front of the residence, or a part thereof, excluding open porches, constructed on the lot in this subdivision shall be located so that it conforms to the platted setback line. The owners of any residence constructed upon any lot or building site, in this subdivision shall landscape such lot of building site in such a manner that the value of such landscaping, including lawn cost, is not less than 3% of the fair market value of the residence constructed on said lot or building site. Landscaping shall be completed within one year of occupancy of home.
5. No building shall be erected, placed or altered on any lot or building site until construction plans and specifications and a plot plan showing the location of the structure shall have been approved by the developer or his agents as to construction materials, harmony of exterior design with the existing structures and as to location with respect to topographic and finished grade elevation.
6. All driveways shall be constructed and completed with the residence and shall be constructed in an attractive permanent fashion. All driveways must be constructed of finished concrete as approved by the developer or his agents.
7. All lot owners will construct a 4 ft. sidewalk 1' inside the road right-of-way upon completion of the residence, in accordance with the Allen County Construction Standards.
8. All utility services to homes must be underground. No structure, trailer, basement, tent, shed, garage, barn or other outbuildings shall be used on any lot at any time either as a temporary or permanent structure.
9. No noxious or offensive activity shall be carried on or upon any lot in said above-described plat, nor shall anything be done thereon which may be or may become an annoyance or nuisance to the neighborhood.
10. It shall be the duty of the property owner to keep the property including lawns, shrubbery and trees in a neat and clean condition. Such duty for lawn and landscaping maintenance shall extend to the edge of the paved area of the street or road right-of-way. All property owners with lots located on the property line bordering the golf course must keep all trees located on that property line trimmed to a height of no less than 12 ft.
11. The developer or his agents reserves the right to grant easements for the construction and operation of electric light, telephone lines, gas piping, storm water sewers, cable television, waterlines and other utilities, public or private in and upon the property within the platted utility easement areas until such services are granted to all properties in the 7 Oaks Subdivision.
12. No animals, livestock or poultry of any kind shall be raised, bred or kept on any lots in said plat except dogs, cats or other household pets, not to exceed a total of two (2) pets, providing they are not kept; bred or maintained for any commercial purpose. Kennels are hereby strictly forbidden.
13. No lot in said subdivision shall be used or maintained as a dumping ground for rubbish or trash, including grass and landscape trimmings.
14. No trucks, semi trailers, boats, trailers, motor homes, vans or other chattels of a similar nature shall be stored or maintained on the premises unless the same be parked and kept in a garage.
15. There shall be no television or radio antennas or discs permitted in the 7 Oaks Subdivision unless the same is approved by the developer or his agents and then they will only be permitted in the rear of the house.
16. All houses will be designed such that the electric and gas meters, as well as the air conditioning condensers, will be located in the rear lot areas unless approved by the developer or his agents. Landscaping screening and decorative wood fences must be provided as required to screen these devices and pieces of equipment.
17. Only split rail type fences or hedges not to exceed 4 feet in height above ground level shall be erected or planted on said building site and shall not extend closer to the street than the rear of the house. A privacy fence may be used around a pool area. It must be a minimum of 6 feet in height and of wood construction or other suitable material as approved by the agents of the developer.
18. These covenants, restrictions, and limitations shall be binding on all parties hereto and all land owners of lots in said subdivision for a period of twenty (20) years from the date of recording, after which time such covenants, restrictions and limitations shall automatically extend for successive periods of ten (10) years each. These restrictions can be amended in whole or in part in a writing, signed by a majority of the owners of the lots in the Subdivision. Such amendments shall be recorded in the Recorder's office.
19. No lot split shall be permitted which would result in the location of a dwelling to be situated on a parcel of land comprised of less than the recorded plots dimensions.
20. Enforcement of the terms of these restrictions shall vest in each of the lot owners of this development. Said lot owners may, at their discretion, join together to enforce any and all of the terms of this agreement. Enforcement shall be proceedings in law or in equity against any person or persons or legal entity violating or attempting to violate any covenant, restrictions or limitations. These remedies are available to lot owner of said above-described premises who may seek both a restrain of such violation and damages thereof.
21. For purposes of these restrictive covenants the term building site shall refer to one or more lots as shown on the plat of 7 Oaks Subdivision.
22. Easements and rights-of-way are reserved in and over lots shown on the plat for construction, operation, and maintenance of poles, wires, or other facilities therewith for the transmission of electricity, telephone, drainage facilities, construction, operation and maintenance of drains, sewers, and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished, or performed in any method above or beneath the surface of the ground. Easements shown upon the plat may be used by utility companies and public agencies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, trees or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.
23. The 7 Oaks drainage detention pond is to be petitioned for maintenance by the owners as shown on the Dedication Certificate on page 2 of 4 of this Final Plat. All fee holders and all receiving title to the fee through them are subject to payment of drainage maintenance fees assessed or to be assessed by the county pursuant to Ohio Revised Code, Sections 6131 and 6137. A specific and distinct ditch maintenance fund shall be created as per the referenced sections of the Ohio Revised Code for this project.
24. All new house construction within five years of the recording of this plat shall be heated with natural gas.
25. All sanitary sewer service lateral connections to the main sewer shall be procured through the developer.

Prepared By

Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1

21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

File: 132-99

Revisions:	10-09-01
	10-23-01 REVIEW COMM.
	11-06-01 Dedicator's Cert.
Drawn:	CAT Date: 9-17-01

7 Oaks Subdivision No. 1

SURVEY OF DEDICATOR'S LAND

DESCRIPTION

Being a parcel of land in the East 1/2 of the SW 1/4 of Section 28, T3S, R6E, American Township, Allen County, Ohio, more particularly described as follows:

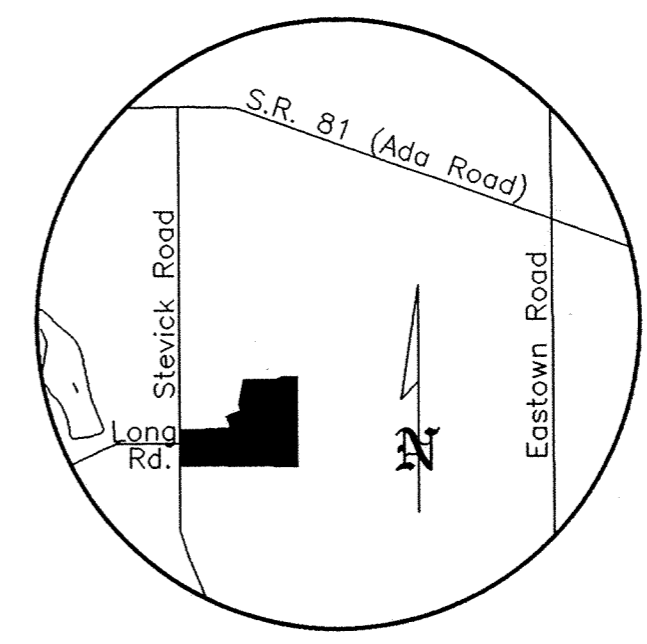
Beginning at a set PK nail on the west line of the East 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), S.00°00'50"E. (assumed bearing), 1531.25' from the monument box at the northwest corner of the SW 1/4, thence the following courses;

1. S.89°-11'-00"E., 278.94' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. N.86°-43'-56"E., 260.22' to a cast concrete monument;
3. Northwestly nontangentially on a curve to the left, 87.26' to a cast concrete monument, at the P.T., said curve having a radius of 225.00' and a chord of N.16°02'41"W., 86.72';
4. N.27°-09'-19"W., 39.15' to a cast concrete monument;
5. N.62°-50'-41"E., 50.00' to a cast concrete monument;
6. N.70°-25'-24"E., 120.43' to a cast concrete monument;
7. N.17°-02'-40"W., 75.10' to a cast concrete monument;
8. N.11°-35'-48"E., 278.40' to a cast concrete monument;
9. S.89°-20'-46"E., 374.51' to a cast concrete monument;
10. N.51°-22'-38"E., 77.84' to a cast concrete monument;
11. S.89°-15'-01"E., 186.25' to a cast concrete monument on the east line of the SW 1/4 of Section 28;
12. S.00°-28'-36"W. on said east line, 1000.00' to a cast concrete monument;
13. N.89°-16'-07"W., 1302.00' to a set PK nail on the west line of the E 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), passing over a cast concrete monument at 1272.00';
14. N.00°-00'-50"W. on the centerline of Stevick Road, 404.75' to the POINT OF BEGINNING, passing over a set PK nail at 240.01' at the intersection with the centerline of Long Road.

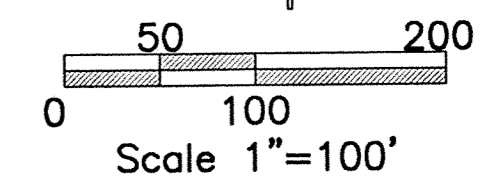
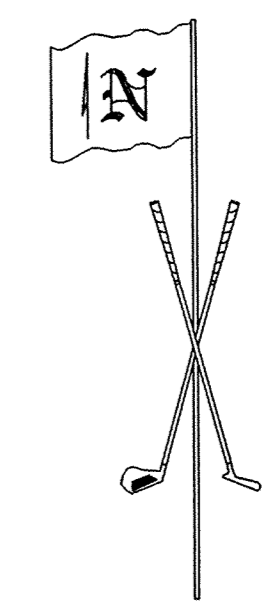
The above-described parcel contains 21.097 acres of which 0.279 acre is in Road R/W, more or less subject to all legal easements of record at the time of recording of this document.

Prior deed reference, Mercer Development Inc. (D.V. 863-615) and Laux Construction Inc. (D.V. 885-257).

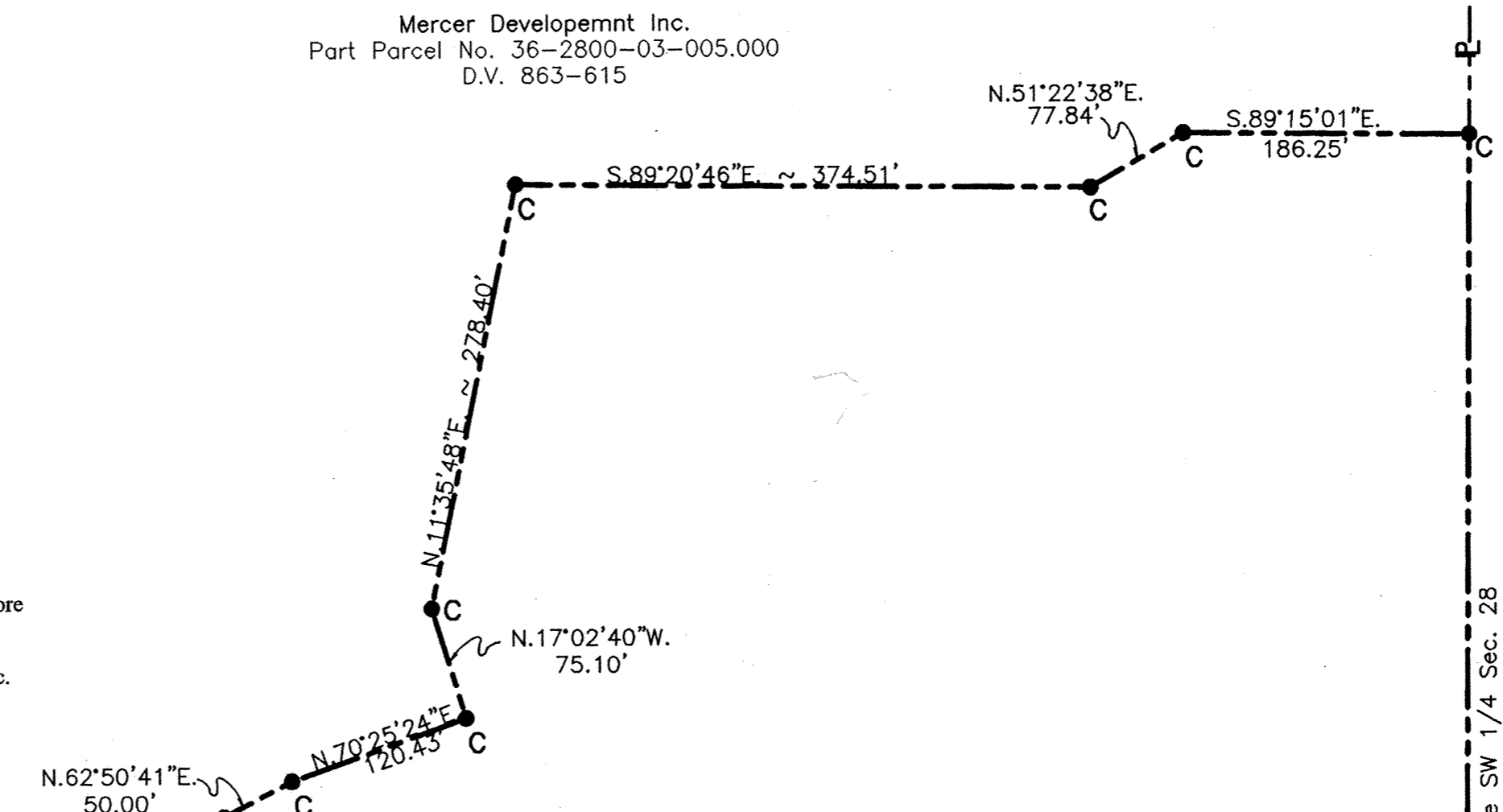
This description and plat is based on an actual field survey performed on 9-12-1999, by Clayton T. Bacon, P.S. #6179.



Vicinity Map
Scale 1" = 2000'



Mercer Development Inc.
Part Parcel No. 36-2800-03-005.000
D.V. 863-615



Mary K. Long
Parcel No. 36-2800-03-006.000
D.V. 753-238

N.62°50'41"E. 50.00'
N.27°09'19"W. 39.15'
N.70°25'24"E. 120.43'
R=225.00'
Chord=N.16°02'41"W., 86.72'
Arc L=87.26'

Mercer Development Inc.
Part Parcel No. 36-2800-03-005.000
20.819 Ac of Mercer Development plus Laux Construction
land totals 21.098 Ac. of which 0.279 Ac. is in Stevick Rd.
R/W and 3.799 Ac. will be in new road R/W
D.V. 863-615

Tamarac Golf Course
Parcel No. 36-2800-03-001.000
D.V. 842-152 & 501-718

REVIEWED BY:
M. H. H.
MICHAEL L. HOWERT, P.S.
ALLEN COUNTY ENGINEER
DATE: 11/7/01

LEGEND

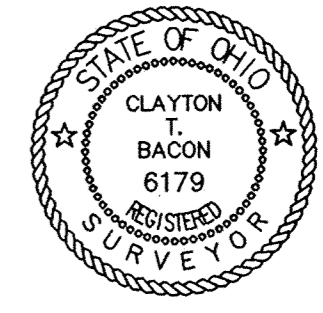
- A - Monument box at the northwest corner of the SW 1/4 of Section 28
- B - PK nail (set)
- C - Cast concrete monument (set)
- D - PK nail (set)
- E - 1" Steel Rod at the P.I. of Stevick Road set in 1962 by Allen County Engineer.

Stevick Road (60') N.00°00'50"W. (assumed bearing) ~ 404.75'
West Line of the E 1/2 of the SW 1/4 of Section 28 ~ 164.74'
30' R/W
240.01'

Laux Construction Inc.
Parcel No. 36-2800-03-004.000
D.V. 885-257

Tamarac Golf Course
Parcel No. 36-2800-03-001.000
D.V. 842-152 & 501-718

Clayton T. Bacon
Clayton T. Bacon, Reg. P.S. #6179



DATE: 10-23-01
11-6-01

This description and plat is based on an actual field survey performed on 10-23-01, by Clayton T. Bacon.

Prepared By
Bacon & Associates, L.L.C.
750 N. Easttown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1
21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

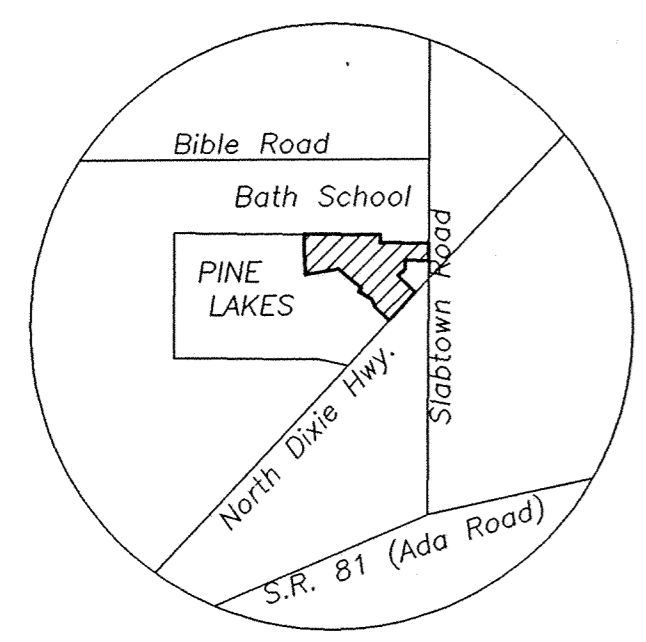
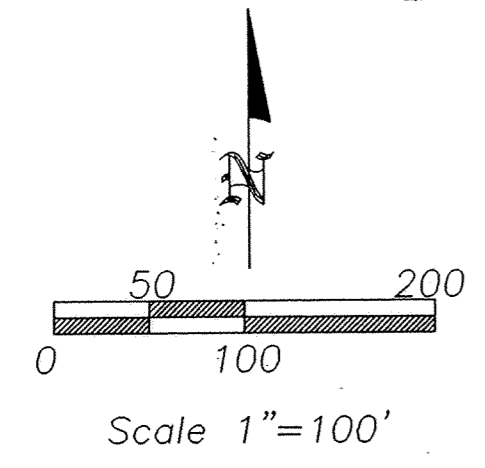
File: 132-99

Revisions:	10-09-01
	10-23-01 REVIEW COMM.
	11-06-01 Dedicator's Cert.
Drawn:	CAT Date: 9-17-01

Pine Lakes Subdivision No. 1

NE1/4 Section 21, T3S, R7E Bath Township, Allen County, Ohio

(Re-recorded to revise Dedicator's Certificate)



MONUMENTATION: All exterior corners of Pine Lakes Subdivision No. 1 are marked with a cast-in-place concrete monument, 30" deep, with a #5 rebar core, capped with a yellow plastic ID cap. All interior lot corners, PC's, PT's and PI's are marked with #5 rebars 30" long and capped with yellow ID caps. All street centerline intersections, P.C. & P.T.'s are marked with 2 1/2" Mag nails.

R/W CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C7	35.00'	55.24'	N.44°22'18"W., 49.38'
C8	220.00'	183.17'	S.66°54'37"W., 177.92'
C9	220.00'	101.21'	S.29°52'43"W., 100.32'
C10	430.00'	115.86'	S.24°25'05"W., 115.51'
C11	370.00'	99.69'	N.24°25'05"E., 99.39'
C12	25.00'	36.96'	N.25°39'01"W., 33.68'
C13	280.00'	140.49'	N.53°37'52"W., 139.02'
C14	220.00'	238.98'	N.70°22'12"W., 227.40'
C15	380.00'	62.25'	S.83°12'13"W., 62.18'
C16	320.00'	64.04'	N.84°14'38"E., 63.93'
C17	280.00'	304.15'	S.70°22'12"E., 289.42'
C18	220.00'	110.39'	S.53°37'32"E., 109.23'
C19	25.00'	41.15'	N.64°51'02"E., 36.66'
C20	280.00'	123.92'	N.30°22'48"E., 122.91'
C21	280.00'	233.12'	N.66°54'38"E., 226.45'

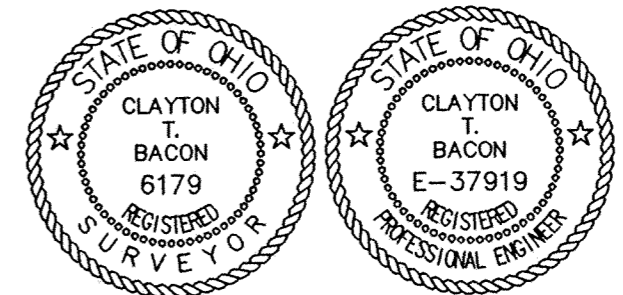
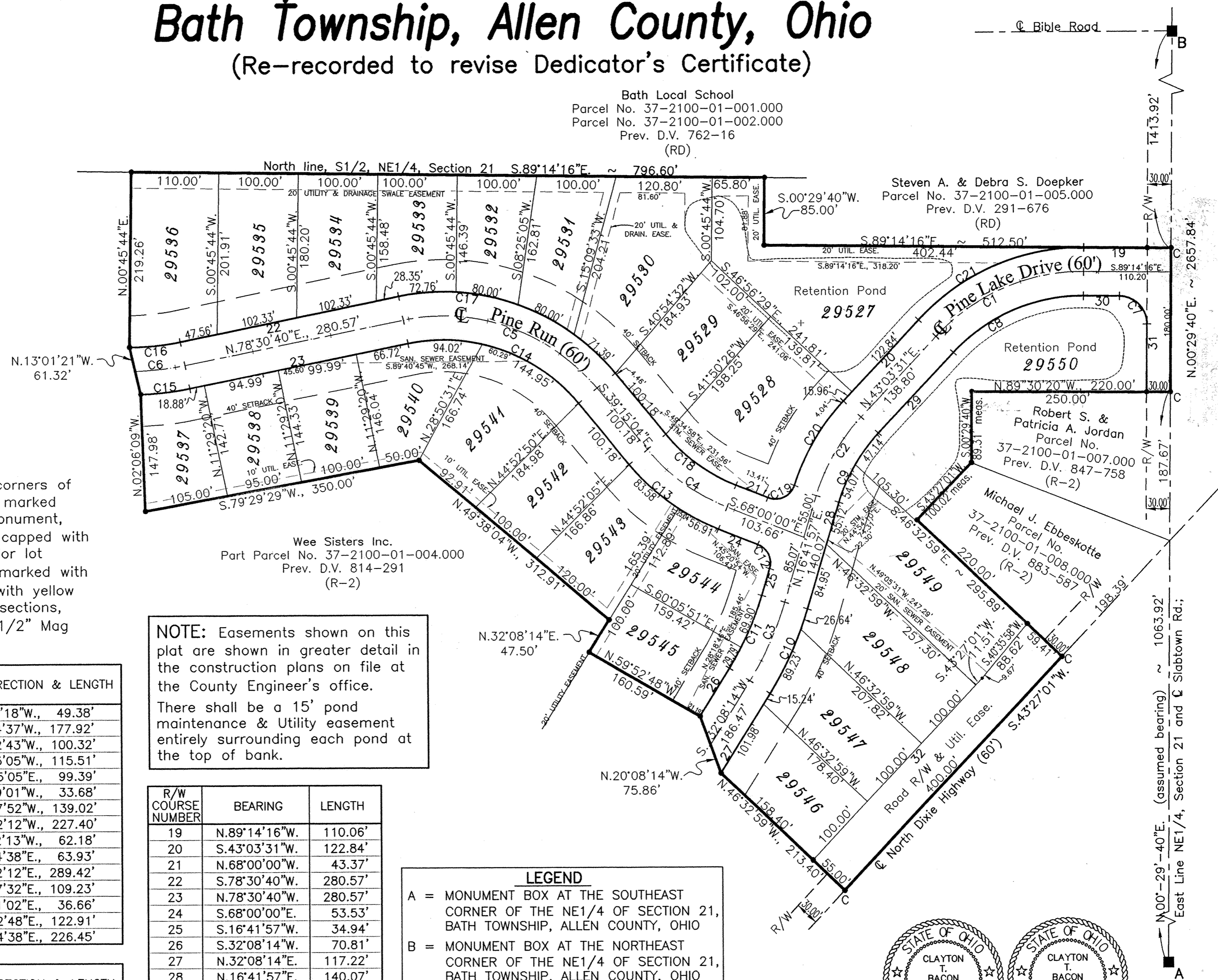
CENTERLINE CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C1	250.00'	208.15'	N.66°54'38"E., 202.19'
C2	250.00'	115.01'	N.29°52'44"E., 114.00'
C3	400.00'	107.78'	N.24°25'26"E., 107.45'
C4	250.00'	125.44'	S.65°07'57"E., 124.13'
C5	250.00'	271.56'	S.41°20'38"E., 258.41'
C6	350.00'	63.14'	N.83°40'43"E., 63.05'

NOTE: Easements shown on this plat are shown in greater detail in the construction plans on file at the County Engineer's office. There shall be a 15' pond maintenance & Utility easement entirely surrounding each pond at the top of bank.

R/W COURSE NUMBER	BEARING	LENGTH
19	N.89°14'16"W.	110.06'
20	S.43°03'31"W.	122.84'
21	N.68°00'00"W.	43.37'
22	S.78°30'40"W.	280.57'
23	N.78°30'40"W.	280.57'
24	S.68°00'00"E.	53.53'
25	S.16°41'57"W.	34.94'
26	S.32°08'14"W.	70.81'
27	N.32°08'14"E.	117.22'
28	N.16°41'57"E.	140.07'
29	N.43°03'31"E.	138.80'
30	S.89°14'16"E.	45.51'
31	S.00°29'40"W.	85.30'
32	S.43°27'01"W.	311.49'

PINE LAKES SUBDIVISION No. 1
Part Parcel No. 37-2100-01-004.000
14.489 Ac. of which 2.356 Ac will be in new road R/W and 0.634 Ac is in existing road R/W
Prev. D.V. 814-291
(R-2)

LEGEND
A = MONUMENT BOX AT THE SOUTHEAST CORNER OF THE NE1/4 OF SECTION 21, BATH TOWNSHIP, ALLEN COUNTY, OHIO
B = MONUMENT BOX AT THE NORTHEAST CORNER OF THE NE1/4 OF SECTION 21, BATH TOWNSHIP, ALLEN COUNTY, OHIO
C = MAG NAIL (SET)



Clayton T. Bacon
Clayton T. Bacon, Reg. P.S. #6179 DATE: 10-25-01
11-6-01

This description and plat is based on an actual field survey performed on 6-4-98, by Clayton T. Bacon.

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Pine Lakes Subdivision No. 1
14.489 Acres, NE 1/4, Section 21, T3S, R7E
Bath Township, Allen County, Ohio

File:	46-98
Revisions:	10-08-01
	10-25-01 REVIEW COMM.
	11-06-01 Dedicator's Cert.
Drawn:	CAT Date: 9-25-01

Pine Lakes Subdivision No. 1

DESCRIPTION

Being a parcel of land in the NE¼ of Section 21, T3S, R7E, Bath Township, Allen County, Ohio., more particularly described as follows:

Commencing for reference at the monument box at the southeast corner of the NE¼ of Section 21, thence N.0°-29'-40"E. (assumed bearing) on the east line of the NE¼, (centerline of Slabtown Road), 1063.92' to a set PK nail, the POINT OF BEGINNING of the parcel to be described, thence the following courses;

1. N.89°-30'-20"W., 250.00' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. S.0°-29'-40"W., 89.31' to a cast concrete monument;
3. S.43°-27'-01"W., 100.02' to a cast concrete monument;
4. S.46°-32'-59"E., 250.00' to a set PK nail on the centerline of N. Dixie Highway, passing over a set #5 rebar at 190.59';
5. S.43°-27'-01"W. on the centerline of N. Dixie Highway, 400.00' to a set PK nail;
6. N.46°-32'-59"W., 213.40' to a cast concrete monument, passing over a cast concrete monument at 55.00';
7. N.20°-08'-14"W., 75.86' to a cast concrete monument;
8. N.59°-52'-48"W. 160.59' to a cast concrete monument;
9. N.32°-08'-14"E. 47.50' to a cast concrete monument;
10. N.49°-38'-04"W., 312.91' to a cast concrete monument;
11. S.79°-29'-29"W., 350.00' to a cast concrete monument;
12. N.2°-06'-09"W., 147.98' to a cast concrete monument;
13. N.13°-01'-21"W., 61.32' to a cast concrete monument;
14. N.0°-45'-44"E., 219.26' to a cast concrete monument on the north line of the S½ of the NE¼ of Section 21;
15. S.89°-14'-16"E. on said north line, 796.60' to a cast concrete monument;
16. S.0°-29'-40"W., 85.00' a cast concrete monument;
17. S.89°-14'-16"E., 512.50' to a set PK nail on the east line of the NE¼, passing over a cast concrete monument at 482.50';
18. S.0°-29'-40"W. on said east line, 180.00' to the POINT OF BEGINNING.

The above-described parcel contains 14.489 acres, more or less, subject to all legal highways and easements of record at the time of recording of this document.

DEDICATION

Wee Sisters Inc., being the owner of the described premises, hereby voluntarily consents to the execution of this plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever. Easements shown on the adjoining plat are shown in greater detail in the construction plans on file at the County Engineer's office.

OWNER
Wee Sisters Inc.

Pamela J. Hurley, Pres
 Pamela J. Hurley, President

WITNESS

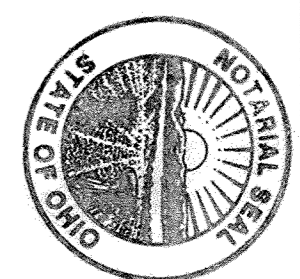
Clayton T. Bacon
Paula Lippert

ACKNOWLEDGMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNER who acknowledged that he signed the hereon plat and the signing thereof was his free act and deed.
IN WITNESS thereof, I affix my hand and seal this 6 day of Nov, 2001.

Margie Sue Humes
 Notary Public



APPROVAL OF REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and accept this plat this 07 day of November, 2001.

John M. Maguire
 Executive Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATE

Filed for record this 7th day of Nov, 2001 at 10:27 AM o'clock in the office of the County Recorder and recorded in Plat Book 24, on Page 106.

82.80

Edward P. Kent Jr
 Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 7th day of November, 2001.

W. Dean French
 Auditor, Allen County, Ohio

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and accurate survey performed by me in January of 2000. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., P.S. 6179 will be set on all property corners.



Clayton T. Bacon
 Clayton T. Bacon, P.S. 6179
 Bacon & Associates, L.L.C. 11-6-01

Prepared By
Bacon & Associates, L.L.C.
 750 N. Eastown Rd., Elida, Ohio 45807
 Office: (419) 999-3756 - Fax: (419) 999-2523

Pine Lakes Subdivision No. 1
 14.489 Acres, NE 1/4, Section 21, T3S, R7E
 Bath Township, Allen County, Ohio

File: 46-98

Revisions:	10-08-01
	10-25-01 REVIEW COMM.
	11-06-01 Dedicator's Cert.
Drawn:	CAT Date: 9-25-01

Pine Lakes Subdivision No. 1

SUBDIVISION RESTRICTIONS & COVENANTS

**Pine Lakes Subdivision – PHASE 1
SUBDIVISION RESTRICTIONS & COVENANTS**

As part of general plan for the development of real estate described as follows:

Situated in the Township of Bath, County of Allen and State of Ohio, to-wit;

See the attached legal description Incorporated herein as if fully rewritten. As a residential area, and for the common advantage and benefit of the purchasers of any of the lots taken from said described real estate, the restrictions, covenants, reservations, liens, and charges hereinafter set forth, each owner thereof, shall inure to pass with said property and each and every parcel thereof, and shall apply to and be upon the purchasers and successors in interest; and the restrictions, covenants, reservations, easements, liens, and charges applicable for each tract, lot or parcel shall inure to the benefit of and be enforceable by the purchaser or purchasers of every other tract, lot or parcel and their successors in interest.

The tract, lots and parcels of real estate described above shall be held, transferred, sold and conveyed subject to the following conditions, restrictions, easements, liens and charges, only if the deeds conveying same contain a statement making the tract, lots and parcels of real estate conveying subject to the Pine Lakes Subdivision Restrictions, and refer specifically to these Pine Lakes Subdivision Restrictions.

1. The words (lots) or (building site) shall be construed to mean and shall refer to one or more lots shown on the foregoing plat.

Architectural Approval

No residential dwelling shall be erected on any lot unless the building plans, specifications and plot plans, showing location of the structures, have been approved by Developer. Developer shall give notice of approval or disapproval within fourteen (14) days after receipt of such plans and specifications. Developer agrees that the approval of such plans and specifications shall not be unreasonably withheld.

Criteria considered in granting approval for residential structures shall be conformity with commonly accepted building standards, harmony of external design and color with existing homes in the area designated as Pine Lakes Subdivision and proposed height and foundation in relationship to ground elevation.

Construction of any out-building or fences shall be only if such items are designated to be limited in nature, compatible with surrounding architecture and of no apparent detriment to the overall looks of the area designated as Pine Lakes Subdivision.

After the Developer has determined the need of an Architectural Committee there will be three (3) individuals chosen, who are owners of the lots in the Pine Lakes Subdivision and shall be appointed by the Developer. The Architectural Committee shall assume full responsibility for any out-buildings or fences that are to be constructed on the referred land. In case of death or resignation of any committee member originally appointed, the Developer shall have the power to appoint a new member to fill the vacancy.

The following material will be provided by the lot owner to the developer prior to the construction of a dwelling:

- a. A formal site plan with grade heights and landscaping lay-outs;
- b. A formal set of floor plans;
- c. A formal set of building elevations listing materials and specifications;
- d. A formal set of building specifications;

In the event Developer or Architectural Committee, as the case may be, fails to approve or reject said plans and specifications within thirty (30) days after submitted to them, then such approval shall not be required, provided the design is in said plat and confirms to all other covenants, restrictions and conditions set forth herein.

Construction Requirements

Every house must be constructed by an established building contractor engaged in the building business full time and approved by the Developer or Architectural Committee, as the case may be.

Each dwelling shall be constructed of new materials and in no case shall an existing structure be moved onto any lot.

2. No residential structure shall be erected on any building site, the habitable floor area of which, exclusive of basement, open porches, garages, shall be less than 1800 square feet for a two-story structure with the first floor being no less than 1200 square feet. The same square footage for two-story residences shall be required on tri-level structures, and the main floor plus upper level plus one half of the finished lower level shall be added to obtain the square footage. Ranch-style structures shall be no less than 1800 square feet.

3. Said building sites shall be used and occupied solely and exclusively for private residential purpose by a single family, including family servants.

4. No buildings or structures, other than one family residences, shall exceed two and one-half stories in height, together with customary out-buildings such as private garages, home workshops and home greenhouses, incidental to the residential use as such within the designated building square. Any out buildings must conform to style and architectural appearance of the house, with the approval of Developer or Architectural Committee being required.

6. No house may be occupied before completed. House must be completed in eight (8) months from time of commencing construction.

- 7. Owners of each lot shall be prohibited from filling drainage swales.
- 8. No animals, livestock, or poultry shall be maintained on any of building sites, except ordinary house pets which do not constitute an annoyance or nuisance, nor shall any house have trailers, campers or motor homes or boats or boat trailers or snowmobile trailers, or any other such type equipment be stored or permitted to remain upon any building site, except inside a permitted structure.
- 9. No signs, advertisements or billboards (except For Rent or For Sale signs) may be erected or maintained on any building site.
- 10. No oil or gas wells shall be drilled nor shall any mining or commercial excavating operation of any kind be conducted on any building site.
- 11. No trade activity of business nature shall be carried on upon any building sites nor shall anything be done thereon which may become an annoyance or nuisance.
- 12. All lots shall be seeded and landscaped according to what is customary, normal and usual for the residence which is being constructed. All exterior sites shall be approved by the Developer or Architectural Committee. The owner or owners of any residence constructed upon any building site in the area designated as Pine Lakes Subdivision Phase #1 shall professionally landscape such building site in such manner that the value of such landscape construction is defined as outdoor patio space, retaining wall, walkways, lawns, shrubbery, tree work, and yard lights. Said landscaping shall be shown on a plot plan and be approved by the Architectural Committee as to quality, and harmony with the existing landscaping in the area of said building site and as to location with respect to graphic and natural lot drainage. Landscaping construction and paved driveway to be completed within eighteen (18) months from the start of construction. Lots must be kept mowed, not allowing grass to exceed five (5) inches in height. Vacant lots must be seeded properly by owners.
- 13. No walls, fences or hedges except retaining walls not extending above ground level, shall be erected or planted on any building site without written approval of Developer or Architectural Committee.
- 14. No lots shall be used or maintained as a dumping ground for rubbish. Trash, garbage or other waste shall be kept in sanitary containers in a sanitary location hidden from public view.
- 15. All utilities providing service to any dwelling, house or building accessory thereto shall be located under ground.
- 16. All lots shall be subject to the setback lines of Bath Township rules and regulations.
- 17. Each property owner shall be responsible for maintaining the existing landscaping berms, and no owner shall remove, alter, or modify the berms without the approval of three-fourths of the owners. The berm area is between the curb and sidewalk.
- 18. Each residence constructed on the lots shall be connected to the sanitary sewer system when available.
- 19. A 7.5 foot easement for the installation and maintenance of storm sewer, water and other utilities and drainage facilities are reserved around the perimeter of each lot. Any lot area designated for natural flow of surface water and any improvements made on or under any easement shall be made at the risk of the owner of the building site on which such improvements are made. All utilities servicing lots shall be located underground at the expense of the lot owner.
- 20. No swimming pools of any kind shall be installed in-ground so that the top thereof, exclusive of diving boards, shall be more than one (1) foot above the established grade level of the on which said swimming pool is to be installed. This restriction shall not apply to portable wading pools.
- 21. Vegetable Garden: Vegetable gardens are permitted and encouraged. The size and location of the garden will require Architectural Committee approval.
- 22. Public sidewalks will be required to be finished prior to residential occupancy of the Lot.

- 23. Structural design on all houses built in said subdivision shall provide two ridge lines with a minimum of one foot elevation differential. (Dormer roofs are not considered ridge line.) All front lines shall include an offset of at least 15% of the total structure width (exclusive of garage), and front elevation (front of home) shall consist of at least 30% natural material, RE: wood, brick or stone. Configuration and design of material that is to be used on the front of the building shall be subject to the Developer or Architectural Committee. Vinyl siding may be permitted if approved by the developer or Architectural Committee.
- 24. Antennas: No ariel dish or antenna for reception or transmission or radio or television or other electronic signals shall be maintained on the roof or any building nor shall they be maintained at any other exterior location so as to be visible from neighboring property or adjacent streets.
- 25. Owner Maintenance: Each owner shall maintain their exterior of the dwelling and accessory building and all structures, lawns and landscaping, walks and driveways. To keep them in good condition shall cause them to be repaired when effects of damage or deterioration become apparent. All building surfaces and trim shall be repainted periodically and before the surfacing becomes weather-beaten or unsightly.
- 26. Rebuilding and Restoration: Any dwelling which may be destroyed in whole or in part by fire, windstorm, or from any other cause or act of God, must be removed and the lot restored to a sightly condition; such as rebuilding or restoration to be completed with reasonable promptness and in event within six (6) months from time of damage.
- 27. All easements, restrictions, covenants and conditions as set forth and described are covenants running with the land and are reserved for the benefit of all owners and shall be binding on all future owners of all building sites and all persons claiming under them until January 1, 2016, after which time restrictions, covenants and conditions shall be automatically extended for successive periods of ten (10) years each, providing that the owners of three-fourths majority of the building sites reservations or conditions at any time.
- 28. Should any one or more of the foregoing restrictions, covenants or conditions at any time in the future be held illegal, void or unenforceable such fact shall not in any way impair the validity of any of the other restrictions, covenants or conditions, all of which shall remain in full force and effect.
- 29. Maintenance of ponds and Entry Ways: Upon purchase of every lot a prorated fee of \$5.00 a month shall be paid for upkeep to ponds and entry ways. After this yearly fee of \$60.00 a year shall be due March 15th of every year. This fee will be due to the Developer until the Architectural committee is established. The purpose of this fee is to maintain the ponds and landscaping and to insure all liability insurance for this area. Other than 2 1/2% inflationary factor the subdivision lot owners will vote for any increase in this fee.
- 30. Ponds: No swimming, wading, fishing, boating or any other recreation in this area unless otherwise approved by developer or architectural committee. (Such as an annual fishing derby)
- 31. Any placing of meters RE: gas, electric, etc. shall need approval of Developer or Architectural Committee.
- 32. Owners have twenty-four months from date of purchase to begin construction of residence.
- 33. Developer has the ability to modify or change any of the herein restrictions.
- 34. Location of the house on said lot must be approved by Developer or Architectural Committee.
- 35. Easements and rights-of-way are reserved in and over lots shown on the plat for construction, operation, and maintenance of poles, wires, or other facilities therewith for the transmission of electricity, telephone, drainage facilities, construction, operation and maintenance of drains, sewers, and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished, or performed in any method above or beneath the surface of the ground. Easements shown upon the plat may be used by utility companies and public agencies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, trees or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.

Prepared By

Pine Lakes Subdivision No. 1

Bacon & Associates, L.L.C.

14.489 Acres, NE 1/4, Section 21, T3S, R7E
Bath Township, Allen County, Ohio

750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

File: 46-98

Revisions: 10-08-01

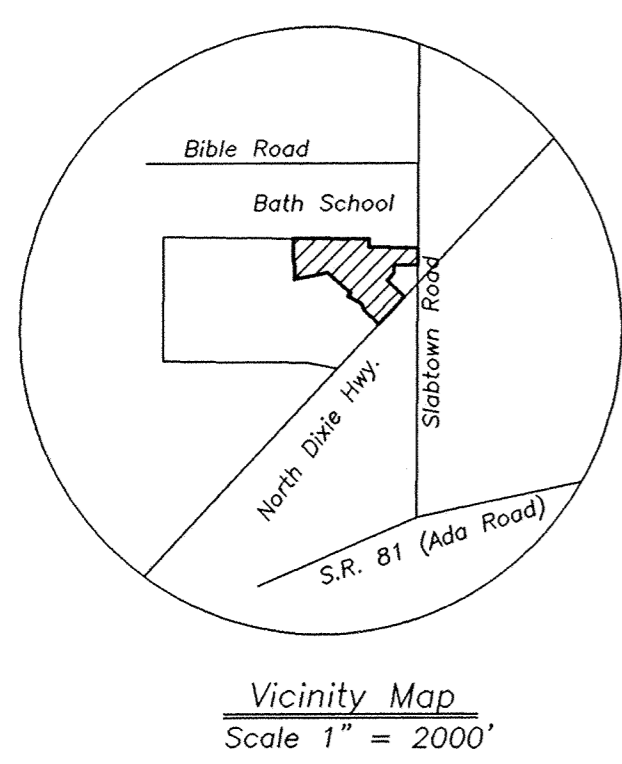
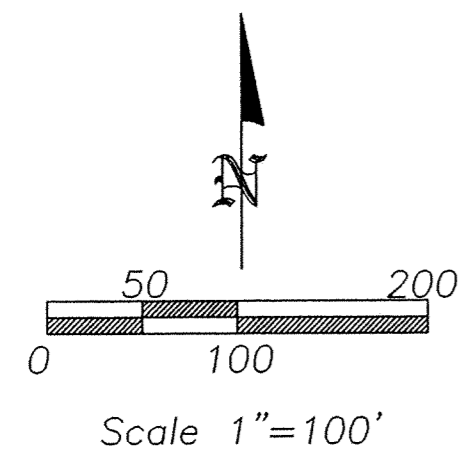
10-25-01 REVIEW COMM.

11-06-01 Dedicator's Cert.

Drawn: MSH Date: 9-24-01

Pine Lakes Subdivision No. 1

Survey of Dedicator's Land

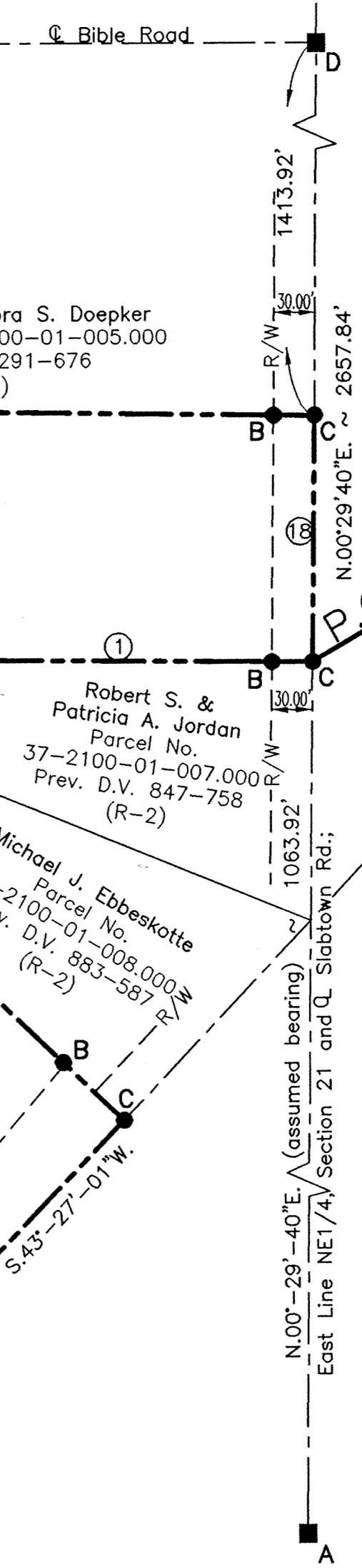


Bath Local School
Parcel No. 37-2100-01-001.000
Parcel No. 37-2100-01-002.000
Prev. D.V. 762-16
(RD)

Steven A. & Debra S. Doepker
Parcel No. 37-2100-01-005.000
Prev. D.V. 291-676
(RD)

PINE LAKES SUBDIVISION - PHASE 1
Part Parcel No. 37-2100-01-004.000
14.489 Ac. of which 2.356 Ac will be in new
road R/W and 0.634 Ac is in existing road R/W
Prev. D.V. 814-291
(R-2)

Wee Sisters Inc.
Part Parcel No. 37-2100-01-004.000
Prev. D.V. 814-291
(R-2)



DESCRIPTION

Being a parcel of land in the NE¼ of Section 21, T3S, R7E, Bath Township, Allen County, Ohio., more particularly described as follows:

Commencing for reference at the monument box at the southeast corner of the NE¼ of Section 21, thence N.0°-29'-40"E. (assumed bearing) on the east line of the NE¼, (centerline of Slabtown Road), 1063.92' to a set PK nail, the POINT OF BEGINNING of the parcel to be described, thence the following courses;

1. N.89°-30'-20"W., 250.00' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. S.0°-29'-40"W., 89.31' to a cast concrete monument;
3. S.43°-27'-01"W., 100.02' to a cast concrete monument;
4. S.46°-32'-59"E., 250.00' to a set PK nail on the centerline of N. Dixie Highway, passing over a set #5 rebar at 190.59';
5. S.43°-27'-01"W. on the centerline of N. Dixie Highway, 400.00' to a set PK nail;
6. N.46°-32'-59"W., 213.40' to a cast concrete monument, passing over a cast concrete monument at 55.00';
7. N.20°-08'-14"W., 75.86' to a cast concrete monument;
8. N.59°-52'-48"W. 160.59' to a cast concrete monument;
9. N.32°-08'-14"E. 47.50' to a cast concrete monument;
10. N.49°-38'-04"W., 312.91' to a cast concrete monument;
11. S.79°-29'-29"W., 350.00' to a cast concrete monument;
12. N.2°-06'-09"W., 147.98' to a cast concrete monument;
13. N.13°-01'-21"W., 61.32' to a cast concrete monument;
14. N.0°-45'-44"E., 219.26' to a cast concrete monument on the north line of the S½ of the NE¼ of Section 21;
15. S.89°-14'-16"E. on said north line, 796.60' to a cast concrete monument;
16. S.0°-29'-40"W., 85.00' a cast concrete monument;
17. S.89°-14'-16"E., 512.50' to a set PK nail on the east line of the NE¼, passing over a cast concrete monument at 482.50';
18. S.0°-29'-40"W. on said east line, 180.00' to the POINT OF BEGINNING.

The above-described parcel contains 14.489 acres, more or less, subject to all legal highways and easements of record at the time of recording of this document.

LEGEND
A = MONUMENT BOX AT THE SOUTHEAST CORNER OF THE NE¼ OF SECTION 21, BATH TOWNSHIP, ALLEN COUNTY, OHIO
B = CONCRETE MONUMENT (CAST)
C = MAG NAIL (SET)
D = MONUMENT BOX AT THE NORTHEAST CORNER OF THE NE¼ OF SECTION 21, BATH TOWNSHIP, ALLEN COUNTY, OHIO

REVIEWED BY:
M. Howbert
MICHAEL L. HOWBERT P.E.
ALLEN COUNTY ENGINEERS
DATE: 11/7/01

Clayton J. Bacon
Clayton T. Bacon, Reg. P.S. #6179
DATE: 10-25-01
11-6-01



Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Pine Lakes Subdivision No. 1
14.489 Acres, NE 1/4, Section 21, T3S, R7E
Bath Township, Allen County, Ohio

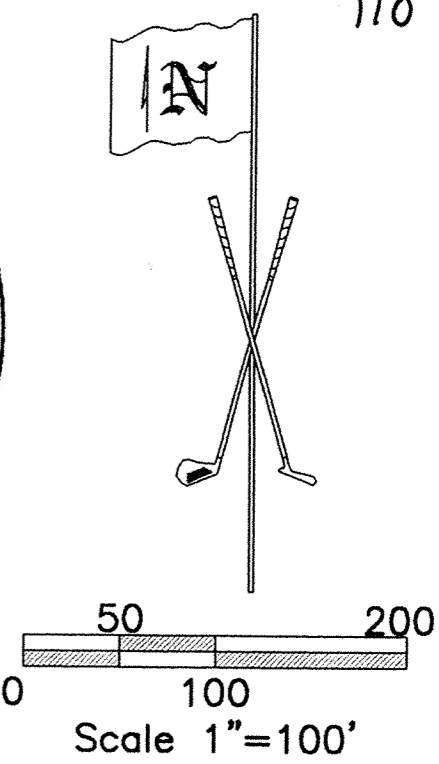
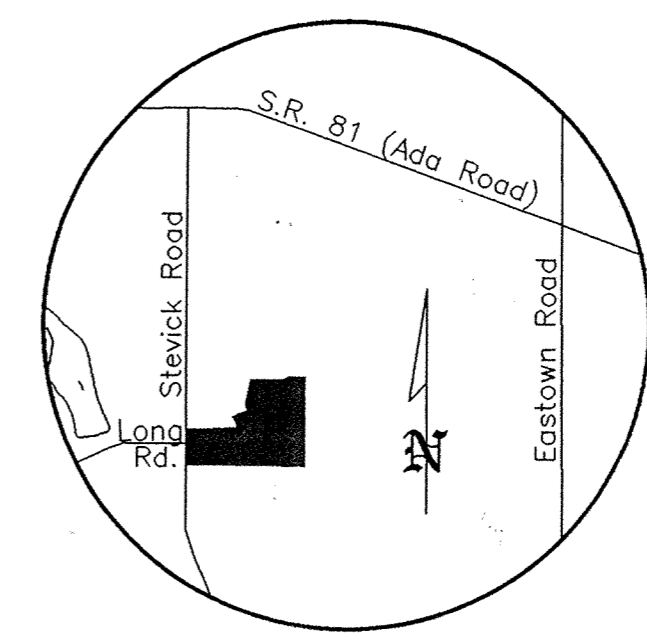
Revisions:	10-08-01
	10-25-01 REVIEW COMM.
	11-06-01 Dedicator's Cert.
Drawn:	CAT Date: 9-25-01

This description and plat is based on an actual field survey performed on 6-4-98, by Clayton T. Bacon.

7 Oaks Subdivision No. 1

SW1/4 Section 28, T3S, R6E
American Township, Allen County, Ohio
(Re-recorded to revise Dedicator's Certificate)

110



CENTERLINE CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C1	253.34'	90.09'	S.80°19'11"E., 89.62'
C2	500.00'	169.44'	S.79°50'23"E., 168.63'
C3	100.00'	168.41'	N.42°12'23"E., 149.20'
C4	4800.00'	397.91'	N.03°39'51"W., 397.79'
C5	4800.00'	187.33'	N.00°10'16"W., 187.32'
C8	250.00'	78.22'	N.02°31'25"E., 77.90'
C9	250.00'	90.39'	N.16°47'52"W., 89.90'
C12	100.00'	164.94'	N.41°23'59"E., 146.87'
C13	100.00'	159.72'	N.39°54'17"E., 143.28'

R/W COURSE NUMBER	BEARING	LENGTH
15	N.89°29'32"E.	366.85'
16	N.11°29'13"E.	74.93'
17	S.27°09'19"E.	39.15'
18	N.85°39'41"E.	107.34'
19	N.05°51'07"W.	114.10'
20	N.88°39'03"E.	147.99'
21	S.06°02'20"E.	104.72'
22	N.89°32'53"W.	285.31'
23	N.70°07'54"W.	99.96'
24	S.89°29'33"W.	367.38'
27	S.11°29'13"W.	89.54'
28	S.70°07'54"E.	7.53'
29	S.89°32'53"E.	285.31'
30	N.06°02'20"W.	104.72'
31	S.88°39'03"W.	147.88'
32	S.05°51'07"E.	114.10'
33	S.85°39'41"W.	104.24'

MONUMENTATION: All exterior corners of 7 Oaks Subdivision No. 1 are marked with a cast-in-place concrete monument, 30" deep, with a #5 rebar core, capped with a yellow plastic ID cap. All interior lot corners are marked with #5 rebars 30" long capped with yellow plastic ID caps. All street centerline intersections, P.C. & P.T.'s are marked with 2 1/2" Mag nails.

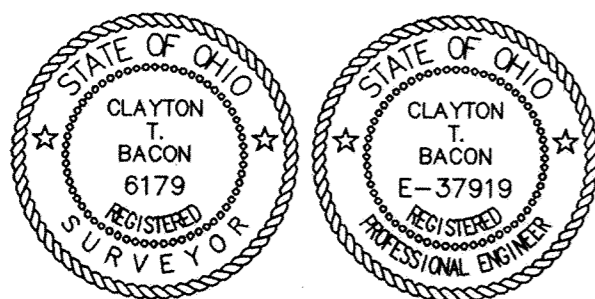
R/W CURVE NUMBER	RADIUS	ARC LENGTH	CHORD DIRECTION & LENGTH
C14	25.00'	42.23'	N.59°52'34"E., 37.38'
C15	225.00'	64.49'	N.03°16'35"E., 64.27'
C16	275.00'	54.92'	S.21°26'03"E., 54.83'
C17	25.00'	34.31'	S.55°01'33"E., 31.68'
C18	75.00'	119.79'	N.39°54'17"E., 107.46'
C19	125.00'	206.17'	N.41°23'58"E., 183.58'
C20	25.00'	38.99'	N.43°58'32"E., 35.15'
C21	4830.00'	114.08'	N.00°01'24"W., 114.07'
C22	4770.00'	606.42'	S.02°23'49"E., 606.01'
C23	130.00'	218.93'	S.42°12'23"W., 193.96'
C24	530.00'	179.61'	N.79°50'23"W., 178.75'
C25	223.34'	79.42'	N.80°19'09"W., 79.01'
C26	283.34'	92.84'	S.81°07'16"E., 92.42'
C27	25.00'	35.61'	S.29°19'21"E., 32.68'
C28	470.00'	159.27'	S.79°50'24"E., 158.51'
C29	70.00'	117.89'	N.42°12'23"E., 104.44'
C30	4830.00'	350.59'	N.03°57'34"W., 350.52'
C31	25.00'	39.04'	N.46°36'52"W., 35.19'
C32	75.00'	123.70'	S.41°23'59"W., 110.15'
C33	125.00'	199.65'	S.39°54'17"W., 179.10'
C34	25.00'	35.86'	S.44°34'23"W., 32.86'
C35	275.00'	38.41'	S.07°29'08"W., 38.38'

LEGEND

- A - Monument box at the northwest corner of the SW1/4 of Section 28
- B - PK nail (set)
- C - Cast-in-place concrete monument w/#5 rebar core and cap.
- * - #5 Rebar (set)
- D - PK nail (set)
- E - 1" Steel Rod at the P.I. of Stevick Road set in 1962 by Allen County Engineer.

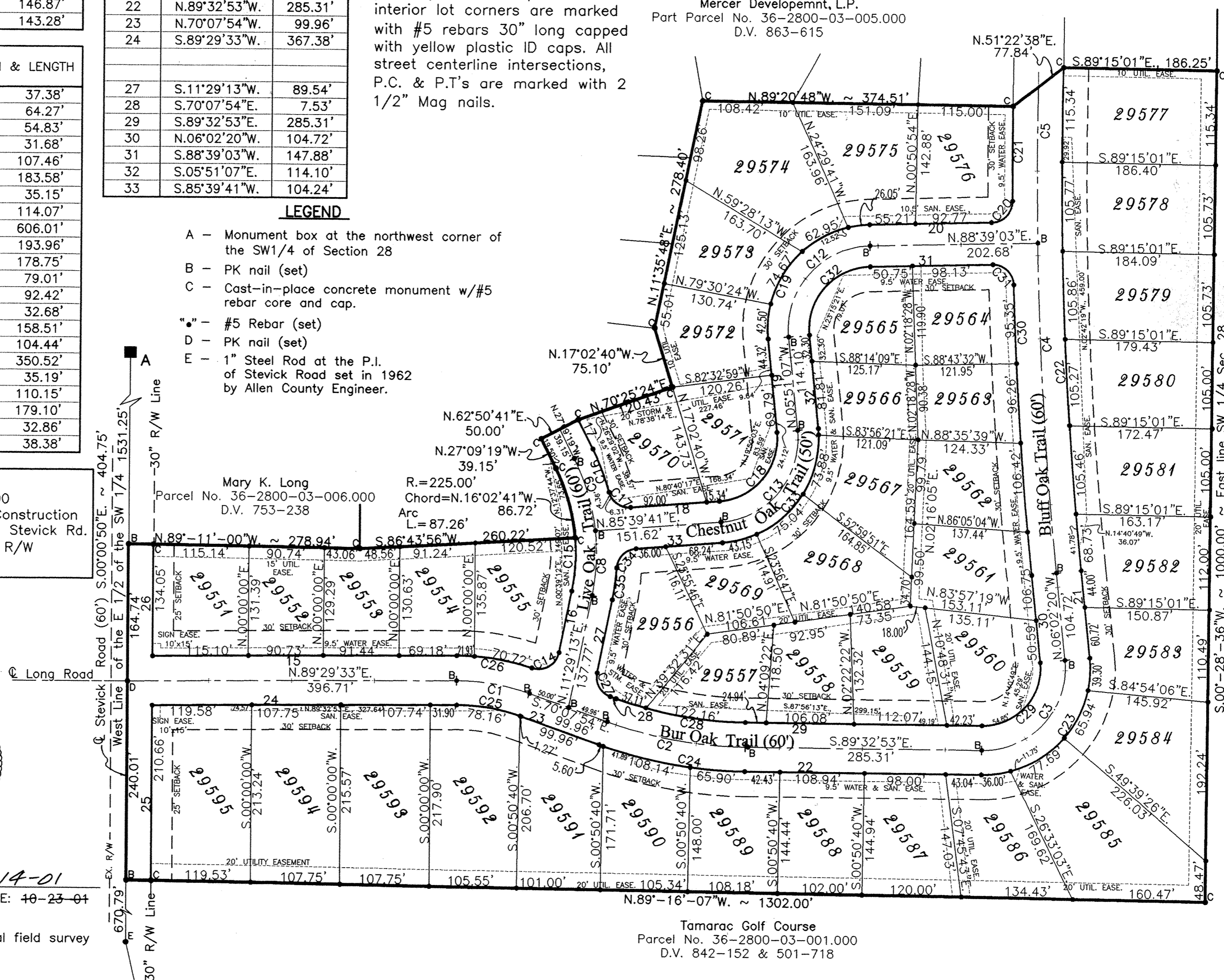
Mercer Development, L.P.
Part Parcel No. 36-2800-03-005.000
20.819 Ac of Mercer Development plus Laux Construction land totals 21.098 Ac. of which 0.279 Ac. is in Stevick Rd. R/W and 3.799 Ac. will be in new road R/W
D.V. 863-615

NOTE: Easements shown on this plat are shown in greater detail in the construction plans on file at the County Engineer's office.



Clayton J. Bacon
Clayton T. Bacon, Reg. P.E. #37919
Reg. P.S. #6179
DATE: 11-14-01

This description and plat is based on an actual field survey performed on 10-23-01, by Clayton T. Bacon.



Mercer Development, L.P.
Part Parcel No. 36-2800-03-005.000
D.V. 863-615

Tamarac Golf Course
Parcel No. 36-2800-03-001.000
D.V. 842-152 & 501-718

7 Oaks Subdivision No. 1

21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

Bacon & Associates, L.L.C.
750 N. Easttown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Revisions:

10-09-01	
10-23-01	REVIEW COMM.
11-14-01	
11-06-01	Dedicator's Cert.
Drawn: CAT	Date: 9-17-01

File: 132-99

7 Oaks Subdivision No. 1

111

DESCRIPTION

Being a parcel of land in the East 1/2 of the SW 1/4 of Section 28, T3S, R6E, American Township, Allen County, Ohio, more particularly described as follows:

Beginning at a set PK nail on the west line of the East 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), S.00°00'50"E. (assumed bearing), 1531.25' from the monument box at the northwest corner of the SW 1/4, thence the following courses;

1. S.89°-11'-00"E., 278.94' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. N.86°-43'-56"E., 260.22' to a cast concrete monument;
3. Northwesterly nontangentially on a curve to the left, 87.26' to a cast concrete monument, at the P.T., said curve having a radius of 225.00' and a chord of N.16°02'41"W., 86.72';
4. N.27°-09'-19"W., 39.15' to a cast concrete monument;
5. N.62°-50'-41"E., 50.00' to a cast concrete monument;
6. N.70°-25'-24"E., 120.43' to a cast concrete monument;
7. N.17°-02'-40"W., 75.10' to a cast concrete monument;
8. N.11°-35'-48"E., 278.40' to a cast concrete monument;
9. S.89°-20'-46"E., 374.51' to a cast concrete monument;
10. N.51°-22'-38"E., 77.84' to a cast concrete monument;
11. S.89°-15'-01"E., 186.25' to a cast concrete monument on the east line of the SW 1/4 of Section 28;
12. S.00°-28'-36"W. on said east line, 1000.00' to a cast concrete monument;
13. N.89°-16'-07"W., 1302.00' to a set PK nail on the west line of the E 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), passing over a cast concrete monument at 1272.00';
14. N.00°-00'-50"W. on the centerline of Stevick Road, 404.75' to the POINT OF BEGINNING, passing over a set PK nail at 240.01' at the intersection with the centerline of Long Road.

The above-described parcel contains 21.098 acres of which 0.279 acre is in Stevick Road R/W & 3.799 Ac. in new road R/W, more or less subject to all legal easements of record at the time of recording of this document.

Prior deed reference, Mercer Development Inc. (D.V. 863-615) and Laux Construction Inc. (D.V. 885-257).

This description and plat is based on an actual field survey performed on 9-12-1999, by Clayton T. Bacon, P.S. #6179.

DEDICATION

Rick J. Uppenkamp, Trustee under a trust agreement dated January 12, 1999 as amended sole member of Mercer Consolidated L.L.C., General Partner of Mercer Development, L.P. an Ohio Limited Partnership, being the owner of the described premises, hereby voluntarily consents to the execution of said plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

WITNESS

OWNER

Rick Uppenkamp
Rick J. Uppenkamp Trustee

Clayton T. Bacon

Clayton T. Bacon

ACKNOWLEDGEMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNER who acknowledged that he signed the hereon plat and the signing thereof was his free act and deed.
IN WITNESS thereof, I affix my hand and seal this 14 day of Nov, 2001.

DEDICATION

Laux Construction Inc., being the owner of the described premises, hereby voluntarily consents to the execution of said plat, and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

OWNER

WITNESS

Michael Laux
Michael Laux President

Clayton J. Bacon

Daniel Laux
Daniel Laux Secretary-Treasurer

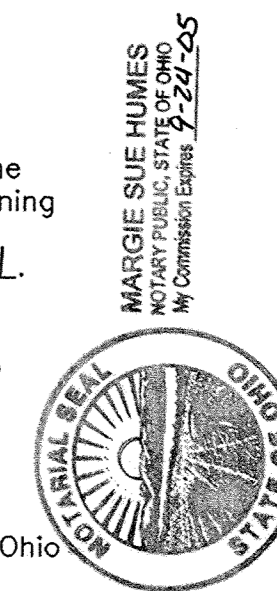
Clayton J. Bacon

ACKNOWLEDGEMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.
IN WITNESS thereof, I affix my hand and seal this 14 day of Nov, 2001.

Margie Sue Humes
Notary Public



APPROVAL OF REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and except this plat this 14th day of NOVEMBER, 2001.

John M. Mann
Executive Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATE

Filed for record this 14th day of November, 2001, at 2:26 pm o'clock in the office of the County Recorder and recorded in Plat Book 24, on Page 112.

Amount \$82.80

PREVIOUS PLAT BK 24 PG 102 BK 24 PG 93

Edward P. Kirk
Recorder, Allen County, Ohio

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 14th day of November, 2001.

W. Dean French
Auditor, Allen County, Ohio

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and accurate survey performed by me in September of 1999. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., P.S. 6179 will be set on all property corners of interior lots and cast-in-place concrete monuments with a 30" long #5 rebar core with a plastic I.D. cap on all subdivision boundary corners.



Clayton T. Bacon 11-14-01
Clayton T. Bacon, P.S. 6179
Bacon & Associates, L.L.C.



Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1
21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

File: 132-99

Revisions:	10-09-01
	10-23-01 REVIEW COMM.
	11-14-01
	11-06-01 Dedicator's Cert.
Drawn:	CAT Date: 9-17-01

7 Oaks Subdivision No. 1

SUBDIVISION RESTRICTIONS & COVENANTS

7 OAKS SUBDIVISION No. 1 SUBDIVISION RESTRICTIONS & COVENANTS

As a part of a general plan for development of the real estate in the residential area on the foregoing plat, and for the common advantage and benefit of the purchasers of any of the lots shown on said plat, the restrictions, covenants, reservations, easements, liens and charges hereinafter set forth, each and all of which is and are for the common benefit of said property and for each owner thereof, shall inure to and pass with said property and each parcel thereof, and shall apply to and be binding upon the purchasers and successors in interest, and the restrictions, covenants, reservations, easements, liens and charges applicable to each tract, lot or parcel shall inure to the benefit of and be enforceable by the purchasers of every tract, lot or parcel and their successor in interest.

All lots included in The 7 Oaks Subdivision No. 1, SW 1/4, Sec. 28, T3S, R6E American Township, Allen County, Ohio, are hereby made subject to the following covenants and restrictions, not recited on the plat, forms, or corporations claiming under them:

1. Lots or building sites shall be used and occupied solely and exclusively for private residential purposes by a single-family residence.
2. The finished living space overall for a one-story ranch dwelling exclusive of open porches and garages, erected upon all of the lots in 7 Oaks Subdivision shall not be less than 1850 square feet and for a 2 story dwelling it may not be less than 2250 square feet. All residences must have a two car attached garage with a minimum of 500 square feet and front of home must be brick, stucco or stone. All foundations shall be poured concrete. No building, structures or parts thereof shall be permitted to be moved onto said lots and only new construction, using new materials only shall be permitted on said lots. The dwelling must be completed within a one-year period from the start of construction.
3. No structure shall be erected on any lot in said subdivision until the final building plans and specifications have been approved, in writing, by the developer or his agents, (Currently Michael and Daniel Laux). The developer reserves the right to approve contractors and suppliers.
4. The front of the residence, or a part thereof, excluding open porches, constructed on the lot in this subdivision shall be located so that it conforms to the platted setback line. The owners of any residence constructed upon any lot or building site, in this subdivision shall landscape such lot of building site in such a manner that the value of such landscaping, including lawn cost, is not less than 3% of the fair market value of the residence constructed on said lot or building site. Landscaping shall be completed within one year of occupancy of home.
5. No building shall be erected, placed or altered on any lot or building site until construction plans and specifications and a plot plan showing the location of the structure shall have been approved by the developer or his agents as to construction materials, harmony of exterior design with the existing structures and as to location with respect to topographic and finished grade elevation.
6. All driveways shall be constructed and completed with the residence and shall be constructed in an attractive permanent fashion. All driveways must be constructed of finished concrete as approved by the developer or his agents.
7. All lot owners will construct a 4 ft. sidewalk 1' inside the road right-of-way upon completion of the residence, in accordance with the Allen County Construction Standards.
8. All utility services to homes must be underground. No structure, trailer, basement, tent, shed, garage, barn or other outbuildings shall be used on any lot at any time either as a temporary or permanent structure.
9. No noxious or offensive activity shall be carried on or upon any lot in said above-described plat, nor shall anything be done thereon which may be or may become an annoyance or nuisance to the neighborhood.
10. It shall be the duty of the property owner to keep the property including lawns, shrubbery and trees in a neat and clean condition. Such duty for lawn and landscaping maintenance shall extend to the edge of the paved area of the street or road right-of-way. All property owners with lots located on the property line bordering the golf course must keep all trees located on that property line trimmed to a height of no less than 12 ft.
11. The developer or his agents reserves the right to grant easements for the construction and operation of electric light, telephone lines, gas piping, storm water sewers, cable television, waterlines and other utilities, public or private in and upon the property within the platted utility easement areas until such services are granted to all properties in the 7 Oaks Subdivision.
12. No animals, livestock or poultry of any kind shall be raised, bred or kept on any lots in said plat except dogs, cats or other household pets, not to exceed a total of two (2) pets, providing they are not kept; bred or maintained for any commercial purpose. Kennels are hereby strictly forbidden.
13. No lot in said subdivision shall be used or maintained as a dumping ground for rubbish or trash, including grass and landscape trimmings.
14. No trucks, semi trailers, boats, trailers, motor homes, vans or other chattels of a similar nature shall be stored or maintained on the premises unless the same be parked and kept in a garage.
15. There shall be no television or radio antennas or discs permitted in the 7 Oaks Subdivision unless the same is approved by the developer or his agents and then they will only be permitted in the rear of the house.
16. All houses will be designed such that the electric and gas meters, as well as the air conditioning condensers, will be located in the rear lot areas unless approved by the developer or his agents. Landscaping screening and decorative wood fences must be provided as required to screen these devices and pieces of equipment.
17. Only split rail type fences or hedges not to exceed 4 feet in height above ground level shall be erected or planted on said building site and shall not extend closer to the street than the rear of the house. A privacy fence may be used around a pool area. It must be a minimum of 6 feet in height and of wood construction or other suitable material as approved by the agents of the developer.
18. These covenants, restrictions, and limitations shall be binding on all parties hereto and all land owners of lots in said subdivision for a period of twenty (20) years from the date of recording, after which time such covenants, restrictions and limitations shall automatically extend for successive periods of ten (10) years each. These restrictions can be amended in whole or in part in a writing, signed by a majority of the owners of the lots in the Subdivision. Such amendments shall be recorded in the Recorder's office.
19. No lot split shall be permitted which would result in the location of a dwelling to be situated on a parcel of land comprised of less than the recorded plots dimensions.
20. Enforcement of the terms of these restrictions shall vest in each of the lot owners of this development. Said lot owners may, at their discretion, join together to enforce any and all of the terms of this agreement. Enforcement shall be proceedings in law or in equity against any person or persons or legal entity violating or attempting to violate any covenant, restrictions or limitations. These remedies are available to lot owner of said above-described premises who may seek both a restrain of such violation and damages thereof.
21. For purposes of these restrictive covenants the term building site shall refer to one or more lots as shown on the plat of 7 Oaks Subdivision.
22. Easements and rights-of-way are reserved in and over lots shown on the plat for construction, operation, and maintenance of poles, wires, or other facilities therewith for the transmission of electricity, telephone, drainage facilities, construction, operation and maintenance of drains, sewers, and pipe lines for supplying gas, water, heat and for any other public or quasi-public utility or function maintained, furnished, or performed in any method above or beneath the surface of the ground. Easements shown upon the plat may be used by utility companies and public agencies as circumstances require without incurring any liability from property owners for damage to sod, shrubbery, trees or other surface improvements. No trees, buildings or permanent structures, except driveways and mailboxes, may be placed on any designated easements or rights-of-way.
23. The 7 Oaks drainage detention pond is to be petitioned for maintenance by the owners as shown on the Dedication Certificate on page 2 of 4 of this Final Plat. All fee holders and all receiving title to the fee through them are subject to payment of drainage maintenance fees assessed or to be assessed by the county pursuant to Ohio Revised Code, Sections 6131 and 6137. A specific and distinct ditch maintenance fund shall be created as per the referenced sections of the Ohio Revised Code for this project.
24. All new house construction within five years of the recording of this plat shall be heated with natural gas.
25. All sanitary sewer service lateral connections to the main sewer shall be procured through the developer.

Prepared By

Bacon & Associates, L.L.C.

750 N. Eastown Rd., Elida, Ohio 45807

Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1

21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

File:

132-99

Revisions: 10-09-01

10-23-01 REVIEW COMM.

11-14-01

11-06-01 Dedicator's Cert.

Drawn: CAT Date: 9-17-01

7 Oaks Subdivision No. 1

SURVEY OF DEDICATOR'S LAND

DESCRIPTION

Being a parcel of land in the East 1/2 of the SW 1/4 of Section 28, T3S, R6E, American Township, Allen County, Ohio, more particularly described as follows:

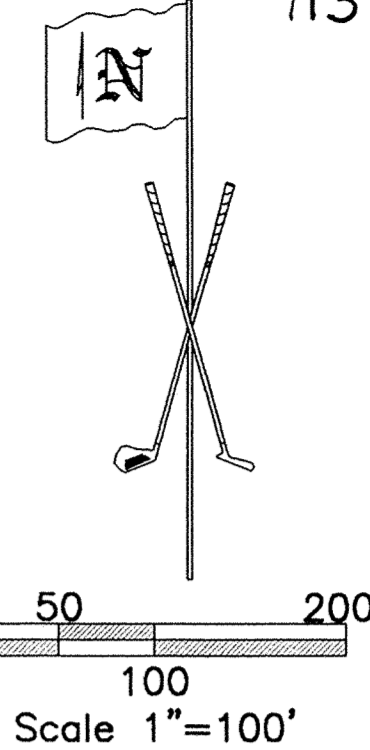
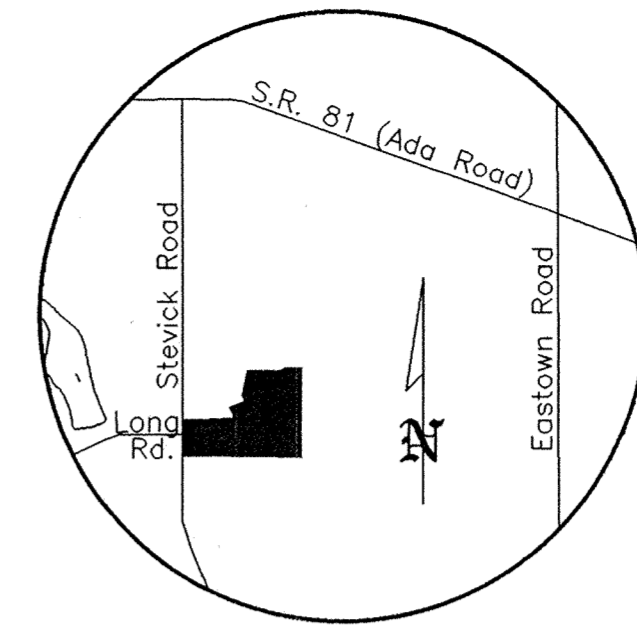
Beginning at a set PK nail on the west line of the East 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), S.00°00'50"E. (assumed bearing), 1531.25' from the monument box at the northwest corner of the SW 1/4, thence the following courses;

1. S.89°-11'-00"E., 278.94' to a cast concrete monument, passing over a cast concrete monument at 30.00';
2. N.86°-43'-56"E., 260.22' to a cast concrete monument;
3. Northwestly nontangentially on a curve to the left, 87.26' to a cast concrete monument, at the P.T., said curve having a radius of 225.00' and a chord of N.16°02'41"W., 86.72';
4. N.27°-09'-19"W., 39.15' to a cast concrete monument;
5. N.62°-50'-41"E., 50.00' to a cast concrete monument;
6. N.70°-25'-24"E., 120.43' to a cast concrete monument;
7. N.17°-02'-40"W., 75.10' to a cast concrete monument;
8. N.11°-35'-48"E., 278.40' to a cast concrete monument;
9. S.89°-20'-46"E., 374.51' to a cast concrete monument;
10. N.51°-22'-38"E., 77.84' to a cast concrete monument;
11. S.89°-15'-01"E., 186.25' to a cast concrete monument on the east line of the SW 1/4 of Section 28;
12. S.00°-28'-36"W. on said east line, 1000.00' to a cast concrete monument;
13. N.89°-16'-07"W., 1302.00' to a set PK nail on the west line of the E 1/2 of the SW 1/4 of Section 28 (centerline Stevick Road), passing over a cast concrete monument at 1272.00';
14. N.00°-00'-50"W. on the centerline of Stevick Road, 404.75' to the POINT OF BEGINNING, passing over a set PK nail at 240.01' at the intersection with the centerline of Long Road.

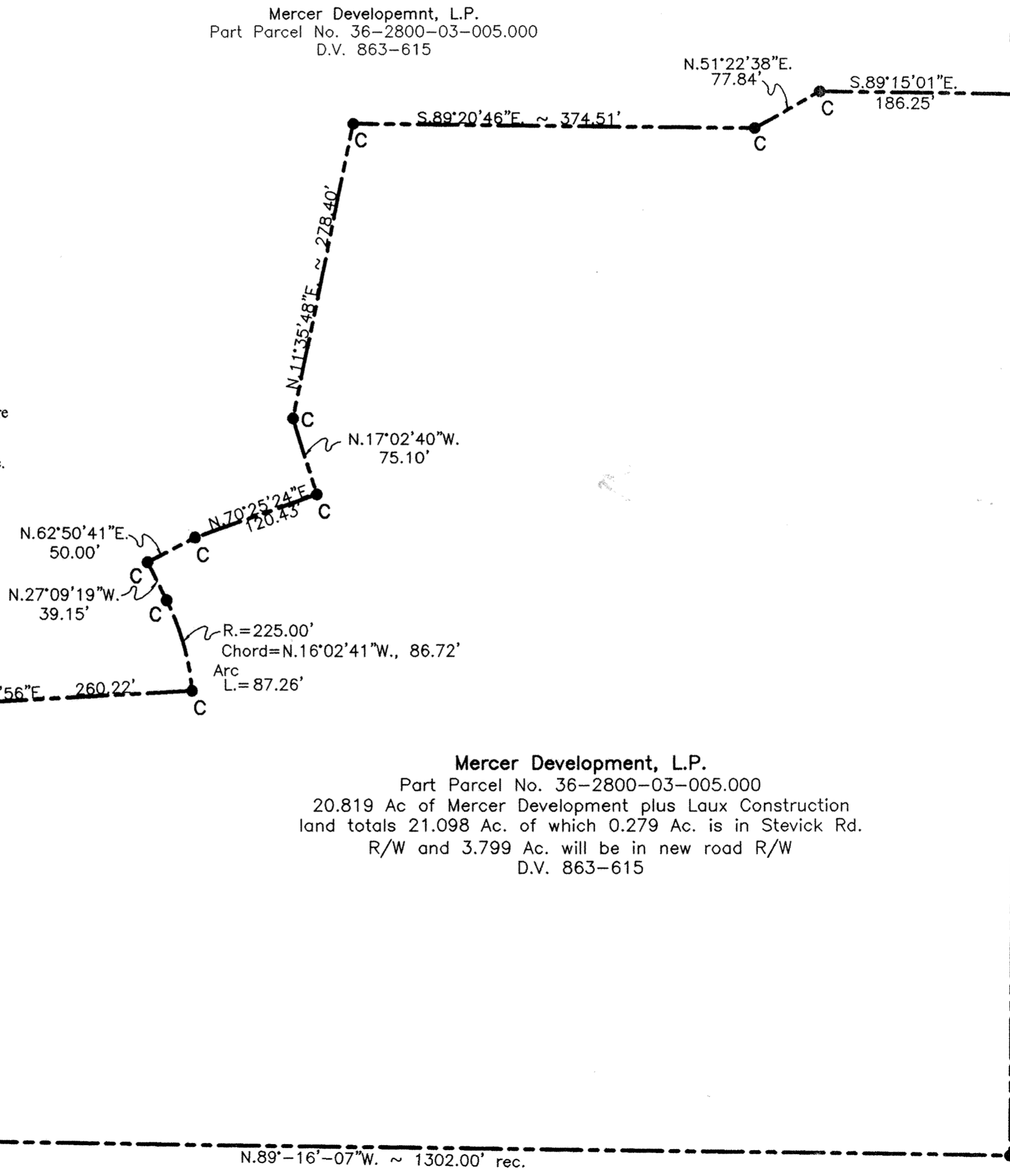
The above-described parcel contains 21.097 acres of which 0.279 acre is in Road R/W, more or less subject to all legal easements of record at the time of recording of this document.

Prior deed reference, Mercer Development, L.P. (D.V. 863-615) and Laux Construction Inc. (D.V. 885-257).

This description and plat is based on an actual field survey performed on 9-12-1999, by Clayton T. Bacon, P.S. #6179.



Mercer Development, L.P.
Part Parcel No. 36-2800-03-005.000
D.V. 863-615



Mary K. Long
Parcel No. 36-2800-03-006.000
D.V. 753-238

N.62°50'41"E. 50.00'
N.27°09'19"W. 39.15'
R.=225.00'
Chord=N.16°02'41"W., 86.72'
Arc
L.=87.26'

Mercer Development, L.P.
Part Parcel No. 36-2800-03-005.000
20.819 Ac of Mercer Development plus Laux Construction
land totals 21.098 Ac. of which 0.279 Ac. is in Stevick Rd.
R/W and 3.799 Ac. will be in new road R/W
D.V. 863-615

Laux Construction Inc.
Parcel No. 36-2800-03-004.000
D.V. 885-257

Tamarac Golf Course
Parcel No. 36-2800-03-001.000
D.V. 842-152 & 501-718

Tamarac Golf Course
Parcel No. 36-2800-03-001.000
D.V. 842-152 & 501-718

LEGEND	
A	Monument box at the northwest corner of the SW 1/4 of Section 28
B	PK nail (set)
C	Cast concrete monument (set)
D	PK nail (set)
E	1" Steel Rod at the P.I. of Stevick Road set in 1962 by Allen County Engineer.

REVIEWED BY:
Michael D. Howbert
MICHAEL D. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: Nov. 14, 2001

Clayton T. Bacon
Clayton T. Bacon, Reg. P.S. #6179



11-14-01
DATE: 10-23-01

This description and plat is based on an actual field survey performed on 10-23-01, by Clayton T. Bacon.

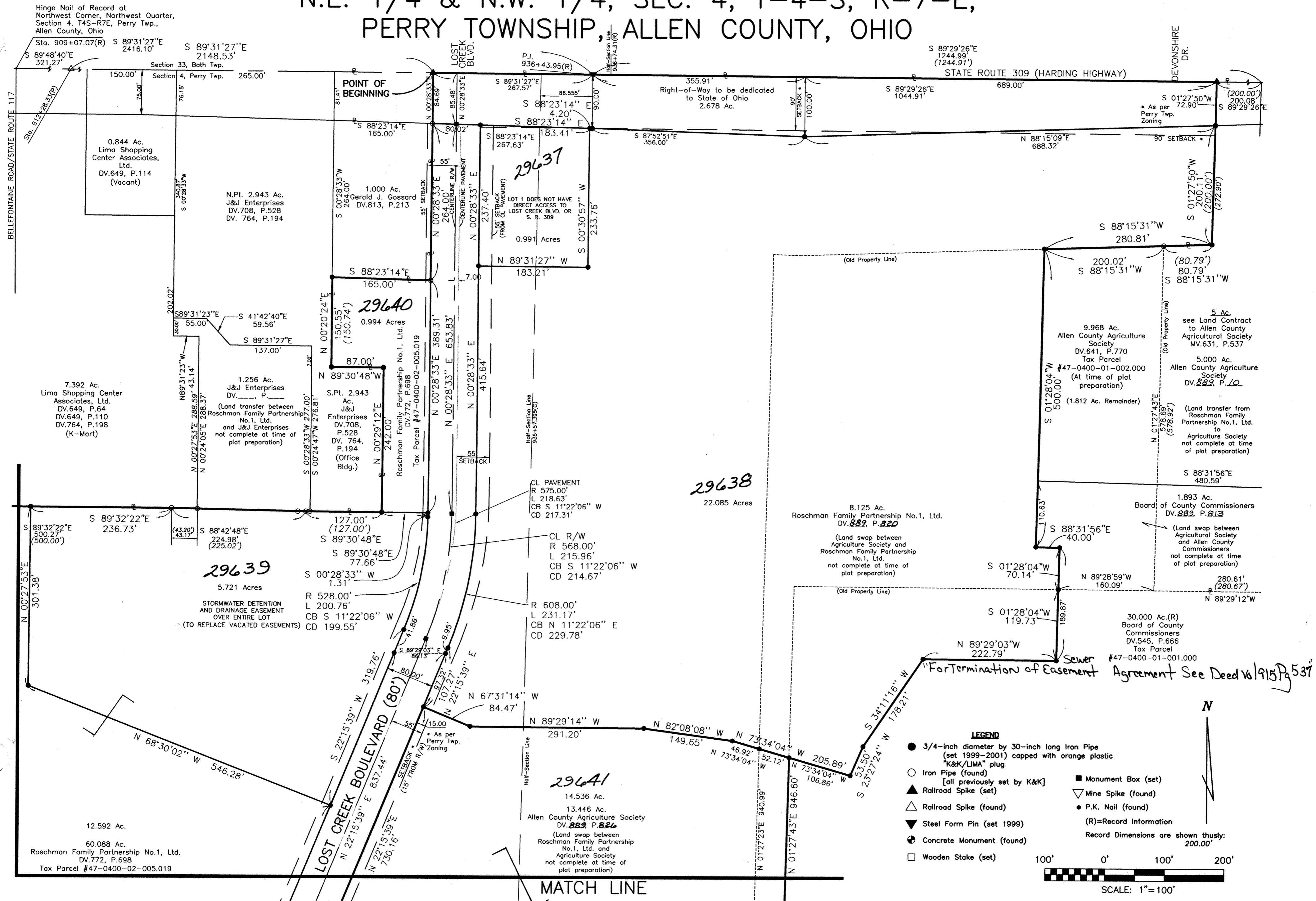
Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

7 Oaks Subdivision No. 1
21.098 Acres, SW 1/4, Section 28, T3S, R6E
American Township, Allen County, Ohio

File:	132-99
Revisions:	10-09-01
	10-23-01 REVIEW COMM.
	11-14-01
	11-06-01 Dedicator's Cert.
Drawn:	CAT Date: 9-17-01

EASTGATE COMMERCIAL PARK

N.E. 1/4 & N.W. 1/4, SEC. 4, T-4-S, R-7-E,
PERRY TOWNSHIP, ALLEN COUNTY, OHIO



Hinge Nail of Record at Northwest Corner, Northwest Quarter, Section 4, T4S-R7E, Perry Twp., Allen County, Ohio

Sta. 909+07.07(R) S 89°31'27"E 2416.10'
S 89°48'40"E 321.27'
Section 33, Both Twp. 150.00'
Section 4, Perry Twp. 265.00'

POINT OF BEGINNING

Right-of-Way to be dedicated to State of Ohio 2.678 Ac.

S 89°29'26"E 1244.99' (1244.91')
STATE ROUTE 309 (HARDING HIGHWAY)

DEVONSHIRE DR.

0.844 Ac. Lima Shopping Center Associates, Ltd. DV.649, P.114 (Vacant)

N.Pt. 2.943 Ac. J&J Enterprises DV.708, P.528 DV. 764, P.194

1.000 Ac. Gerald J. Gossard DV.813, P.213

29637
0.991 Acres
LOT 1 DOES NOT HAVE DIRECT ACCESS TO LOST CREEK BLVD. OR S. R. 309

29640
0.994 Acres

7.392 Ac. Lima Shopping Center Associates, Ltd. DV.649, P.64 DV.649, P.110 DV.764, P.198 (K-Mart)

1.256 Ac. J&J Enterprises DV. 708, P. 528 DV. 764, P.194 (Office Bldg.)
(Land transfer between Roschman Family Partnership No.1, Ltd. and J&J Enterprises not complete at time of plot preparation)

S.Pt. 2.943 Ac. J&J Enterprises DV.708, P.528 DV. 764, P.194 (Office Bldg.)
Roschman Family Partnership No.1, Ltd. DV.772, P.698 Tax Parcel #47-0400-02-005.019

29638
22.085 Acres
CL PAVEMENT R 575.00' L 218.63' CB S 11°22'06" W CD 217.31'
CL R/W R 568.00' L 215.96' CB S 11°22'06" W CD 214.67'
R 608.00' L 231.17' CB N 11°22'06" E CD 229.78'

8.125 Ac. Roschman Family Partnership No.1, Ltd. DV.882, P.820
(Land swap between Agriculture Society and Roschman Family Partnership No.1, Ltd. not complete at time of plot preparation)

9.968 Ac. Allen County Agriculture Society DV.641, P.770 Tax Parcel #47-0400-01-002.000 (At time of plot preparation)

5.000 Ac. Allen County Agriculture Society DV.822, P.10
(Land transfer from Roschman Family Partnership No.1, Ltd. to Agriculture Society not complete at time of plot preparation)

1.893 Ac. Board of County Commissioners DV.822, P.813
(Land swap between Agriculture Society and Allen County Commissioners not complete at time of plot preparation)

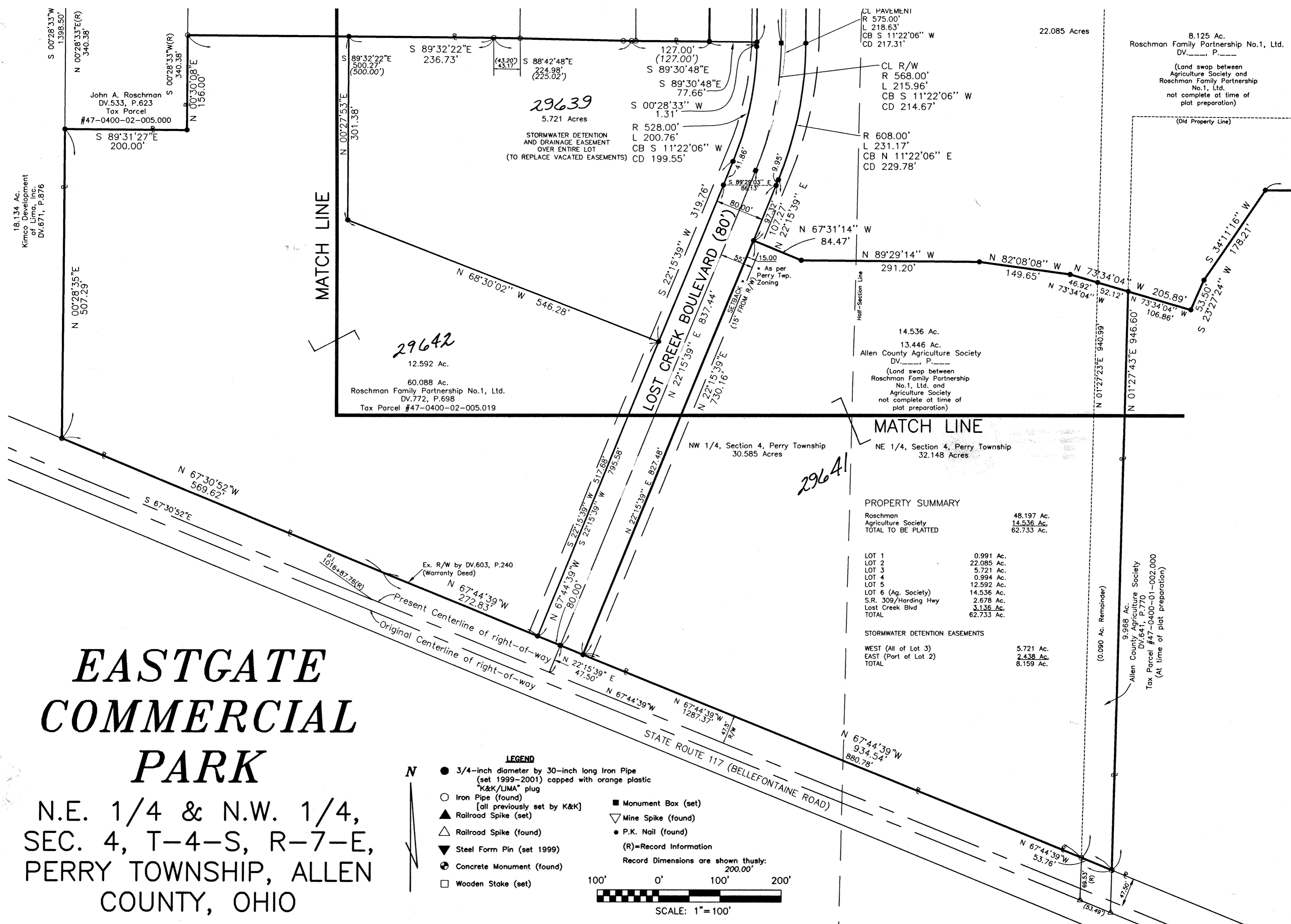
30.000 Ac.(R) Board of County Commissioners DV.545, P.666 Tax Parcel #47-0400-01-001.000

"For Termination of Easement Agreement See Deed W/1915 Pg 537"

29641
14.536 Ac. 13.446 Ac. Allen County Agriculture Society DV.822, P.826
(Land swap between Roschman Family Partnership No.1, Ltd. and Agriculture Society not complete at time of plot preparation)

12.592 Ac. 60.088 Ac. Roschman Family Partnership No.1, Ltd. DV.772, P.698 Tax Parcel #47-0400-02-005.019

MATCH LINE



EASTGATE COMMERCIAL PARK

N.E. 1/4 & N.W. 1/4,
SEC. 4, T-4-S, R-7-E,
PERRY TOWNSHIP, ALLEN
COUNTY, OHIO

LEGEND

- 3/4-inch diameter by 30-inch long Iron Pipe (set 1999-2001) capped with orange plastic "K&K/LJMA" plug
- Iron Pipe (found) [all previously set by K&K]
- ▲ Railroad Spike (set)
- △ Railroad Spike (found)
- ▼ Steel Form Pin (set 1999)
- ⊕ Concrete Monument (found)
- Wooden Stake (set)
- Monument Box (set)
- ▽ Mine Spike (found)
- P.K. Nail (found)
- (R)=Record Information

Record Dimensions are shown thusly:
200.00'

100' 0' 100' 200'

SCALE: 1" = 100'

PROPERTY SUMMARY

Roschman Agriculture Society	48.197 Ac.
Agiculture Society	14.536 Ac.
TOTAL TO BE PLATTED	62.733 Ac.

LOT 1	0.991 Ac.
LOT 2	22.085 Ac.
LOT 3	5.721 Ac.
LOT 4	0.994 Ac.
LOT 5	12.592 Ac.
LOT 6 (Ag. Society)	14.536 Ac.
S.R. 309/Harding Hwy	2.678 Ac.
Lost Creek Blvd	3.136 Ac.
TOTAL	62.733 Ac.

STORMWATER DETENTION EASEMENTS

WEST (All of Lot 3)	5.721 Ac.
EAST (Port of Lot 2)	2.438 Ac.
TOTAL	8.159 Ac.

8.125 Ac.
Roschman Family Partnership No.1, Ltd.
DV.____, P.____

(Land swap between Agriculture Society and Roschman Family Partnership No.1, Ltd. not complete at time of plat preparation)

14.536 Ac.
13.446 Ac.
Allen County Agriculture Society
DV.____, P.____

(Land swap between Roschman Family Partnership No.1, Ltd. and Agriculture Society not complete at time of plat preparation)

9.968 Ac.
Allen County Agriculture Society
DV.641, P.770
Tax Parcel #47-0400-01-002.000
(At time of plat preparation)

18.134 Ac.
Kimco Development of Lima, Inc.
DV.671, P.876

John A. Roschman
DV.533, P.623
Tax Parcel #47-0400-02-005.000

60.088 Ac.
Roschman Family Partnership No.1, Ltd.
DV.772, P.698
Tax Parcel #47-0400-02-005.019

22.085 Acres

NW 1/4, Section 4, Perry Township
30.585 Acres

NE 1/4, Section 4, Perry Township
32.148 Acres

(0.090 Ac. Remainder)

EASTGATE COMMERCIAL PARK

N.E. 1/4 & N.W. 1/4, SEC. 4, T-4-S, R-7-E, PERRY TOWNSHIP, ALLEN COUNTY, OHIO

LEGAL DESCRIPTION

Part of both the northwest and northeast quarters of Section 4, Township-4-South, Range-7-East, Perry Township, Allen County, Ohio, more particularly described by metes and bounds as follows:

Commencing at a hinge nail of record at the northwest corner of said northwest quarter of Section 4, which point is Station 909+07.07 of the centerline of Harding Highway/State Route 309 as shown on sheet 2 of 4 of the right-of-way plans designated ALL-30S-16.73 by the State of Ohio Department of Highways;

thence easterly with said centerline of Harding Highway/State Route 309, which line by record is also the north line of said Section 4, at S 89°48'40"E, 321.27 feet to a railroad spike of record at a deflection point in said centerline, which point is Station 912+28.33 as shown on said right-of-way plans;

thence continuing easterly with said centerline of Harding Highway/State Route 309 at S 89°31'27"E, 2148.53 feet to a railroad spike (set) at the northwest corner of the lands herein described, said point being also the POINT OF BEGINNING;

thence continuing easterly with said centerline of Harding Highway/State Route 309 at S 89°31'27"E, 267.57 feet to a steel form pin (set 1999) at a deflection point in said centerline, which point is Station 936+43.95 as shown on said right-of-way plans;

thence continuing easterly with said centerline of Harding Highway/State Route 309 at S 89°29'26"E, 1044.91 feet to a railroad spike (set) at a point 200.08 feet (record distance is 200.00 feet) westerly from the northeast corner of the grantor's lands;

thence southerly thru the existing right-of-way of Harding Highway/State Route 309 at S 01°27'50"W, 72.90 feet to an iron pipe (set) in the south right-of-way line of said highway, which line was established as a perpetual easement for highway purposes in 1954 based on a journal entry recorded at Deed Volume 474, Page 399;

thence continuing southerly, now with the west line of a 5-acre parcel described in a land contract to the Allen County Agricultural Society (Mortgage Volume 631, Page 537), at S 01°27'50"W, 200.11 feet (record distance is 200.00 feet) to an iron pipe (set) at an angle point in the boundary of said 5-acre parcel;

thence westerly with the boundary of said 5-acre parcel at S 88°15'31"W, 80.79 feet to an iron pipe (found) at the northwest corner of said 5-acre parcel, being also the northeast corner of a 9.968-acre parcel granted to the Allen County Agricultural Society (Deed Volume 641, Page 770);

thence continuing westerly, now with the north line said 9.968-acre parcel at S 88°15'31"W, 200.02 feet to an iron pipe (set);

thence southerly and thru said 9.968-acre parcel at S 01°28'04"W, 500.00 feet to an iron pipe (set);

thence easterly and at a right angle to the previous course at S 88°31'56"E, 40.00 feet to an iron pipe (set);

thence southerly and at a right angle to the previous course at S 01°28'04"W, 70.14 feet to an iron pipe (set) in the north line of a 30-acre parcel granted to the Board of Allen County Commissioners (Deed Volume 545, Page 666);

thence continuing southerly into said 30-acre parcel with an extension of the previous course at S 01°28'04"W, 119.73 feet to an iron pipe (set);

thence westerly at N 89°29'03"W, 222.79 feet to an iron pipe (set);

thence southwesterly at S 34°11'16"W, 178.21 feet to an iron pipe (set);

thence south-southwesterly at S 23°27'24"W, 53.50 feet to an iron pipe (set);

thence west-northwesterly at N 73°34'04"W, 106.86 feet to an iron pipe (set) in the west line of said 30-acre parcel, being also the east line of said 9.968-acre parcel;

thence southerly with said west line of 30-acre parcel at S 01°27'43"W, 946.60 feet to a concrete monument (found) in the north right-of-way line of Bellefontaine Road/State Route 117;

thence west-northwesterly with said north line of Bellefontaine Road/State Route 117 at N 67°44'39"W, 1287.37 feet to an iron pipe (set) at an angle point in said north line;

thence west-northwesterly continuing with said north line of Bellefontaine Road/State Route 117 at N 67°30'52"W, 569.62 feet to an iron pipe (set) at the southeast corner of lands in the name of Kimco Development of Lima, Inc. (Deed Volume 671, Page 876);

thence northerly with said east line of Kimco lands at N 00°28'35"E, 507.29 feet to an iron pipe (set) at the southwest corner of Tax Parcel #47-0400-02-005.000;

thence easterly with the east line of said Tax Parcel #47-0400-02-005.000 at S 89°31'27"E, 200.00 feet to an iron pipe (set) at the southeast corner of said parcel;

thence northerly with the east line of said Tax Parcel #47-0400-02-005.000 at N 00°30'08"E, 156.00 feet to an iron pipe (found) at the southwest corner of lands in the name of Lima Shopping Center Associates, Ltd. (Deed Volume 649, Page 64; Deed Volume 649, Page 110; and Deed Volume 764, Page 198);

thence easterly with the south line of said lands in name of Lima Shopping Center Associates at S 89°32'22"E, 500.27 feet (record distance is 500.00 feet) to an iron pipe (found) at a deflection point in said line;

thence easterly, continuing with said south line of Lima Shopping Center Associates, Ltd., and with its extension, at S 88°42'48"E, 224.98 feet (record distance is 225.02 feet) to an iron pipe (found) at a point 7.00 feet westerly from the southwest corner of lands granted to J&J Enterprises (Deed Volume 708, Page 528; and Deed Volume 764, Page 194) [at 43.17 feet (record distance is 43.20 feet), this course passes an iron pipe (found) at the southeast corner of said Lima Shopping Center Associates, Ltd.];

thence easterly, with the south line of said J&J Enterprises and its extension, at S 89°30'48"E, 127.00 feet to an iron pipe (set 1999) at the southeast corner of said J&J Enterprises;

thence northerly with the east line of said J&J Enterprises at N 00°29'12"E, 242.00 feet to an iron pipe (set 1999) at an angle point in said east line;

thence westerly, thru a jog in said east line of said J&J Enterprises, at N 89°30'48"W, 87.00 feet to an iron pipe (set 1999) at another angle point in said east line;

thence resuming northerly with the east line of said J&J Enterprises at N 00°20'24"E, 150.55 feet (record distance is 150.74 feet) to an iron pipe (set 1999) at the southwest corner of said 1-acre parcel in the name of Gossard;

thence easterly with the south line of said 1-acre parcel at S 88°23'14"E, 165.00 feet to an iron pipe (found) at the southeast corner of said 1-acre parcel;

thence northerly with the east line of said 1-acre parcel, at N 00°28'33"E, 264.00 feet to an iron pipe (found) at the northeast corner of said 1-acre parcel, which point is also in said south right-of-way line of Harding Highway/State Route 309;

thence continuing northerly thru the right-of-way of Harding Highway/State Route 309 at N 00°28'33"E, 84.69 feet to the POINT OF BEGINNING.

This parcel contains a gross area of 62.733 acres, of which the present right-of-way of Harding Highway/State Route 309 occupies 2.678 acres, leaving a net area of 60.055 acres, subject to all other legal easements and restrictions of record.

Of this 62.733 acres, 30.585 acres are in the northwest quarter of said Section 4, and 32.148 acres are in the northeast quarter of said Section 4.

This description is based on surveying work performed under my supervision by Kohli & Kalher Associates, Inc., thru October 19, 2001. Bearings are based on the record bearing for that first portion of the centerline of Harding Highway/State Route 309 bearing easterly from the northwest corner of the northwest quarter of said Section 4. Iron pipes set this survey are 3/4-inch diameter by 30-inch long iron pipes capped with an orange plastic "K&K/LIMA" plug.

Michael G. Buettner
Michael G. Buettner
Ohio Registered Surveyor No. 6881



OWNER'S DEDICATION AND ACKNOWLEDGMENT

We, the undersigned, being all the owners of the land platted herein, do hereby voluntarily consent to the execution of said plat, and dedicate the streets as shown thereon, comprising of a total of 5.814 acres, to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement or removal of water, storm sewer, open ditch, sanitary sewer, gas, electric telephone or other utility lines or services and for the express privilege of removing any trees or other obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

200123848
ROSCHEMAN FAMILY PARTNERSHIP NO1, LTD., a Florida Limited Partnership,
by ROSCHMAN INVESTMENT CORP., a Florida For Profit Corporation
Grantor's Managing General Partner,

Wesley Weeks
Witness

Robert J. Roschman
Robert J. Roschman, President

State of Florida, S.S., Broward County

Be it remembered that on this 9th day of November, 2001, Personally came the said owner listed above, to me known, and acknowledged the signing and execution of the foregoing statement to be his voluntary act and deed.

[Signature]
Notary Public in and for Broward County, Florida

ALLEN COUNTY AGRICULTURE SOCIETY

James F. Blair
Witness
A2 to 1+2

James E. Stout
James E. Stout, President

Dale M. Vandemark
Witness
A5 to 1+2

J. Jay Bagg
J. Jay Bagg, Secretary

State of Ohio, S.S., Allen County

Be it remembered that on this 14th day of November, 2001, Personally came the said owner listed above, to me known, and acknowledged the signing and execution of the foregoing statement to be his voluntary act and deed.

Dale M. Vandemark
Notary Public in and for Allen County, Ohio

APPROVAL BY THE PLANNING COMMISSION

I hereby certify that this plat was approved by the Planning Commission on 13 November 2001.

This approval becomes void unless the plat is filed for recording within ninety (90) days of this approval.

Certified
Thomas M. Meyer
Director, Lima-Allen County Regional Planning Commission

ALLEN COUNTY COMBINED HEALTH DISTRICT

I hereby certify that this plat meets the requirements of the Allen County Combined Health District.

Billy Kelly
Director, Allen County Combined Health District

COUNTY ENGINEER'S CERTIFICATION

Having checked the construction of the streets in the subdivision, I find that they have been constructed in accordance with the specifications set forth on the plans and regulations thereof, and that they are in good repair and this endorsement shall constitute acceptance of the streets for public use.

If the streets have not been installed, I am in agreement with the performance bond to insure the completion of construction which has been filed with and approved by the Planning Commission.

Wayne C. Ludeman
Allen County Engineer

COUNTY AUDITOR

I hereby certify that the land described by this plat was transferred on Nov 20, 2001

Y. Dean French
Allen County Auditor
Fee 1.50 KH.

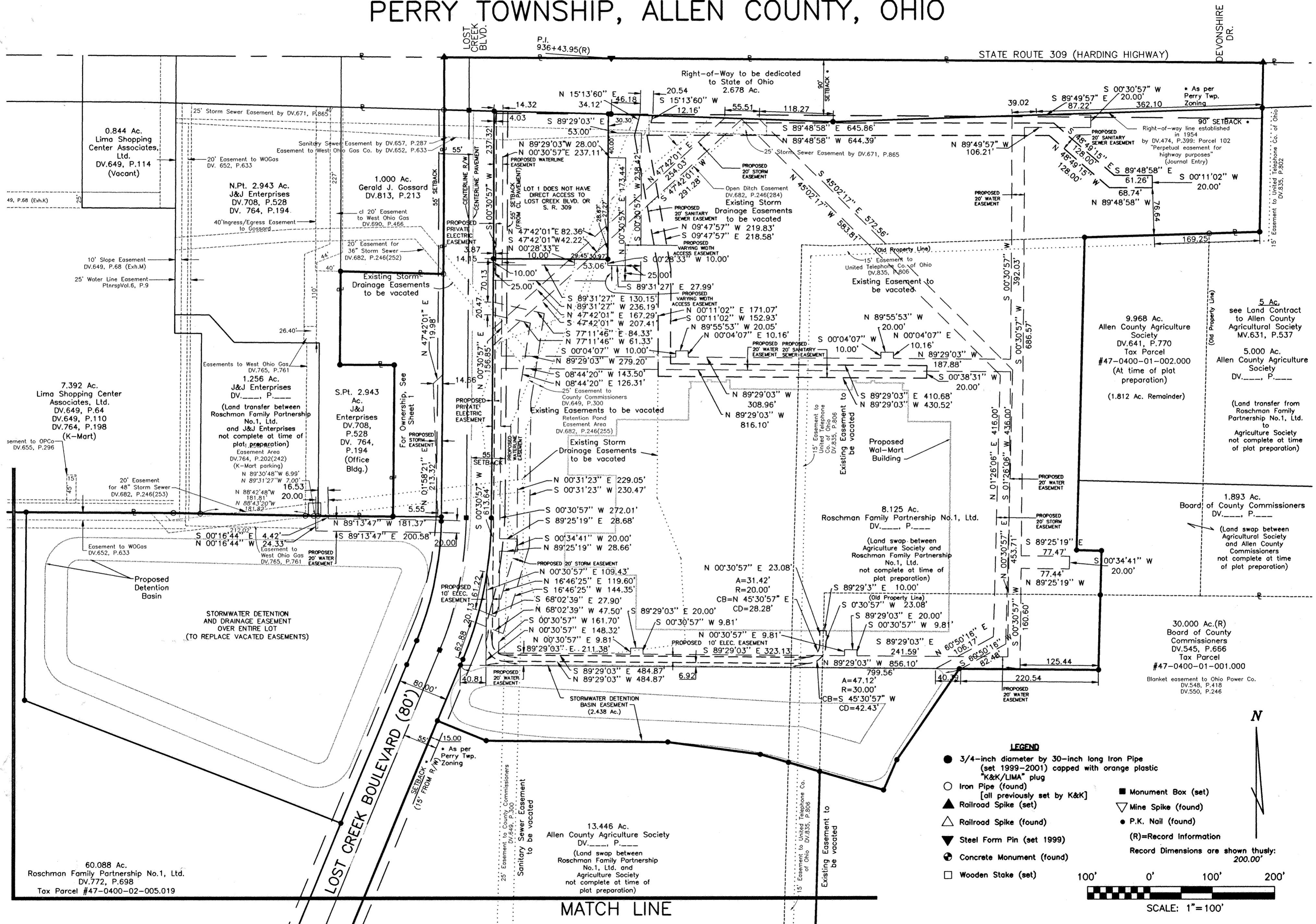
COUNTY RECORDER

I hereby certify that this plat was filed for recording on Nov 20, 2001, and that it was recorded on 2001, in Vol. 24, Page 114, plat records of Allen County, Ohio. Fee \$165.60

Edward P. Kirk
Allen County Recorder
b4
MH

EASTGATE COMMERCIAL PARK

N.E. 1/4 & N.W. 1/4, SEC. 4, T-4-S, R-7-E, PERRY TOWNSHIP, ALLEN COUNTY, OHIO



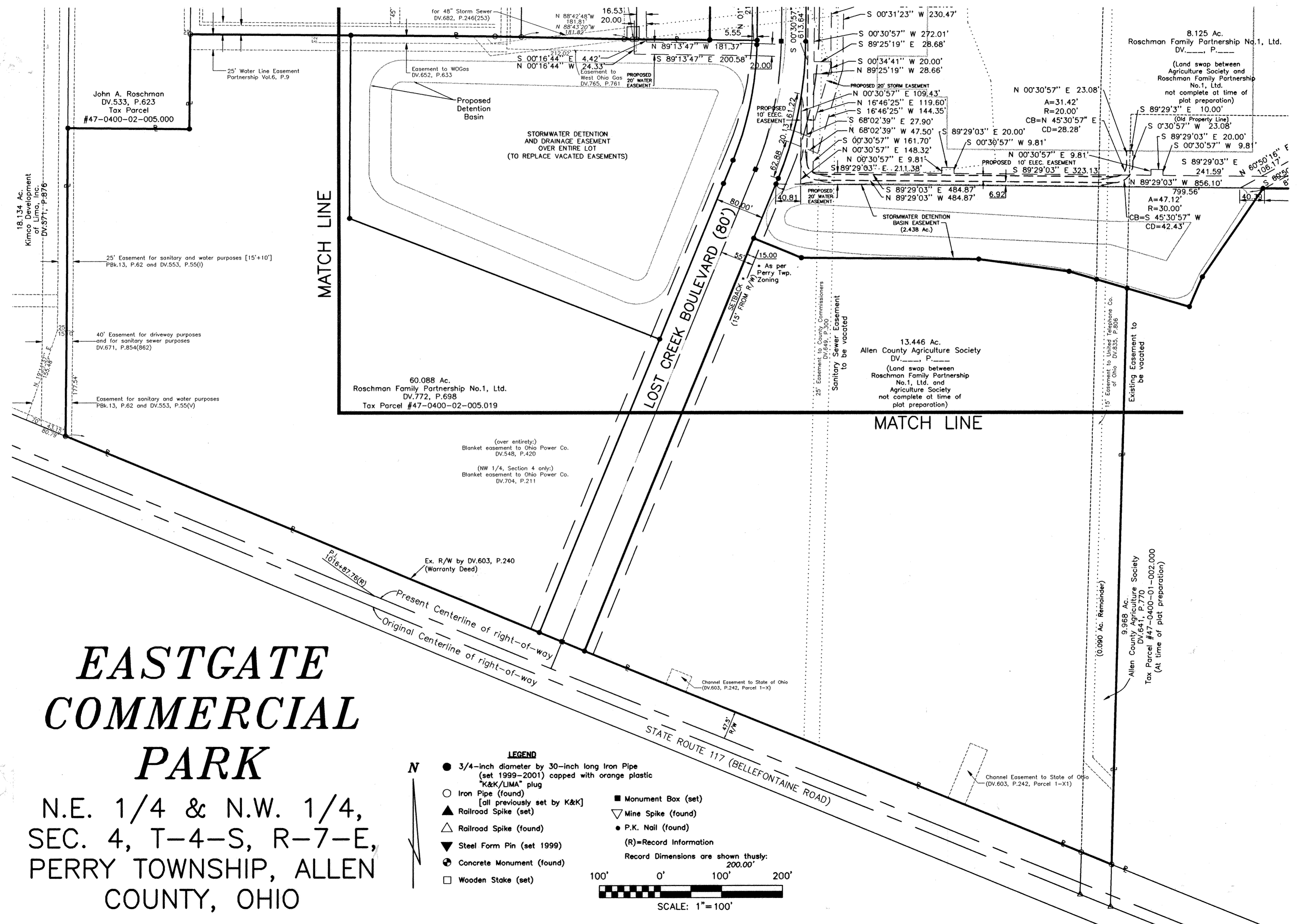
LEGEND

- 3/4-inch diameter by 30-inch long Iron Pipe (set 1999-2001) capped with orange plastic "K&K/LIMA" plug
- Iron Pipe (found) [all previously set by K&K]
- ▲ Railroad Spike (set)
- △ Railroad Spike (found)
- ▼ Steel Form Pin (set 1999)
- ⊕ Concrete Monument (found)
- Wooden Stake (set)
- Monument Box (set)
- ▽ Mine Spike (found)
- P.K. Nail (found)
- (R)=Record Information

Record Dimensions are shown thusly:
200.00'

SCALE: 1"=100'

MATCH LINE



EASTGATE COMMERCIAL PARK

N.E. 1/4 & N.W. 1/4,
SEC. 4, T-4-S, R-7-E,
PERRY TOWNSHIP, ALLEN
COUNTY, OHIO

LEGEND

- 3/4-inch diameter by 30-inch long Iron Pipe (set 1999-2001) capped with orange plastic "K&K/LIMA" plug
- Iron Pipe (found) [all previously set by K&K]
- ▲ Railroad Spike (set)
- △ Railroad Spike (found)
- ▼ Steel Form Pin (set 1999)
- ⊕ Concrete Monument (found)
- Wooden Stake (set)
- Monument Box (set)
- ▽ Mine Spike (found)
- P.K. Nail (found)
- (R)=Record Information

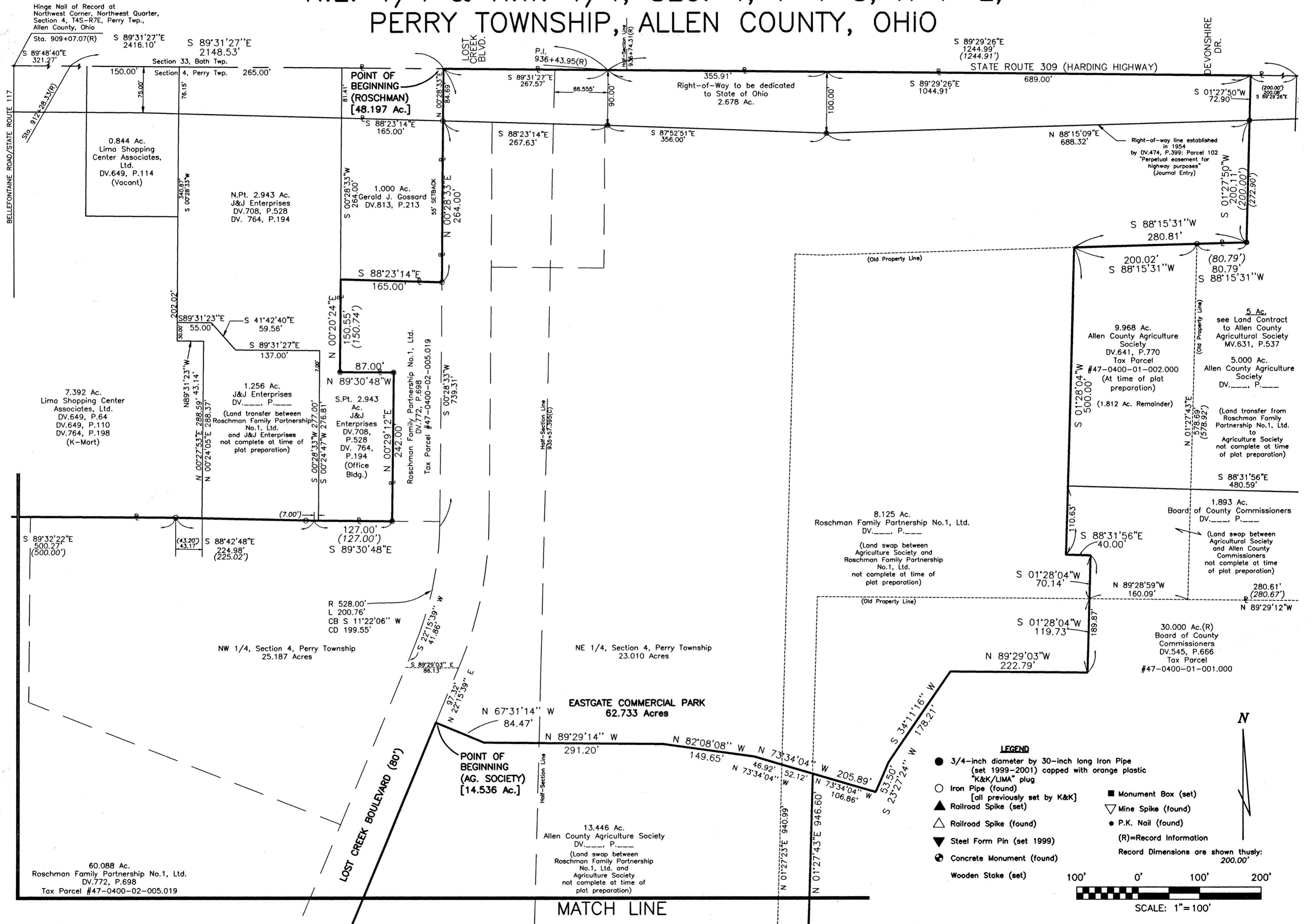
Record Dimensions are shown thusly:
200.00'

100' 0' 100' 200'

SCALE: 1"=100'

SURVEY OF DEDICATORS' LANDS for *EASTGATE COMMERCIAL PARK*

N.E. 1/4 & N.W. 1/4, SEC. 4, T-4-S, R-7-E,
PERRY TOWNSHIP, ALLEN COUNTY, OHIO



LEGEND

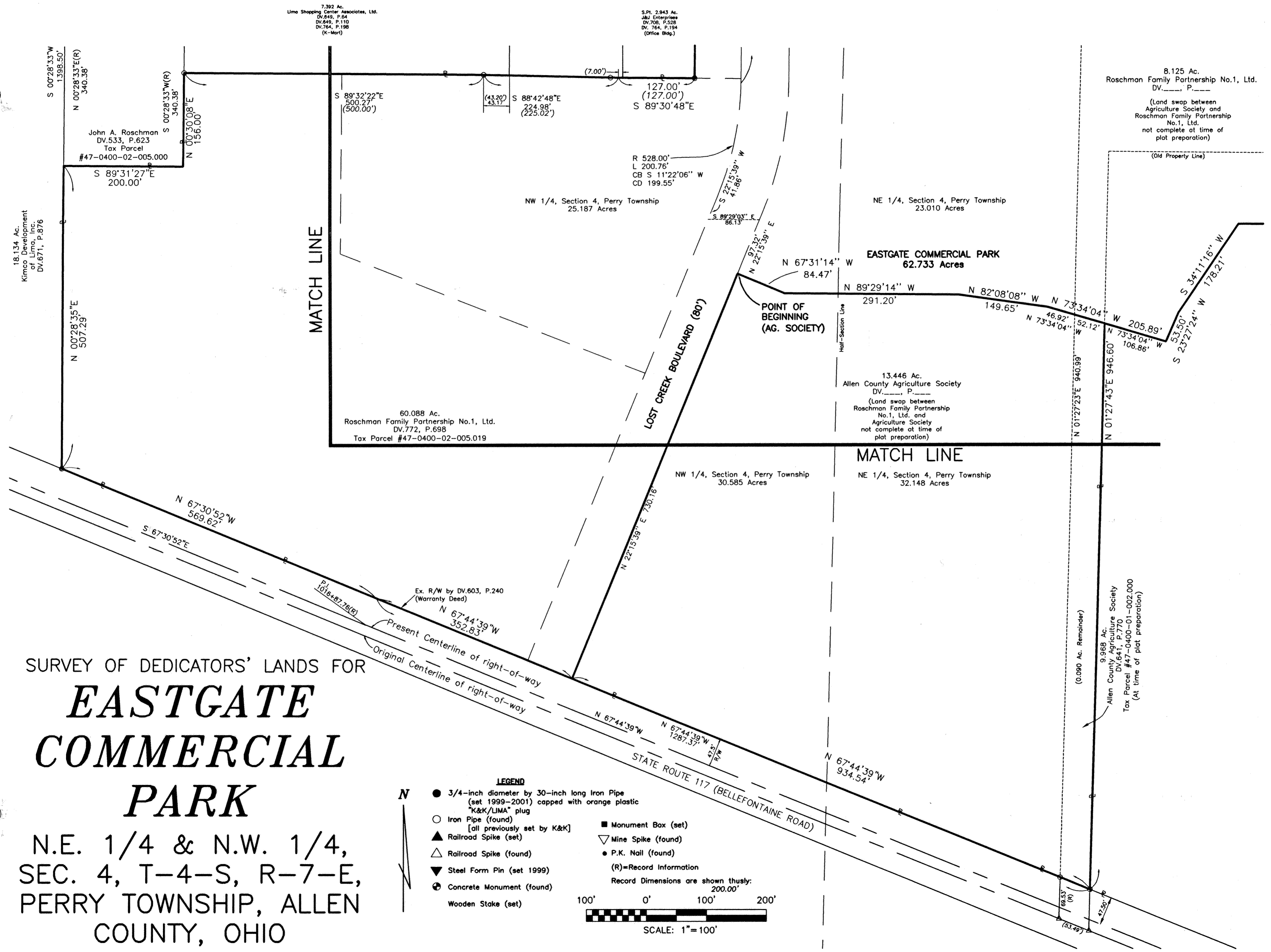
- 3/4-inch diameter by 30-inch long Iron Pipe (set 1999-2001) capped with orange plastic "K&K/LIMA" plug
- Iron Pipe (found)
- ▲ Railroad Spike (set)
- △ Railroad Spike (found)
- ▼ Steel Form Pin (set 1999)
- ⊙ Concrete Monument (found)
- Monument Box (set)
- ▽ Mine Spike (found)
- P.K. Nail (found)
- (R)=Record Information

Record Dimensions are shown thusly:
200.00'

100' 0' 100' 200'

SCALE: 1"=100'

MATCH LINE



SURVEY OF DEDICATORS' LANDS FOR
**EASTGATE
COMMERCIAL
PARK**
N.E. 1/4 & N.W. 1/4,
SEC. 4, T-4-S, R-7-E,
PERRY TOWNSHIP, ALLEN
COUNTY, OHIO

LEGEND

- 3/4-inch diameter by 30-inch long Iron Pipe (set 1999-2001) capped with orange plastic "K&K/LIMA" plug
- Iron Pipe (found) [all previously set by K&K]
- ▲ Railroad Spike (set)
- △ Railroad Spike (found)
- ▼ Steel Form Pin (set 1999)
- ⊕ Concrete Monument (found)
- ⊙ Wooden Stake (set)
- Monument Box (set)
- ▽ Mine Spike (found)
- P.K. Nail (found)
- (R)=Record Information

Record Dimensions are shown thusly:
200.00'

100' 0' 100' 200'

SCALE: 1"=100'

121
SHEET 8 OF 8

SURVEY OF DEDICATORS' LANDS for
EASTGATE COMMERCIAL PARK

N.E. 1/4 & N.W. 1/4, SEC. 4, T-4-S, R-7-E,
PERRY TOWNSHIP, ALLEN COUNTY, OHIO

LEGAL DESCRIPTION - ROSCHMAN LANDS

Part of both the northwest and northeast quarters of Section 4, Township-4-South, Range-7-East, Perry Township, Allen County, Ohio, more particularly described by metes and bounds as follows:

Commencing at a hinge nail of record at the northwest corner of said northwest quarter of Section 4, which point is Station 909+07.07 of the centerline of Harding Highway/State Route 309 as shown on sheet 2 of 4 of the right-of-way plans designated ALL-30S-16.73 by the State of Ohio Department of Highways;

thence easterly with said centerline of Harding Highway/State Route 309, which line by record is also the north line of said Section 4, at S 89°48'40"E, 321.27 feet to a railroad spike of record at a deflection point in said centerline, which point is Station 912+28.33 as shown on said right-of-way plans;

thence continuing easterly with said centerline of Harding Highway/State Route 309 at S 89°31'27"E, 2148.53 feet to a railroad spike (set) at the northwest corner of the lands herein described, said point being also the POINT OF BEGINNING;

thence continuing easterly with said centerline of Harding Highway/State Route 309 at S 89°31'27"E, 267.57 feet to a steel form pin (set 1999) at a deflection point in said centerline, which point is Station 936+43.95 as shown on said right-of-way plans;

thence continuing easterly with said centerline of Harding Highway/State Route 309 at S 89°29'26"E, 1044.91 feet to a railroad spike (set) at a point 200.08 feet (record distance is 200.00 feet) westerly from the northeast corner of the grantor's lands;

thence southerly thru the existing right-of-way of Harding Highway/State Route 309 at S 01°27'50"W, 72.90 feet to an iron pipe (set) in the south right-of-way line of said highway, which line was established as a perpetual easement for highway purposes in 1954 based on a journal entry recorded at Deed Volume 474, Page 399;

thence continuing southerly, now with the west line of a 5-acre parcel described in a land contract to the Allen County Agricultural Society (Mortgage Volume 631, Page 537), at S 01°27'50"W, 200.11 feet (record distance is 200.00 feet) to an iron pipe (set) at an angle point in the boundary of said 5-acre parcel;

thence westerly with the boundary of said 5-acre parcel at S 88°15'31"W, 80.79 feet to an iron pipe (found) at the northwest corner of said 5-acre parcel, being also the northeast corner of a 9.968-acre parcel granted to the Allen County Agricultural Society (Deed Volume 641, Page 770);

thence continuing westerly, now with the north line said 9.968-acre parcel at S 88°15'31"W, 200.02 feet to an iron pipe (set);

thence southerly and thru said 9.968-acre parcel at S 01°28'04"W, 500.00 feet to an iron pipe (set);

thence easterly and at a right angle to the previous course at S 88°31'56"E, 40.00 feet to an iron pipe (set);

thence southerly and at a right angle to the previous course at S 01°28'04"W, 70.14 feet to an iron pipe (set) in the north line of a 30-acre parcel granted to the Board of Allen County Commissioners (Deed Volume 545, Page 666);

thence continuing southerly into said 30-acre parcel with an extension of the previous course at S 01°28'04"W, 119.73 feet to an iron pipe (set);

thence westerly at N 89°29'03"W, 222.79 feet to an iron pipe (set);

thence southwesterly at S 34°11'16"W, 178.21 feet to an iron pipe (set);

thence south-southwesterly at S 23°27'24"W, 53.50 feet to an iron pipe (set);

thence west-northwesterly at N 73°34'04"W, 106.86 feet to an iron pipe (set) in the west line of said 30-acre parcel, being also the east line of said 9.968-acre parcel [this point bears N 01°27'43"E, 946.60 feet from a concrete monument (found) in the north right-of-way line of Bellefontaine Road/State Route 117];

thence continuing west-northwesterly, now thru said 9.968-acre parcel, at N 73°34'04"W, 52.12 feet to an iron pipe (set) in the west line of said 9.968-acre parcel, being also the east line of lands granted to the Roschman Family Partnership No.1, Ltd. (Deed Volume 772, Page 698) [this point bears N 01°27'23"E, 940.99 feet from an iron pipe (found) in said north right-of-way line of Bellefontaine Road/State Route 117];

thence continuing west-northwesterly, now into the lands of said Roschman Family Partnership No.1, Ltd., at N 73°34'04"W, 46.91 feet to an iron pipe (set);

thence westerly at N 82°08'08"W, 149.65 feet to an iron pipe (set);

thence westerly at N 89°29'14"W, 291.20 feet to an iron pipe (set);

thence west-northwesterly at N 67°31'14"W, 84.47 feet to an iron pipe (set) in the proposed east line of Lost Creek Boulevard;

thence south-southwesterly at S 22°15'39"W, 730.16 feet to an iron pipe (set) in the north right-of-way line of Bellefontaine Road/State Route 117;

thence west-northwesterly with said north line of Bellefontaine Road/State Route 117 at N 67°44'39"W, 352.83 feet to an iron pipe (set) at an angle point in said north line;

thence west-northwesterly continuing with said north line of Bellefontaine Road/State Route 117 at N 67°30'52"W, 569.62 feet to an iron pipe (set) at the southeast corner of lands in the name of Kimco Development of Lima, Inc. (Deed Volume 671, Page 876);

thence northerly with said east line of Kimco lands at N 00°28'35"E, 507.29 feet to an iron pipe (set) at the southwest corner of Tax Parcel #47-0400-02-005.000;

thence easterly with the east line of said Tax Parcel #47-0400-02-005.000 at S 89°31'27"E, 200.00 feet to an iron pipe (set) at the southeast corner of said parcel;

thence northerly with the east line of said Tax Parcel #47-0400-02-005.000 at N 00°30'08"E, 156.00 feet to an iron pipe (found) at the southwest corner of lands in the name of Lima Shopping Center Associates, Ltd. (Deed Volume 649, Page 64; Deed Volume 649, Page 110; and Deed Volume 764, Page 198);

thence easterly with the south line of said lands in name of Lima Shopping Center Associates at S 89°32'22"E, 500.27 feet (record distance is 500.00 feet) to an iron pipe (found) at a deflection point in said line;

thence easterly, continuing with said south line of Lima Shopping Center Associates, Ltd., and with its extension, at S 88°42'48"E, 224.98 feet (record distance is 225.02 feet) to an iron pipe (found) at a point 7.00 feet westerly from the southwest corner of lands granted to J&J Enterprises (Deed Volume 708, Page 528; and Deed Volume 764, Page 194) [at 43.17 feet (record distance is 43.20 feet), this course passes an iron pipe (found) at the southeast corner of said Lima Shopping Center Associates, Ltd.];

thence easterly, with the south line of said J&J Enterprises and its extension, at S 89°30'48"E, 127.00 feet to an iron pipe (set 1999) at the southeast corner of said J&J Enterprises;

thence northerly with the east line of said J&J Enterprises at N 00°29'12"E, 242.00 feet to an iron pipe (set 1999) at an angle point in said east line;

thence westerly, thru a jog in said east line of said J&J Enterprises, at N 89°30'48"W, 87.00 feet to an iron pipe (set 1999) at another angle point in said east line;

thence resuming northerly with the east line of said J&J Enterprises at N 00°20'24"E, 150.55 feet (record distance is 150.74 feet) to an iron pipe (set 1999) at the southwest corner of said 1-acre parcel in the name of Gossard;

thence easterly with the south line of said 1-acre parcel at S 88°23'14"E, 165.00 feet to an iron pipe (found) at the southeast corner of said 1-acre parcel;

thence northerly with the east line of said 1-acre parcel, at N 00°28'33"E, 264.00 feet to an iron pipe (found) at the northeast corner of said 1-acre parcel, which point is also in said south right-of-way line of Harding Highway/State Route 309;

thence continuing northerly thru the right-of-way of Harding Highway/State Route 309 at N 00°28'33"E, 84.69 feet to the POINT OF BEGINNING.

This parcel contains a gross area of 48.197 acres, of which the present right-of-way of Harding Highway/State Route 309 occupies 2.678 acres, leaving a net area of 45.519 acres, subject to all other legal easements and restrictions of record.

Of this 48.197 acres, 25.187 acres are in the northwest quarter of said Section 4, and 23.010 acres are in the northeast quarter of said Section 4.

This description is based on surveying work performed under my supervision by Kohli & Kalher Associates, Inc., thru October 22, 2001. Bearings are based on the record bearing for that first portion of the centerline of Harding Highway/State Route 309 bearing easterly from the northwest corner of the northwest quarter of said Section 4. Iron pipes set this survey are 3/4-inch diameter by 30-inch long iron pipes capped with an orange plastic "K&K/LIMA" plug.

Michael G. Buettner

Michael G. Buettner
Ohio Registered Surveyor No. 6881

LEGAL DESCRIPTION - AG. SOCIETY LANDS

Part of both the northwest and northeast quarters of Section 4, Township-4-South, Range-7-East, Perry Township, Allen County, Ohio, being also part of Allen County Tax Parcel No.47-0400-02-005.000, more particularly described by metes and bounds as follows:

Commencing at a hinge nail of record at the northwest corner of said northwest quarter of Section 4, which point is Station 909+07.07 of the centerline of Harding Highway/State Route 309 as shown on sheet 2 of 4 of the right-of-way plans designated ALL-30S-16.73 by the State of Ohio Department of Highways;

thence easterly with said centerline of Harding Highway/State Route 309, which line by record is also the north line of said Section 4, at S 89°48'40"E, 321.27 feet to a railroad spike of record at a deflection point in said centerline, which point is Station 912+28.33 as shown on said right-of-way plans;

thence continuing easterly with said centerline of Harding Highway/State Route 309 at S 89°31'27"E, 2148.53 feet to a railroad spike (set) [cf., K&K Drawing #L-1136];

thence southerly with the west line of a future 80-foot roadway at S 00°28'33"W, 739.31 feet to an iron pipe (set) at a point of curvature in said west line;

thence generally southerly with said west line and with a curve concave westerly an arc distance of 200.76 feet thru a radius of 528.00 feet (chord bears S 11°22'06"W, 199.55 feet) to an iron pipe (set) at a point of tangency in said west line;

thence south-southwesterly with said west line at S 22°15'39"W, 41.86 feet to an iron pipe (set);

thence easterly at S 89°29'03"E, 86.13 feet to an iron pipe (set) in the east line of said future 80-foot roadway;

thence south-southwesterly with said east line of roadway at S 22°15'39"W, 97.32 feet to an iron pipe (set), which point is the northwest corner of the parcel herein described, and the POINT OF BEGINNING;

thence east-southeasterly at S 67°31'14"E, 84.47 feet to an iron pipe (set);

thence easterly at S 89°29'14"E, 291.20 feet to an iron pipe (set);

thence easterly at S 82°08'08"E, 149.65 feet to an iron pipe (set);

thence east-southeasterly at S 73°34'04"E, 46.91 feet to an iron pipe (set) in the west line of lands in the name of the Allen County Agriculture Society (Deed Volume 641, Page 770);

thence east-southeasterly at S 73°34'04"E, 52.12 feet to an iron pipe (set) in the east line of lands in the name of the Allen County Agriculture Society (Deed Volume 641, Page 770);

thence southerly with said east line of Agriculture Society lands at S 01°27'43"W, 946.60 feet to a concrete monument (found) in the north line of Bellefontaine Road/State Route 117 (see warranty deed to State of Ohio recorded at Deed Volume 603, Page 240);

thence west-northwesterly with said north line of Bellefontaine Road/State Route 117 at N 67°44'39"W, 934.54 feet to an iron pipe (set) in said east line of 80-foot roadway;

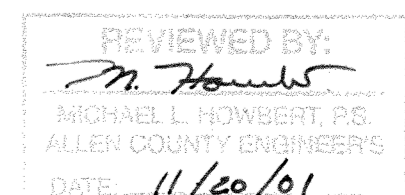
thence north-northeasterly with said east line of 80-foot roadway at N 22°15'39"E, 730.16 feet to the POINT OF BEGINNING.

This parcel contains a gross area of 14.536 acres, of which no area is occupied by any present roadway, thus leaving a net area also of 14.536 acres. Of this 14.536 acres, 5.398 acres are in the northwest quarter of Section 4, and 9.138 acres are in the northeast quarter of Section 4.

This description is based on surveying work performed under my supervision by Kohli & Kalher Associates, Inc., thru October 22, 2001. Bearings are based on the record bearing for that first portion of the centerline of Harding Highway/State Route 309 bearing easterly from the northwest corner of the northwest quarter of said Section 4. Iron pipes set this survey are 3/4-inch diameter by 30-inch long iron pipes capped with an orange plastic "K&K/LIMA" plug. Reference shall be made to K&K Drawing No. L-1147-R for a graphic representation of this survey.

Michael G. Buettner

Michael G. Buettner
Ohio Registered Surveyor No. 6881

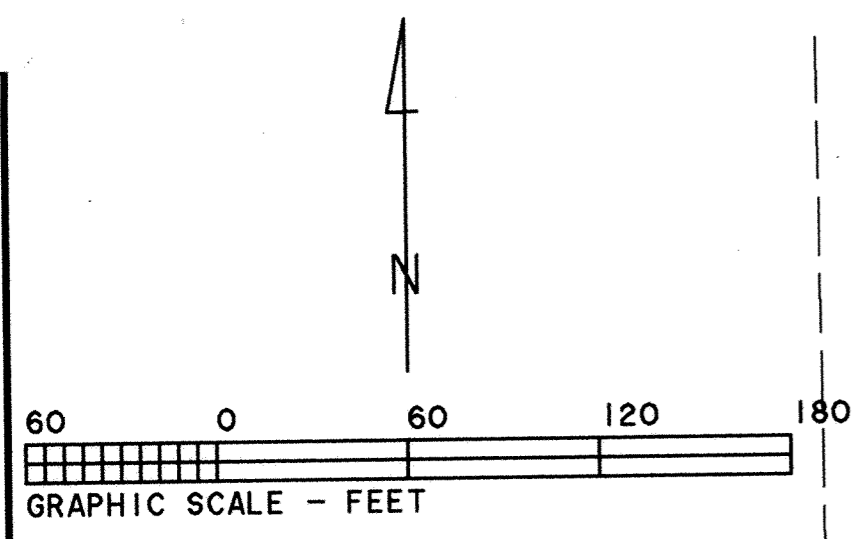


SPRINGBROOK GREENS CONDOMINIUMS NO. 5

Part of the NW 1/4 of Section 7, T3S, R7E, Bath Twp., Allen Co., Oh.

R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

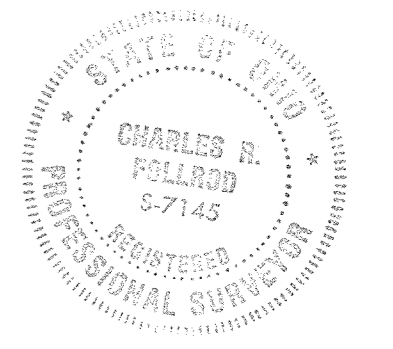
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	60.00'	93.44'	89° 13' 31"	84.28'	N 44° 06' 11" E
C-2	100.00'	87.87'	50° 20' 50"	85.07'	N 24° 39' 51" E
C-3	75.00'	50.89'	38° 52' 41"	49.92'	N 69° 16' 37" E
C-4	40.00'	63.37'	90° 46' 29"	56.95'	S 45° 53' 48" E
C-5	75.00'	52.36'	40° 00' 00"	51.30'	S 20° 30' 34" E
C-6	100.00'	69.81'	40° 00' 00"	68.40'	S 20° 30' 34" E



- Limited Common Area
- Expandable Area
- Fnd. P.K. Nail
- Fnd. #5 Rebar
- Fnd. 3/4" Pipe
- Set #5 Rebar
- Set P.K. Nail

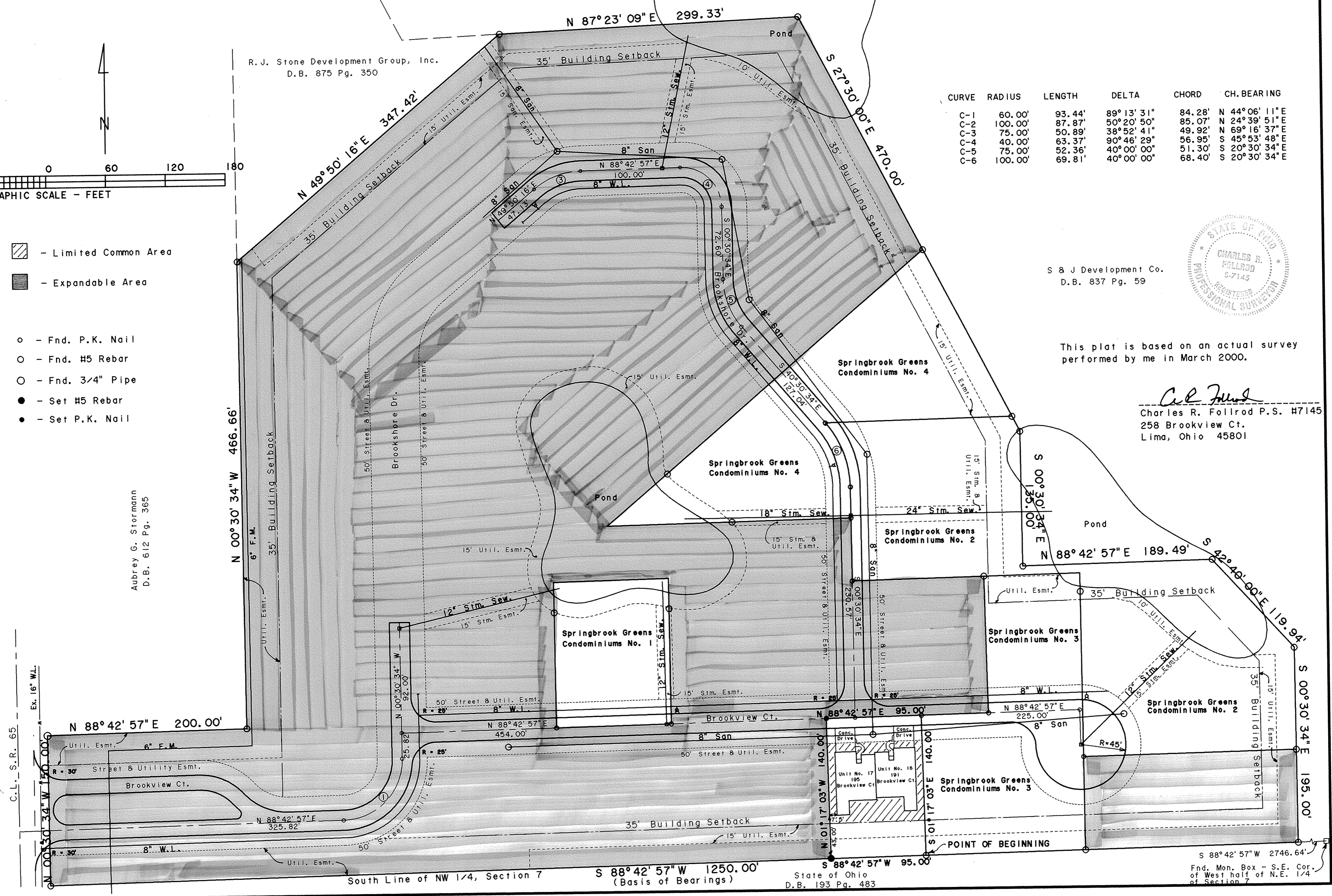
Aubrey G. Stormann
D.B. 612 Pg. 365

S & J Development Co.
D.B. 837 Pg. 59



This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
Charles R. Follrod P.S. #7145
258 Brookview Ct.
Lima, Ohio 45801



S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483

S 88° 42' 57" W 2746.64'
Fnd. Mon. Box - S.E. Cor.
of West half of N.E. 1/4
of Section 7

SPRINGBROOK GREENS CONDOMINIUMS NO. 5

DESCRIPTION (Private Street & Utility Easement - Brookview Ct./Brookshore Dr.)

SPRINGBROOK GREENS CONDOMINIUMS NO. 5, consists of a part of the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of SPRINGBROOK GREENS CONDOMINIUMS NO. 5, one page of descriptions, one page of floor plans, one page of elevation views of the buildings and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities and the expandable area. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

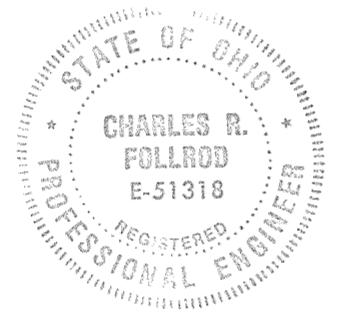
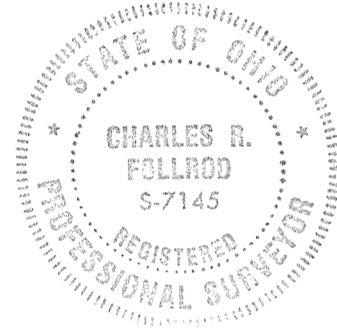
No. 200124303
Filed for record this 28th day of November, 2001 at 12:49 o'clock
P.M. in the office of the Allen County Recorder and recorded in Plat Book 24 on Page 122

Fee: 103.50

Edward P Kirk
RECORDER, Allen County, Ohio *by mh*

For DECLARATIONS see Deed Volume 890 Page 97

200124303



DESCRIPTION (Springbrook Greens Condominiums No. 5)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Beginning at a found #5 rebar at the Southwest corner of Springbrook Greens Condominiums No. 3 and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W with the south line of said NW 1/4 of Section 7, 95.00' to a set #5 rebar;
- N01°17'03"W, 140.00' to a set P.K. nail;
- N88°42'57"E, 95.00' to a found P.K. nail;
- S01°17'03"E, 140.00' to the POINT OF BEGINNING.

The above described parcel contains 0.305 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001

REVIEWED BY:
M. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 11/20/01

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3996.64' to a found #5 rebar on the right-of-way line of S.R. 65, thence N00°30'34"W with said right-of-way, 30.00' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W with said right-of-way, 90.01';
- N88°42'57"E, 150.50';
- Southeasterly on a curve to the right an arc distance of 63.08', said curve having a radius of 75.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 61.24';
- Southeasterly on a curve to the left an arc distance of 37.85', said curve having a radius of 45.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 36.74';
- N88°42'57"E, 55.00';
- Northeasterly on a curve to the left an arc distance of 54.50', said curve having a radius of 35.00', a delta angle of 89°13'31", and an L.C. of N44°06'12"E, 49.16';
- N00°30'34"W, 400.00';
- Northeasterly on a curve to the right an arc distance of 109.84', said curve having a radius of 125.00', a delta angle of 50°20'50", and an L.C. of N24°39'51"E, 106.34';
- N49°50'16"E, 140.00';
- Northeasterly on a curve to the right an arc distance of 67.86', said curve having a radius of 100.00', a delta angle of 38°52'41", and an L.C. of N69°16'37"E, 66.56';
- N88°42'57"E, 100.00';
- Southeasterly on a curve to the right an arc distance of 102.98', said curve having a radius of 65.00', a delta angle of 90°46'29", and an L.C. of S45°53'49"E, 92.54';
- S00°30'34"E, 72.60';
- Southeasterly on a curve to the left an arc distance of 34.91', said curve having a radius of 50.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 34.20';
- S40°30'34"E, 127.04';
- Southeasterly on a curve to the right an arc distance of 87.27', said curve having a radius of 125.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 85.51';
- S00°30'34"E, 205.23';
- S88°42'57"W, 50.00';
- N00°30'34"W, 205.90';
- Northwesterly on a curve to the left an arc distance of 52.36', said curve having a radius of 75.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 51.30';
- N40°30'34"W, 127.04';
- Northwesterly on a curve to the right an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 68.40';
- N00°30'34"W, 72.60';
- Northwesterly on a curve to the left an arc distance of 23.76', said curve having a radius of 15.00', a delta angle of 90°46'29", and an L.C. of N45°53'48"W, 21.36';
- S88°42'57"W, 100.00';
- Southwesterly on a curve to the left an arc distance of 33.93', said curve having a radius of 50.00', a delta angle of 38°52'41", and an L.C. of S69°16'36"W, 33.28';
- S49°50'16"W, 140.00';
- Southwesterly on a curve to the left an arc distance of 65.90', said curve having a radius of 75.00', a delta angle of 50°20'50", and an L.C. of S24°39'51"W, 63.80';
- S00°30'34"E, 400.00';
- Southwesterly on a curve to the right an arc distance of 132.37', said curve having a radius of 85.00', a delta angle of 89°13'31", and an L.C. of S44°06'12"W, 119.39';
- S88°42'57"W, 296.16' to the POINT OF BEGINNING.

The above described easement contains 2.202 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

(Private Street & Utility Easement - Brookview Ct.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3616.62' to a point, thence N00°30'34"W, 115.01' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W, 50.00';
- N88°42'57"E, 653.66';
- Southwesterly on a curve to the right an arc distance of 292.79', said curve having a radius of 60.00', a delta angle of 279°35'39" and an L.C. of S48°30'46"W, 77.46';
- S88°42'57"W, 595.17' to the POINT OF BEGINNING.

The above described easement contains 0.959 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Total Private Street & Utility Easement = 3.161 acres

DESCRIPTION (Springbrook Greens Condominiums No. 5 Dedicator's Land)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

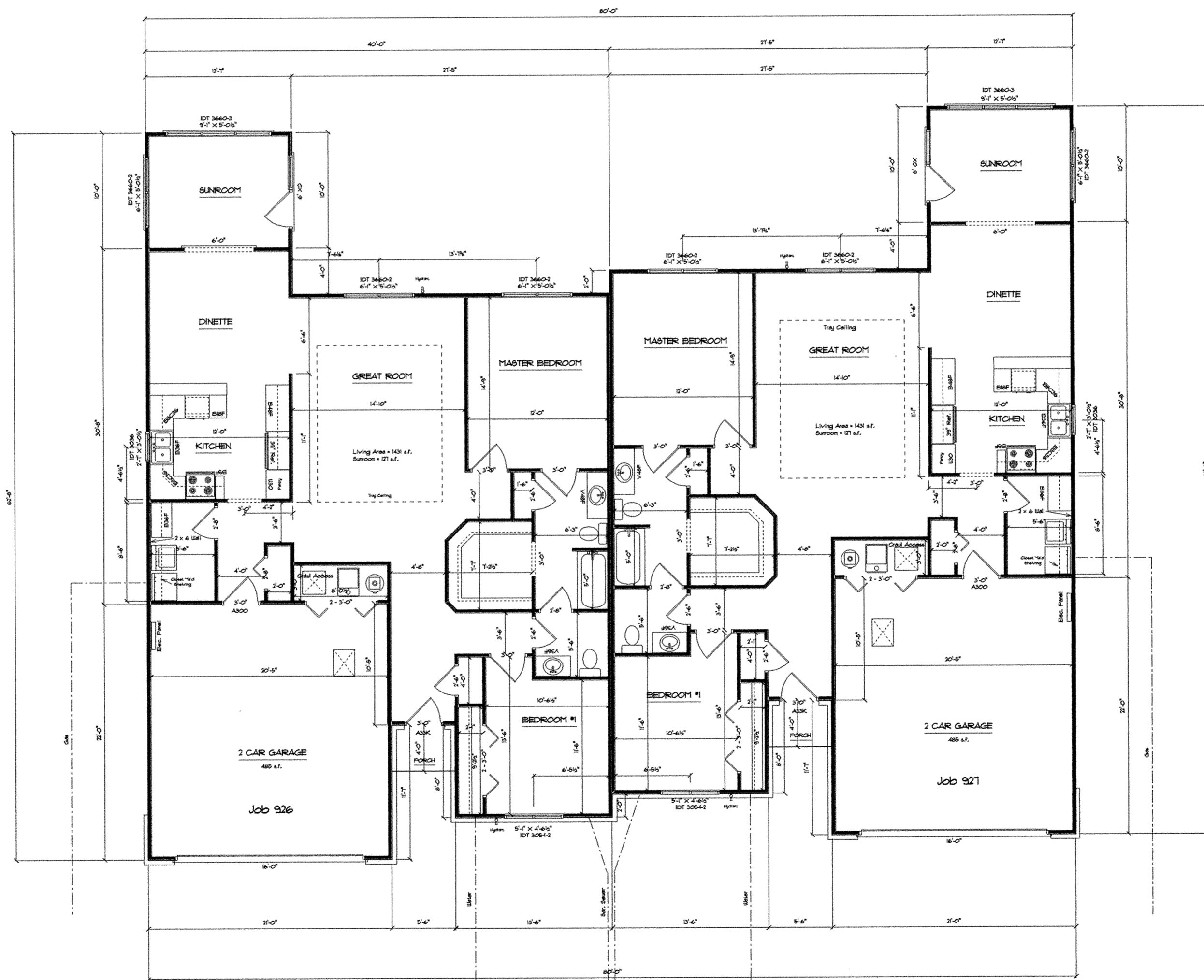
Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W with the south line of the NW 1/4 of Section 7, 1250.00' to a found #5 rebar on the right-of-way line of S.R. 65, passing over a found #5 rebar at 1200.00' also on the right-of-way line of S.R. 65;
- N00°30'34"W with the right-of-way line of S.R. 65, 150.00' to a found 3/4" pipe;
- N88°42'57"E, 200.00' to a found #5 rebar;
- N00°30'34"W, 466.66' to a found #5 rebar;
- N49°50'16"E, 347.42' to a found #5 rebar;
- N87°23'09"E, 299.33' to a found #5 rebar;
- S27°30'00"E, 470.00' to a found #5 rebar;
- S00°30'34"E, 135.00' to a found #5 rebar;
- N88°42'57"E, 189.49' to a found #5 rebar;
- S42°40'00"E, 119.94' to a found #5 rebar;
- S00°30'34"E, 195.00' to the POINT OF BEGINNING.

The above described parcel contains 15.673 acres more or less, subject to all legal highways and easements of record.

- SAVE AND EXCEPT**
- (Springbrook Greens Condominiums No. 1 - Acreage = 0.383 ac.)
(For Description - See P.B. 24, Pg. 30)
 - (Springbrook Greens Condominiums No. 2 - Acreage = 1.502 ac.)
(For Description - See P.B. 24, Pg. 35)
 - (Springbrook Greens Condominiums No. 3 - Acreage = 0.814 ac.)
(For Description - See P.B. 24, Pg. 62)
 - (Springbrook Greens Condominiums No. 4 - Acreage = 0.965 ac.)
(For Description - See P.B. 24, Pg. 70)

The total dedicator's land contains 12.009 acres more or less subject to all legal highways and easements of record.



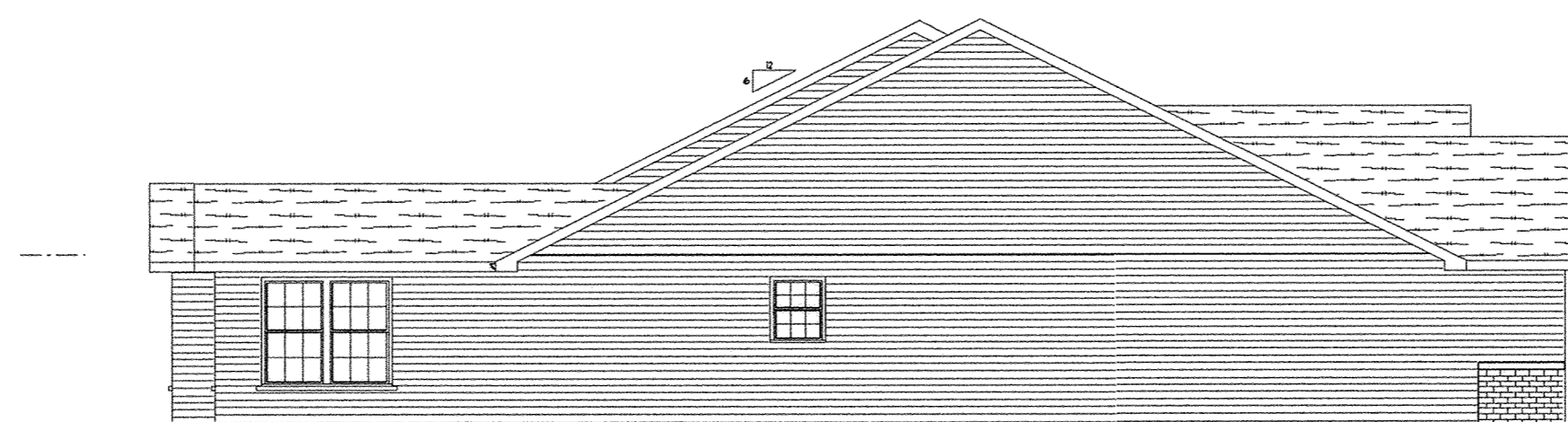
Unit No. 16
131 Brookview Ct.

Unit No. 17
135 Brookview Ct.

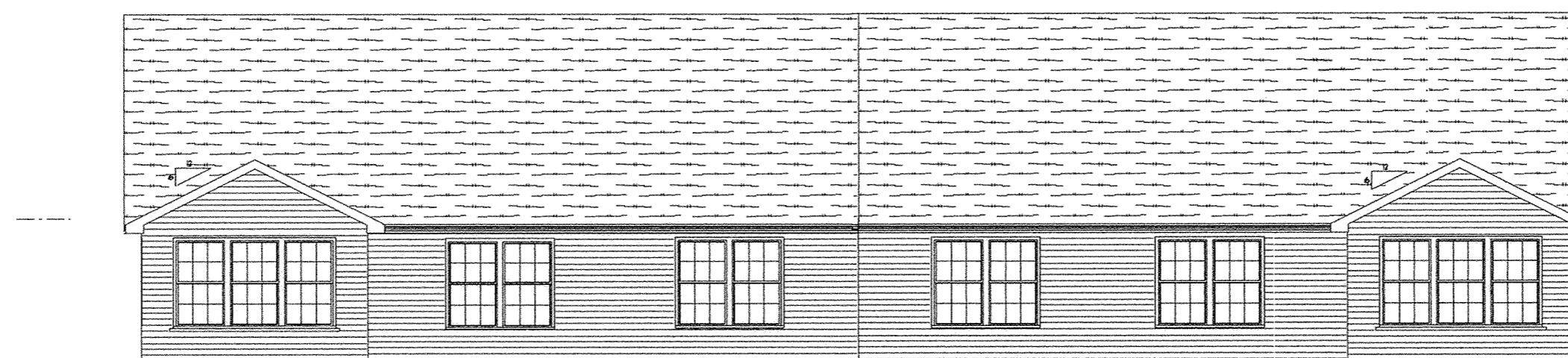
Note: Framer to install cabinet blocking.



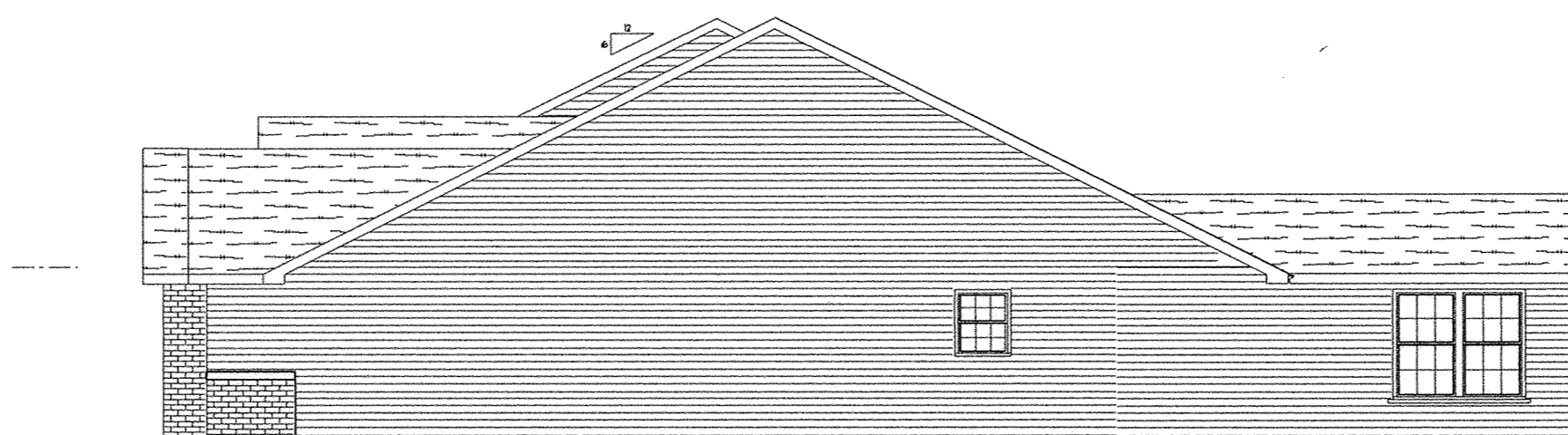
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

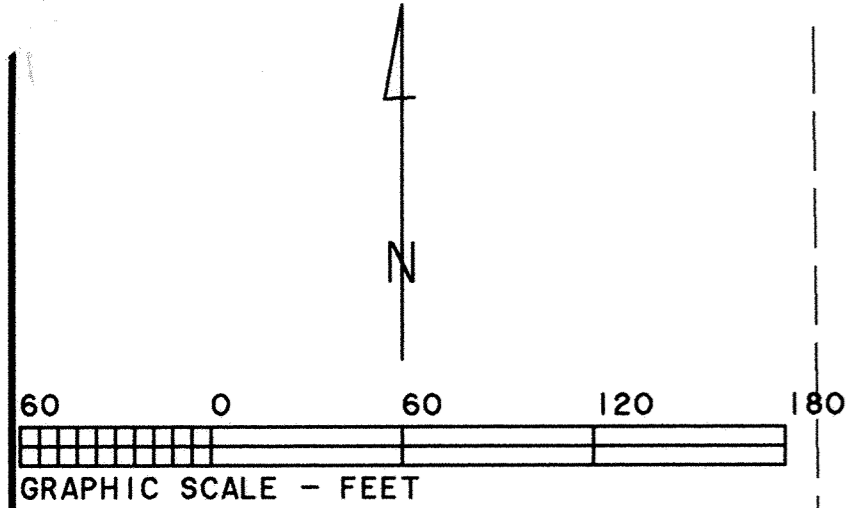
B.M. - Top of Steamer Nozzle on Fire Hydrant Located
In Front of 114 Brookview Ct. Elev. • 100.00

191-195 Brookview Ct.

SPRINGBROOK GREENS CONDOMINIUMS NO. 5

Survey of Dedicator's Land

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	75.00'	63.08'	48° 11' 23"	61.24'	S 67° 11' 22" E
C-2	45.00'	37.85'	48° 11' 23"	36.74'	S 67° 11' 22" E
C-3	35.00'	54.50'	89° 13' 31"	49.16'	N 44° 06' 12" E
C-4	125.00'	109.84'	50° 20' 50"	106.34'	N 24° 39' 51" E
C-5	100.00'	67.86'	38° 52' 41"	66.56'	N 69° 16' 37" E
C-6	65.00'	102.98'	90° 46' 29"	92.54'	S 45° 53' 49" E
C-7	50.00'	34.91'	40° 00' 00"	34.20'	S 20° 30' 34" E
C-8	125.00'	87.27'	40° 00' 00"	85.51'	S 20° 30' 34" E
C-9	75.00'	52.36'	40° 00' 00"	51.30'	N 20° 30' 34" W
C-10	100.00'	69.81'	40° 00' 00"	68.40'	N 20° 30' 34" W
C-11	15.00'	23.76'	90° 46' 29"	21.36'	N 45° 53' 48" W
C-12	50.00'	33.93'	38° 52' 41"	33.28'	S 69° 16' 36" W
C-13	75.00'	65.90'	50° 20' 50"	63.80'	S 24° 39' 51" W
C-14	85.00'	132.37'	89° 13' 31"	119.39'	S 44° 06' 12" W
C-15	60.00'	292.79'	279° 35' 39"	77.46'	S 48° 30' 46" W

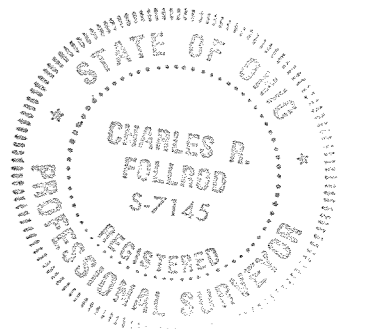


R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

S & J Development Co.
D.B. 837 Pg. 59

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
Charles R. Follrod P.S. #7145
258 Brookview Ct.
Lima, Ohio 45801



- - Fnd. P.K. Nail
- - Fnd. #5 Rebar
- - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365

For Dedicator's Land and Street & Utility Easement Description - See Sheet No. 2

Springbrook Greens Condominiums No. 4
P.B. 24, Pg. 70

Springbrook Greens Condominiums No. 2
P.B. 24, Pg. 35

Springbrook Greens Condominiums No. 1
P.B. 24, Pg. 30

Springbrook Greens Condominiums No. 2
P.B. 24, Pg. 35

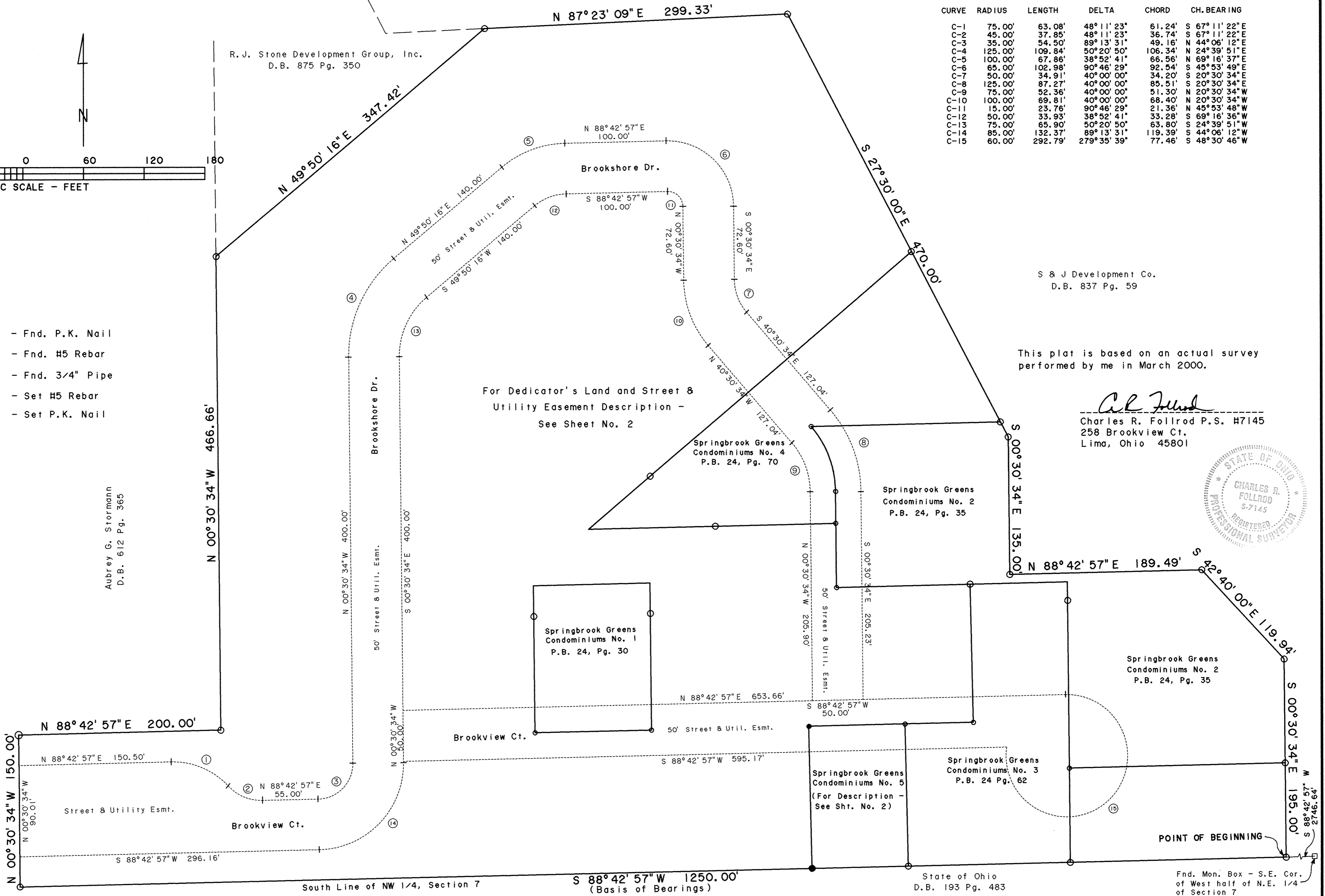
Springbrook Greens Condominiums No. 5
(For Description - See Sht. No. 2)

Springbrook Greens Condominiums No. 3
P.B. 24 Pg. 62

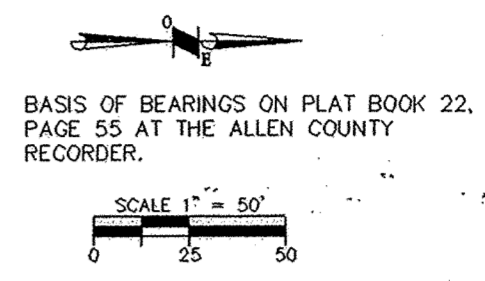
POINT OF BEGINNING

State of Ohio
D.B. 193 Pg. 483

Fnd. Mon. Box - S.E. Cor. of West half of N.E. 1/4 of Section 7



For Affidavit to Amend Declaration See Deed Vol 904 Pg 53/
 For Second Affidavit to Amend Declaration See Deed Vol 908 Pg 804
 For Third Affidavit to Amend Declaration See Deed Vol 954 Pg 791



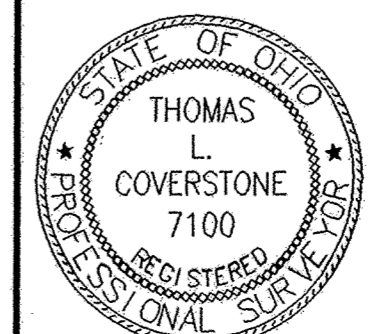
BEING A REPLAT OF RIVERBEND SUBDIVISION - PHASE II
 LOTS 1292, 1293, 1294, 1295, 1298, 1300, 1301, AND 1302
 AS RECORDED IN P.B. 23, PG. 113, 114, AND 115
 NORTHWEST QUARTER SECTION 2, TOWN 2 SOUTH, RANGE 8 EAST
 VILLAGE OF BLUFFTON, RICHLAND TOWNSHIP, ALLEN COUNTY, STATE OF OHIO
 PART OF PARCEL NUMBERS 28-0200-02-001.041-44,47,49-51

CURVE TABLE					
CURVE NUMBER	RADIUS	Δ	ARC LENGTH	CHORD LENGTH	CHORD BEARING
1	776.03'	10°-22'-50"	140.60'	140.40'	S 58°-48'-06" E
2	1673.46'	06°-26'-19"	188.06'	187.96'	N 33°-44'-18" E
3	200.00'	23°-12'-07"	80.99'	80.44'	N 48°-33'-31" E
4	356.55'	14°-42'-18"	91.51'	91.26'	N 67°-30'-43" E
5	356.55'	13°-43'-59"	85.46'	85.26'	N 81°-43'-51" E
6	100.00'	21°-00'-38"	36.67'	36.47'	S 80°-53'-50" E
7	79.18'	59°-26'-58"	82.16'	78.52'	N 79°-53'-00" E
8	77.13'	49°-12'-04"	66.23'	64.21'	N 25°-33'-29" E
9	40.61'	80°-32'-44"	57.09'	52.51'	N 39°-18'-55" W
10	53.30'	65°-11'-44"	60.65'	57.43'	S 67°-48'-51" W
11	250.00'	39°-18'-27"	172.97'	169.54'	S 55°-02'-12" W
12	1698.46'	04°-55'-50"	146.16'	146.12'	N 31°-43'-28" E
13	1698.46'	00°-40'-29"	20.00'	20.00'	N 34°-31'-37" E
14	1698.46'	02°-05'-36"	62.06'	62.05'	N 35°-54'-40" E
15	225.00'	23°-12'-06"	91.11'	90.49'	N 48°-33'-31" E
16	381.55'	01°-58'-34"	13.16'	13.16'	N 61°-08'-51" E
17	381.55'	12°-43'-44"	84.77'	84.59'	N 68°-30'-00" E
18	225.00'	03°-53'-28"	15.28'	15.28'	N 72°-54'-42" E
19	225.00'	32°-51'-32"	129.04'	127.28'	N 54°-32'-11" E
20	225.00'	02°-53'-26"	11.35'	11.35'	N 36°-39'-42" E
21	78.30'	60°-29'-19"	82.66'	78.88'	N 65°-27'-39" E
22	225.00'	39°-38'-27"	155.67'	152.58'	S 55°-02'-11" W
23	381.55'	14°-42'-18"	97.93'	97.66'	S 67°-30'-43" W
24	698.46'	07°-41'-55"	228.22'	228.05'	S 33°-06'-30" W

UTILITY EASEMENTS
 UNLESS OTHERWISE SHOWN, THERE SHALL BE A 5.00' UTILITY EASEMENT ALONG EACH SIDE OF ALL INTERIOR LOT LINES, A 10.00' UTILITY EASEMENT ALONG THE INSIDE OF ALL EXTERIOR LOT LINES, AND A 5.00' UTILITY EASEMENT ALONG THE STREET RIGHT-OF-WAY LINES.

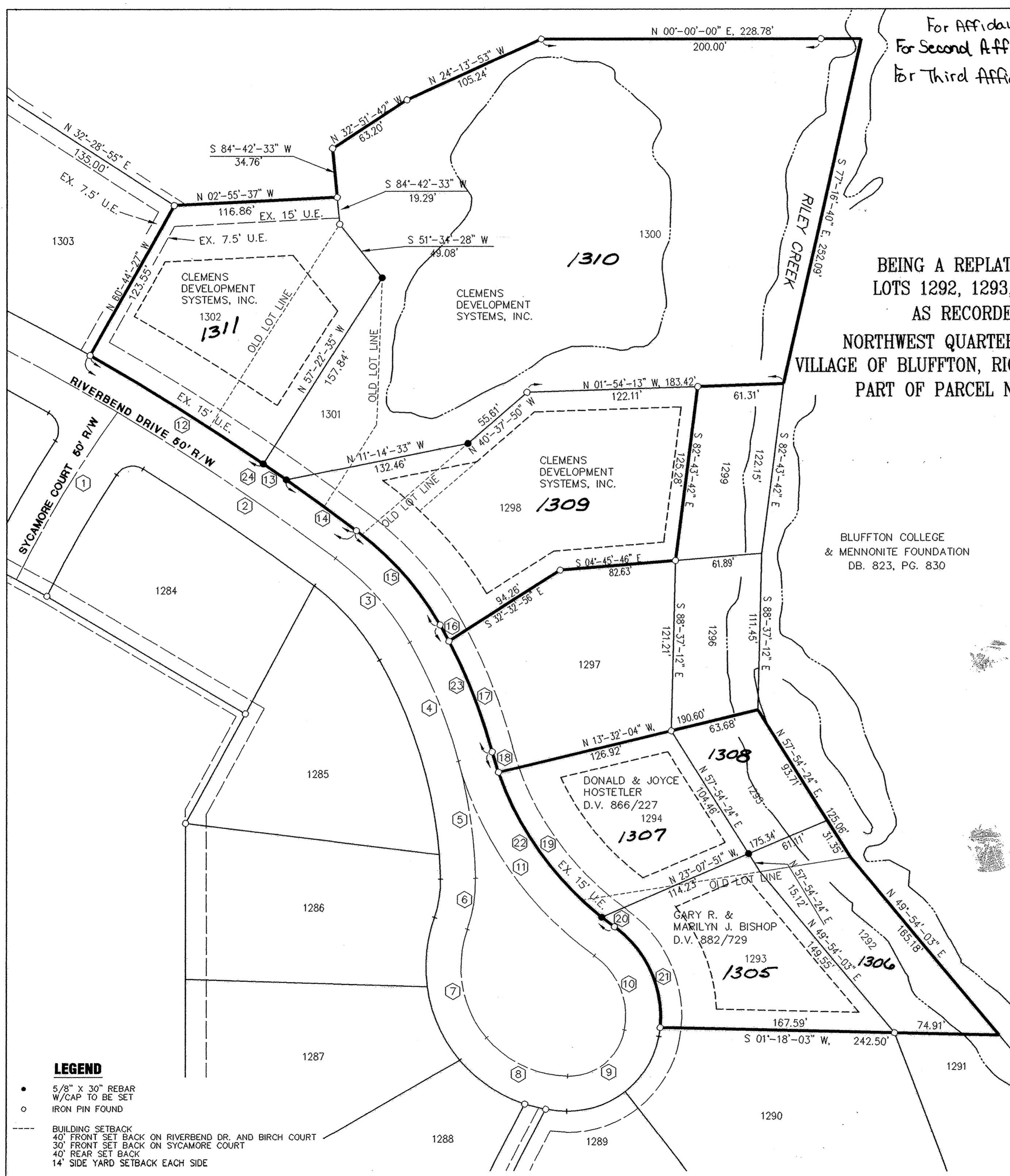
SHEET 1 OF 2

I HEREBY STATE THAT THIS PLAT IS A TRUE REPRESENTATION OF THE RESULTS OF AN ACTUAL SURVEY MADE UNDER MY DIRECTION.
Thomas L. Coverstone 10/19/01
 THOMAS L. COVERSTONE, P.S. #7100 DATE



CHOICE ONE ENGINEERING
 the choice that exceeds ...
 440 HOEWISHER ROAD
 SIDNEY, OHIO 45365
 (937) 497-0200 • FAX (937) 497-0300
 www.choiceoneengineering.com

date: 10-19-01 drawn by: job number: 11-111-01001A



LEGEND
 • 5/8" X 30" REBAR W/CAP TO BE SET
 ○ IRON PIN FOUND
 --- BUILDING SETBACK
 40' FRONT SET BACK ON RIVERBEND DR. AND BIRCH COURT
 30' FRONT SET BACK ON SYCAMORE COURT
 40' REAR SET BACK
 14' SIDE YARD SETBACK EACH SIDE

LEGAL DESCRIPTION

BEING A REPLAT OF LOTS 1292, 1293, 1294, 1295, 1298, 1300, 1301, AND 1302, AS RECORDED IN PLAT BOOK 23, PAGE 113, 114, AND 115, PART OF PARCEL NUMBERS 28-0200-02-001, 041-044, 047, 049-051. SITUATE IN THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 8 EAST, RICHLAND TOWNSHIP, VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Beginning at an iron pin found at the southeast corner of Lot Number 1302 of the Riverbend Subdivision Phase II Plat as recorded in Plat Volume 23, Page 113, 114, and 115.

thence, North 60°-44'-27" West, 123.55 feet, along the south line of said Lot Number 1302 to an iron pin found at the southwest corner of same;

thence, North 02°-55'-37" West, 116.86 feet, along the west line of said Lot Number 1302 to an iron pin found;

thence, South 84°-42'-33" West, 34.76 feet, along the south line of Lot Number 1300 to an iron pin found;

thence, North 32°-51'-42" West, 63.20 feet, along the west line of said Lot Number 1300 to an iron pin found;

thence, North 24°-13'-53" West, 105.24 feet, along the west line of said Lot Number 1300 to an iron pin found;

thence, North 00°-00'-00" East, 228.78 feet, along the west line of said Lot Number 1300 to a point in the center of Riley Creek, passing for reference an iron pin found at 200.00 feet;

thence, South 77°-16'-40" East, 252.09 feet, along the center of Riley Creek, to a point;

thence, South 01°-54'-13" East, 61.31 feet, along the east line Lot Number 1300 to an iron pin found at the northwest corner of Lot Number 1298;

thence, South 82°-43'-42" East, 125.28 feet, along the north line of said Lot Number 1298 to an iron pin found at the northeast corner of same;

thence, South 04°-45'-46" East, 82.63 feet, along the east line Lot Number 1298 to an iron pin found;

thence, South 32°-32'-56" East, 94.26 feet, along the east line Lot Number 1298 to an iron pin found at the southwest corner of Lot Number 1297, also being on the north right-of-way line of Riverbend Drive;

thence, Northeasterly, 84.77 feet, along the arc of a curve to the right having a radius of 381.55 feet, an internal angle of 12°-43'-44" and a chord 84.59 feet in length bearing North 68°-30'-00" East, to an iron pin found;

thence, Northeasterly, 15.28 feet, along the arc of a curve to the left having a radius of 225.00 feet, an internal angle of 03°-53'-28" and a chord 15.28 feet in length bearing North 72°-54'-42" East, to an iron pin found at the southwest corner of Lot Number 1294;

thence, North 13°-32'-04" West, 190.60 feet, along the west line of said Lot Number 1294 to a point on the center of Riley Creek, passing for reference an iron pin found at 126.92 feet;

thence, North 57°-54'-24" East, 125.06 feet, along the center of Riley Creek, to the northeast corner of Lot Number 1293;

thence, North 49°-54'-03" East, 165.18 feet, along the center of Riley Creek, to the northeast corner of Lot Number 1292;

thence, South 01°-18'-03" West, 242.50 feet, along the east line of Lot Number 1292 and 1293 to an iron pin found at the southeast corner of Lot Number 1293, passing for reference an iron pin found at 74.91 feet;

thence, Southwesterly, 82.66 feet, along the arc of a curve to the left having a radius of 78.30 feet, an internal angle of 60°-29'-19" and a chord 78.88 feet in length bearing South 65°-27'-39" West, to an iron pin found;

thence, Southwesterly, 155.67 feet, along the arc of a curve to the right having a radius of 225.00 feet, an internal angle of 39°-38'-27" and a chord 152.58 feet in length bearing South 55°-02'-11" West, to an iron pin found;

thence, Southwesterly, 97.93 feet, along the arc of a curve to the left having a radius of 381.55 feet, an internal angle of 14°-42'-18" and a chord 97.66 feet in length bearing South 67°-30'-43" West, to an iron pin found;

thence, Southwesterly, 91.11 feet, along the arc of a curve to the left having a radius of 225.00 feet, an internal angle of 23°-12'-06" and a chord 90.49 feet in length bearing South 48°-33'-31" West, to an iron pin found;

thence, Southwesterly, 228.22 feet, along the arc of a curve to the left having a radius of 1698.46 feet, an internal angle of 07°-41'-55" and a chord 228.05 feet in length bearing South 33°-06'-30" West, to the principal place of beginning of the subdivision hereon platted.

Containing 4.271 acres more or less with all being subject to any legal highways and easements of record.

The above description was prepared by Thomas L. Coverstone, Ohio Professional Surveyor Number 7100, based on a survey performed by the same dated October 19, 2001 with the basis of bearings from Plat Book 22, Page 55 of the Allen County Recorder's Plat Records.

Deed Reference: Volume 823, Page 827

FOR DECLARATION OF PROTECTIVE RESTRICTIONS, SEE DEED VOLUME 863, PAGE 243

BLUFFTON PLANNING COMMISSION

AT A MEETING OF THE PLANNING COMMISSION OF THE VILLAGE OF BLUFFTON, OHIO, HELD THIS 11TH DAY OF December, 2001, THIS PLAT WAS REVIEWED AND APPROVED.

[Signature] PRESIDENT *[Signature]* SECRETARY

VILLAGE OF BLUFFTON COUNCIL

AT A MEETING OF THE COUNCIL OF THE VILLAGE OF BLUFFTON, OHIO, HELD THIS 18TH DAY OF December, 2001, THIS SUBDIVISION PLAT WAS APPROVED BY ORDINANCE NO. 0-

[Signature] CLERK OF COUNCIL *[Signature]* MAYOR

ALLEN COUNTY ENGINEER

ON THE _____ DAY OF _____, 2001, THIS PLAT WAS REVIEWED AND APPROVED.

_____, ALLEN COUNTY ENGINEER

REVIEWED BY:
[Signature]
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER'S
DATE: 12/19/01

This Conveyance has been examined and the Grantor has complied with Section 319-202 of the Revised Code.
FEES _____
EXEMPT
H. DEAN FRENCH, County Auditor

Transferred Dec. 19, 2001
H. Dean French, Co. Auditor
Fee \$3.50

[Signature]
THOMAS L. COVERSTONE, P.S. #7100 DATE 10/19/01

DEDICATION

WE, THE UNDERSIGNED, BEING ALL OF THE OWNERS OF THE LAND HEREIN PLATTED, DO HEREBY ACCEPT AND APPROVE THIS PLAT AND ALL THE RESTRICTIVE COVENANTS AND DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT AND TO THE DEDICATION OF THE STREETS AS SHOWN HEREON, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN OR NOTED ON THIS PLAT ARE FOR THE CONSTRUCTION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF OPEN DITCH SURFACE WATER DRAINAGE OR OPERATION OF GAS, SEWER, WATER, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

[Signature]
WITNESS Mitchell L. Kingsley
[Signature]
WITNESS Linda M. Garrett

[Signature]
WITNESS Mitchell L. Kingsley
[Signature]
WITNESS Linda M. Garrett

[Signature]
WITNESS Linda M. Garrett
[Signature]
WITNESS Ruth E. Johnson

[Signature]
STANLEY R. CLEMENS, PRESIDENT
CLEMENS DEVELOPMENT SYSTEMS, INC.
LOT #1298 & 1300
LOT #1301 & 1302

[Signature]
JOENITA S. CLEMENS, SECRETARY
CLEMENS DEVELOPMENT SYSTEMS, INC.
LOT #1298 & 1300
LOT #1301 & 1302

[Signature]
DONALD HOSTETLER LOT #1294 & 1295

[Signature]
JOYCE HOSTETLER LOT #1294 & 1295

[Signature]
GARY R. BISHOP LOT #1292 & 1293

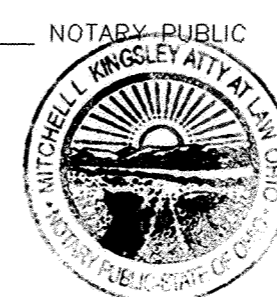
[Signature]
MARILYN J. BISHOP LOT #1292 & 1293

ACKNOWLEDGMENT

STATE OF OHIO, ALLEN COUNTY, SS
BEFORE ME, A NOTARY PUBLIC, IN AND FOR THE STATE OF OHIO, PERSONALLY APPEARED THE OFFICERS OF CLEMENS DEVELOPMENT SYSTEMS, INC., THE OWNERS WHO HAVING EXECUTED THE FOREGOING PLAT, HEREBY ACKNOWLEDGE THAT THEY DID SIGN SUCH INSTRUMENT AS SUCH OFFICERS IN BEHALF OF SAID CORPORATION AND BY AUTHORITY OF THE CORPORATION'S BOARD OF DIRECTORS, AND THAT SUCH INSTRUMENT IS THEIR FREE ACT AND DEED AS SUCH OFFICERS FOR SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SUBSCRIBED MY NAME AND AFFIXED MY OFFICIAL SEAL AT Bluffton, OHIO, THIS 28TH DAY OF November, 2001.

[Signature] NOTARY PUBLIC MY COMMISSION EXPIRES: No Expiration R.C. 197.03

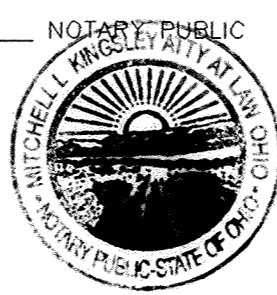


ACKNOWLEDGMENT

STATE OF OHIO, ALLEN COUNTY, SS
BEFORE ME, A NOTARY PUBLIC, IN AND FOR THE STATE OF OHIO, PERSONALLY APPEARED DONALD AND JOYCE HOSTETLER, THE OWNERS, WHO HAVING EXECUTED THE FOREGOING PLAT, HEREBY ACKNOWLEDGE THAT THEY DID SIGN SUCH INSTRUMENT UNDER THEIR FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SUBSCRIBED MY NAME AND AFFIXED MY OFFICIAL SEAL AT Bluffton, OHIO, THIS 28TH DAY OF November, 2001.

[Signature] NOTARY PUBLIC MY COMMISSION EXPIRES: No Expiration R.C. 197.03



ACKNOWLEDGMENT

STATE OF OHIO, ALLEN COUNTY, SS
BEFORE ME, A NOTARY PUBLIC, IN AND FOR THE STATE OF OHIO, PERSONALLY APPEARED GARY R. AND MARILYN J. BISHOP THE OWNERS, WHO HAVING EXECUTED THE FOREGOING PLAT, HEREBY ACKNOWLEDGE THAT THEY DID SIGN SUCH INSTRUMENT UNDER THEIR FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SUBSCRIBED MY NAME AND AFFIXED MY OFFICIAL SEAL AT Bluffton, OHIO, THIS 27TH DAY OF November, 2001.

[Signature] NOTARY PUBLIC MY COMMISSION EXPIRES: March 19, 2004

Filed and Recorded 200126569
Dec 19, 2001 Deed Vol 891 Pg 30
at 12:30 PM
Plat BK 24 Pg 127
Edward P Kirk
Recorder, Allen Co Ohio
Fee 41.40

LINDA M. GARRETT
Notary Public, State of Ohio
My Commission Expires March 19, 2004



CHOICE ONE ENGINEERING
the choice that exceeds ...
440 HOEWISHER ROAD
SIDNEY, OHIO 45365
(937) 497-0200 • FAX (937) 497-0300
www.choiceoneengineering.com

date: 10-19-01 drawn by: imk job number: 111-RIU-0102COV

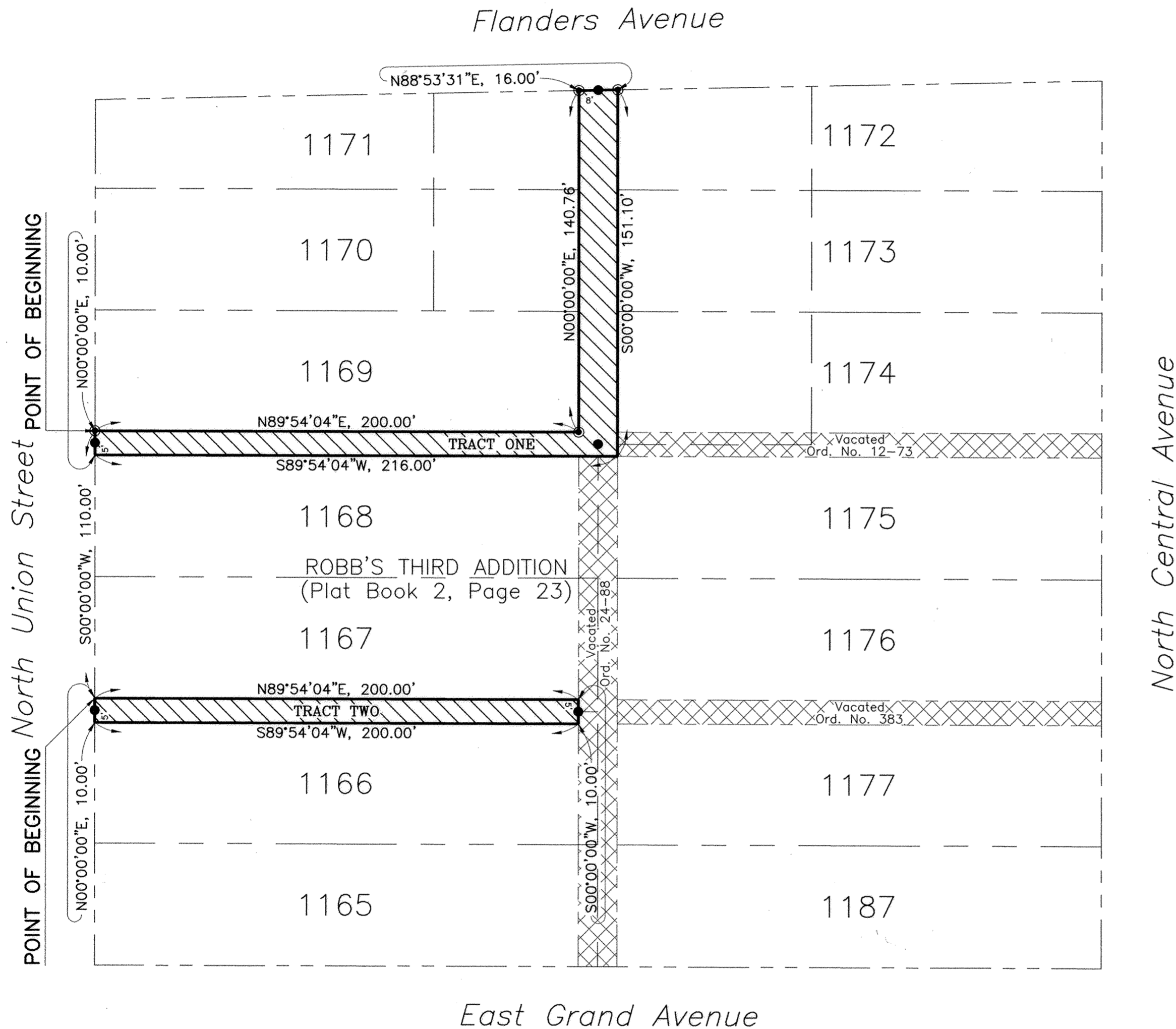
VACATION OF RIGHT-OF-WAY

TWO 10-FOOT PUBLIC ALLEYS AND A 16-FOOT PUBLIC ALLEY, ROBB'S THIRD ADDITION

Part of the Southwest Quarter of Section 30, Township 3 South, Range 7 East, Bath Township

CITY OF LIMA, ALLEN COUNTY, OHIO

Authorized and approved by City of Lima Ordinance No. 175-01, passed November 19, 2001.



DESCRIPTION
TRACT ONE

Being a 10-foot public alley and a 16-foot public alley, platted in Robb's Third Addition (Plat Book 2, Page 23)(part of the southwest quarter of Section 30, Township 3 South, Range 7 East, Bath Township) in the City of Lima, Allen County, Ohio, and more particularly described as follows:

BEGINNING at a capped rebar found at the southwest corner of Lot 1169 in said Robb's Third Addition;

thence N89°54'04"E with the south line of Lot 1169, 200.00 feet to a capped rebar found at the southeast corner of said Lot 1169;

thence N00°00'00"E with the east line of Lots 1169, 1170, and 1171, 140.76 feet to a capped rebar found on the south right-of-way line of Flanders Avenue;

thence N88°53'31"E with the south right-of-way line of Flanders Avenue, 16.00 feet to a capped rebar found on the east line of Lot 1172, passing at 8.00 feet an iron pin set;

thence S00°00'00"W with the west line of Lots 1172, 1173, and 1174 and the west line of a vacated alley, said alley vacated by Ordinance No. 12-73 and recorded in Deed Volume 533, Page 612 and Plat Book 12, Page 187, 151.10 feet to the northwest corner of Lot 1175;

thence S89°54'04"W with the north line of a vacated alley, said alley vacated by Ordinance No. 24-88 and recorded in Deed Volume 711, Page 801 and Plat Book 17, Page 104, and the north line of Lot 1168, 216.00 feet to the northwest corner of Lot 1168;

thence N00°00'00"E with the east right-of-way line of N. Union Street, 10.00 feet to a capped rebar found at the southwest corner of Lot 1169, being the POINT OF BEGINNING, passing at 5.00 feet an iron pin set.

Containing 0.101 acres, more or less, subject to any legal easements or other restrictions of record.

DESCRIPTION
TRACT TWO

Being a 10-foot public alley, platted in Robb's Third Addition (Plat Book 2, Page 23)(part of the southwest quarter of Section 30, Township 3 South, Range 7 East, Bath Township) in the City of Lima, Allen County, Ohio, and more particularly described as follows:

Commencing at a capped rebar found at the southwest corner of Lot 1169 in said Robb's Third Addition;

thence S00°00'00"W with the east right-of-way line of N. Union Street, 110.00 feet to the southwest corner of Lot 1167, being the POINT OF BEGINNING;

thence N89°54'04"E with the south line of Lot 1167, 200.00 feet to the southeast corner of said Lot 1167;

thence S00°00'00"W with the west line of a vacated alley, said alley vacated by Ordinance No. 24-88 and recorded in Deed Volume 711, Page 801 and Plat Book 17, Page 104, 10.00 feet to the northeast corner of Lot 1166, passing at 5.00 feet an iron pin set;

thence S89°54'04"W with the north line of Lot 1166, 200.00 feet to the northwest corner of Lot 1166;

thence N00°00'00"E with the east right-of-way line of N. Union Street, 10.00 feet to the southwest corner of Lot 1167, being the POINT OF BEGINNING, passing at 5.00 feet an iron pin set.

Containing 0.046 acres, more or less, subject to any legal easements or other restrictions of record.

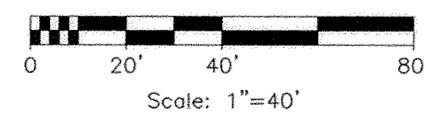
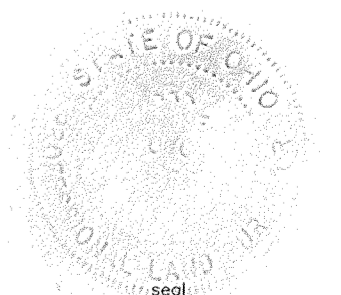
Bearings are based on an assumed bearing of N00°00'00"E for the east right-of-way line of N. Union Street.

These descriptions are based on surveys completed by the City of Lima, Engineering Division on July 11, 2001, under the direction of Ohio Professional Surveyor Larry W. Stayonovich (#7365).

Iron pins set are 5/8" x 30" rebar with a yellow cap marked "City of Lima/P.S. 7365".

11-27-01
Date

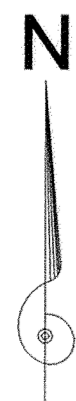
Larry W. Stayonovich, P.S. #7365



- LEGEND**
- 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
 - ⊙ CAPPED REBAR (found)

200200938
 JAN 10, 2002
 AT 1:03 PM
 PLAT BK 24 pg 129
 EDWARD P. KIRK
 ALLEN CO OHIO
 FEE: \$ 20.70
 DEED VOL 891 pg 786

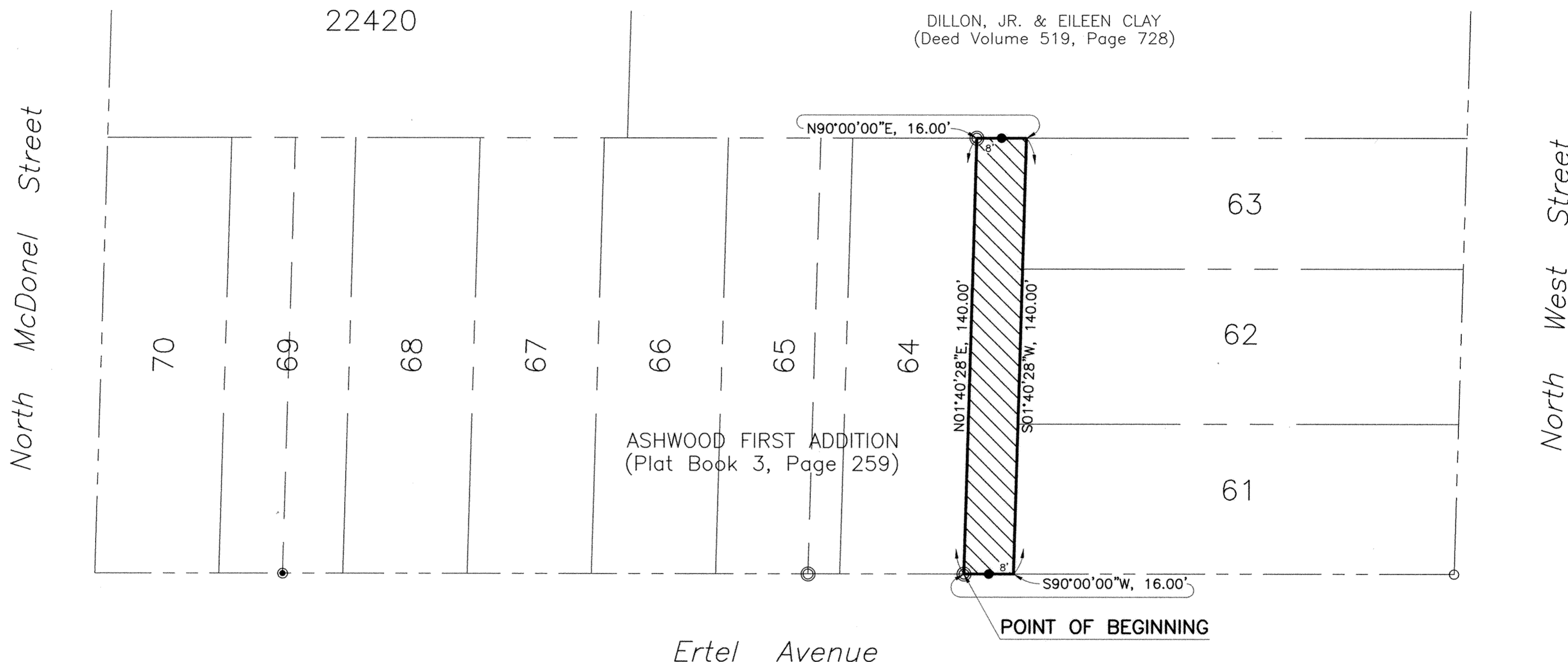
REVIEWED BY:
 M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 11/28/01



VACATION OF RIGHT-OF-WAY

16-FOOT PUBLIC ALLEY, ASHWOOD FIRST ADDITION

Part of the Southeast Quarter of Section 24, Township 3 South, Range 6 East, American Township CITY OF LIMA, ALLEN COUNTY, OHIO



200200939
 JAN 10, 2002
 AT 1:04 PM
 PLAT BK 24 PG 130
 EDWARD P. KIRK
 ALLEN Co. OHIO
 FEE \$ 20.70

DEED VOL 891 PG 786

Authorized and approved by City of Lima Ordinance No. 175-01,
 passed November 19, 2001.

DESCRIPTION

Being a 16-foot public alley, platted in Ashwood First Addition (Plat Book 3, Page 259) (part of the southeast quarter of Section 24, Township 3 South, Range 6 East, American Township) in the City of Lima, Allen County, Ohio, and more particularly described as follows:

BEGINNING at an iron pipe found at the southeast corner of said Lot 64;
 thence N01°40'28"E with the east line of Lot 64, 140.00 feet to an iron pipe found at the northeast corner of said Lot 64;
 thence N90°00'00"E with the north line of said Ashwood First Addition, 16.00 feet to the northwest corner of Lot 63, passing at 8.00 feet an iron pin set;
 thence S01°40'28"W with the west line of Lots 63, 62, and 61, 140.00 feet to the southwest corner of said Lot 61;

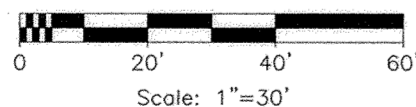
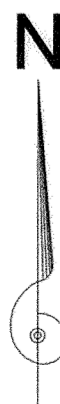
thence S90°00'00"W with the north right-of-way line of Ertel Avenue, 16.00 feet to an iron pipe found at the southeast corner of Lot 64, being the POINT OF BEGINNING, passing at 8.00 feet an iron pin set.

Containing 0.051 acres, more or less, subject to any legal easements or other restrictions of record.

Bearings are based on an assumed bearing of S90°00'00"W for the north right-of-way line of Ertel Avenue.

This description is based on a survey completed by the City of Lima, Engineering Division on July 10, 2001, under the direction of Ohio Professional Surveyor Larry W. Stayonovich (#7365).

Iron pins set are 5/8" x 30" rebar with a yellow cap marked "City of Lima/P.S. 7365".



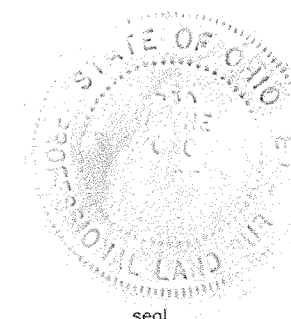
LEGEND

- 5/8" IRON PIN SET AND CAPPED WITH A MARKER STAMPED "CITY OF LIMA/P.S. 7365"
- IRON PIPE (found)
- REBAR (found)
- PINCHED PIPE (found)

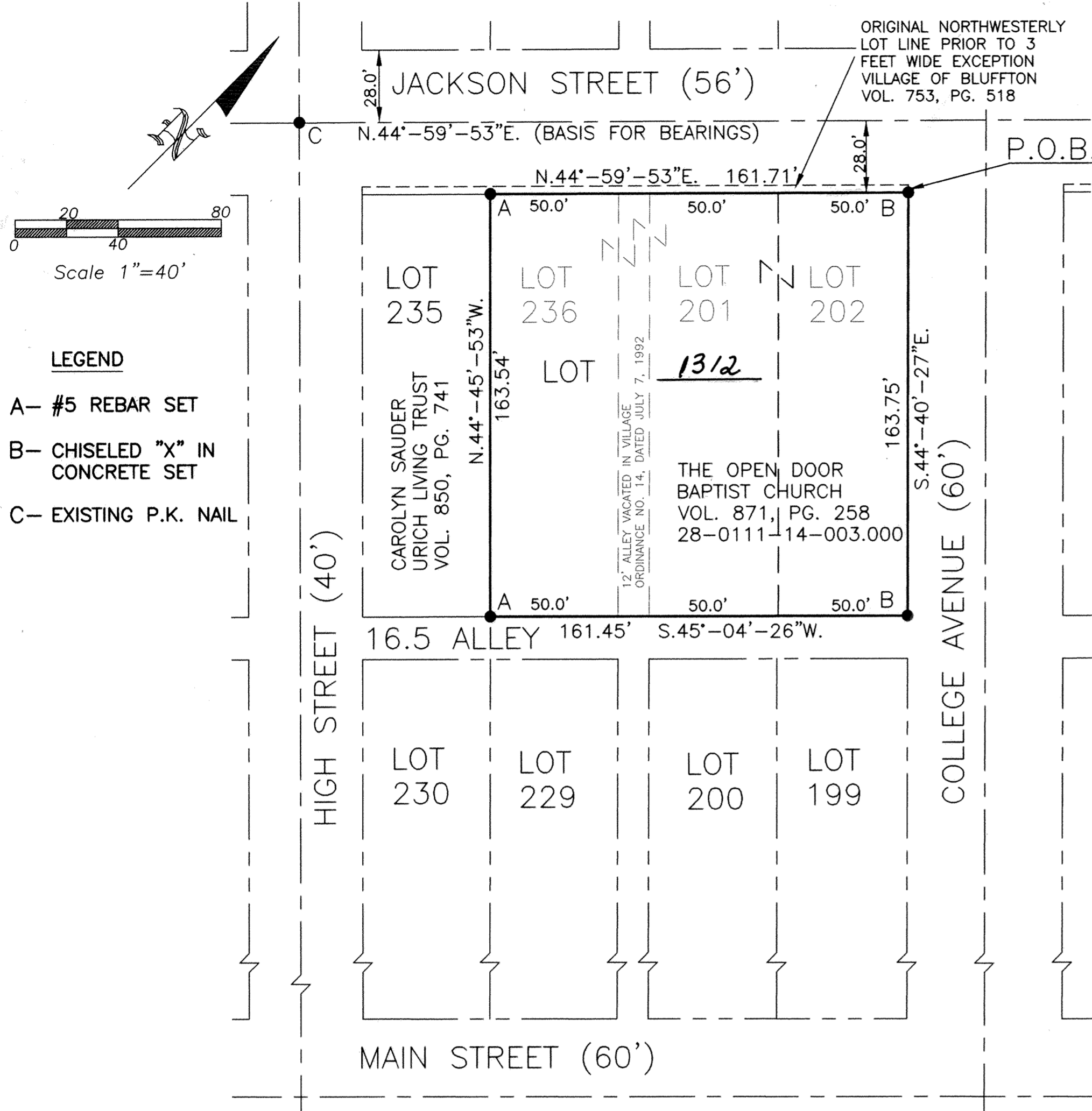
REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 11/28/01

11-27-01
 Date

Larry W. Stayonovich
 Larry W. Stayonovich, P.S. #7365



Replat of Lots 201 202 of James H. Eaton's Second Addition & Lot
236 James H. Eaton's Fourth Addition and a 12' vacated alley



LEGEND
 A— #5 REBAR SET
 B— CHISELED "X" IN CONCRETE SET
 C— EXISTING P.K. NAIL

DESCRIPTION

Being Lots 201 and 202 in the James H. Eaton's Second Addition (Plat Book 2, Page 56) and Lot 236 and the adjoining vacated 12 feet wide alley in the James H. Eaton's Fourth Addition (Plat Book 2, Page 82) in the southwest quarter of Section 1, T2S, R8E, Village of Bluffton, Allen County, Ohio, and being more particularly described as follows:

Beginning at a set chiseled "X" in concrete on the northeast line of Lot 202, S.44°-40'-27"E., 3.00' from the north corner of Lot 202, thence the following courses:

1. S.44°-40'-27"E. on the northeast line of Lot 202, 163.75' to a chiseled "X" in concrete on the east corner of Lot 202;
2. S.45°-04'-26"W. on the southeast line of Lots 201,202 and 236, 161.45' to a set #5 rebar on the south corner of Lot 236;
3. N.44°-45'-53"W. on the southwest line of Lot 236, 163.54' to a set #5 rebar;
4. N.44°-59'-53"E., 161.71' to the POINT OF BEGINNING.

The above-described parcel contains 0.607 acre, more or less, subject to all legal easements of record.

A bearing of N.44°-59'-53"E. was assumed for the centerline of Jackson Street.

Being Parcel No. 28-0111-14-003.000, previous Deed Volume 871-258.

This description and plat is based on an actual field survey performed on March 19, 2000, by Clayton T. Bacon, Professional Surveyor #6179.

REVIEWED BY:
M. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 1/23/02



Clayton T. Bacon
 Clayton T. Bacon, Reg. Sur. #6179 DATE: 7-25-01

OWNERS DEDICATION AND ACKNOWLEDGEMENT

WE THE UNDERSIGNED BEING ALL THE OWNERS OF THE LAND PLATTED HERE IN DO VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

Witness *Timothy L. Staniford*
 Trustee *Diana K. Kistler*
CATHERINE A. MEEK

NOTARY PUBLIC, STATE OF OHIO SS ALLEN COUNTY

BE IT REMEMBERED THAT ON THIS 7 day of JAN, 2002, PERSONALLY CAME THE SAID OWNERS TO ME KNOWN AND ACKNOWLEDGED THE SINGING AND EXECUTION OF THE FOREGOING STATEMENT TO BE.



ALICE M. DONAHUE
 Notary Public, State of Ohio
 My Commission Expires 11-21-04

Alice M. Donahue
 NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE

APPROVAL OF THE VILLAGE OF BLUFFTON

I HERBY CERTIFY THAT THE PLAT DESCRIBED BY THE VILLAGE OF BLUFFTON THIS 15 day of January, 2002.

THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS RECORDED WITHIN 90 DAYS OF THIS APPROVAL.

Frederick D. Rodabaugh
 MAYOR
James P. Sals
 COUNCIL PRESIDENT

ALLEN COUNTY AUDITOR

I HERBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS TRANSFERRED ON THIS 24th day of January, 2002. FEE: 504

H. Dean French
 Allen County Auditor SS

2002 01945 ALLEN COUNTY RECORDER

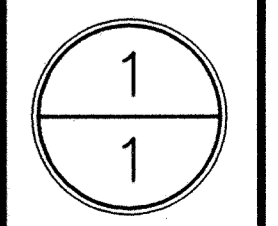
I HERBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON THIS 24th day of Jan, 2002 and THAT IT WAS RECORDED ON THE 24th day of Jan, 2002 at 9:57 A.M. IN VOLUME 24 PAGE 131 IN THE PLAT RECORDS OF ALLEN COUNTY, OHIO. FEE: \$ 20.70

Edward P. Reed
 Allen County Recorder
jr

Prepared By
Bacon & Associates, L.L.C.
 750 N. Eastown Rd., Elida, Ohio 45807
 Office: (419) 999-3756 - Fax: (419) 999-2523

Open Door Baptist Church
 111 W. College Avenue
 Bluffton, Ohio 45871

File: 12-01
 Drawn: MSH
 Date: 7-25-01



This description and plat is based on an actual field survey performed on March 19, 2000, by Clayton T. Bacon, Professional Surveyor #6179.

VILLA COMMUNITY AT THE OUTER BANKS
 CONDOMINIUMS PHASE 1
 LOTS NO. 29423, 29424 AND 29425
 JEFF CIMINILLO SUBDIVISION
 PLAT BOOK 24, PAGE 22
 IN THE S.W.1/4 OF SECTION 34
 T3S-R6E, AMERICAN TOWNSHIP
 ALLEN COUNTY, OHIO
 TAX PARCELS #36-3410-02-017.000
 #36-3410-02-018.000
 #36-3410-02-019.000

For Amendment to Declaration
 of Condominium Ownership
 See Deed Vol 927 Pg 87

For Amended Declaration
 Bylaws, & Drawings of
 Condominium Ownership
 See Deed Vol 897 Pg 760.

DESCRIPTION
 VILLA COMMUNITY AT THE OUTER BANKS
 PHASE 1
 0.784 ACRES

Being Lots 29423, 29424 and 29425 in the Jeff Ciminillo Subdivision (Plat Book 24, Page 22) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the west line of the Jeff Ciminillo Subdivision marking the southwest corner of Lot 29423 in said Subdivision -
 Thence North 00°-09'-37" East (bearing base) on and along the west line of Lots 29423, 29424 and 29425 in said Subdivision for a distance of 240.00 feet to a 5/8-inch iron pin found marking the northwest corner of Lot 29425, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
 Thence South 89°-41'-59" East on and along the north line of said Lot for a distance of 143.34 feet to a 5/8-inch iron pin set on the west line of Westerly Drive marking the northeast corner of said Lot 29425 -
 Thence South 00°-38'-17" West on and along said west line of Westerly Drive and the east line of Lots 29425, 29424 and 29423 for a distance of 240.00 feet to a 5/8-inch iron pin found marking the southeast corner of said Lot 29423, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
 Thence North 89°-41'-59" West on and along the south line of said Lot 29423 for a distance of 141.33 feet to the place of beginning.
 Containing in all 34,160 square feet or 0.784 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on a field survey performed on December 19, 2001, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

CERTIFICATION

I, James D. Sheldon, Registered Engineer No. 24779, State of Ohio, and Registered Surveyor No. 4569, State of Ohio, do hereby certify that the drawings herein, consisting of sheets numbered 1 through 6, correctly represent the location, dimensions and configurations of Villa Community at the Outer Banks Condominiums Phase I as they existed on the date shown.

Date: 14 Jan 2002
 James D. Sheldon, P. E., P. S.

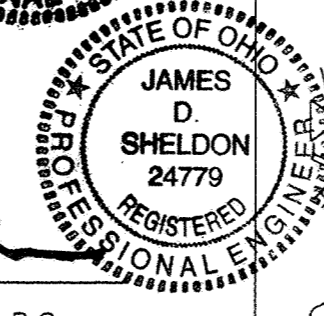
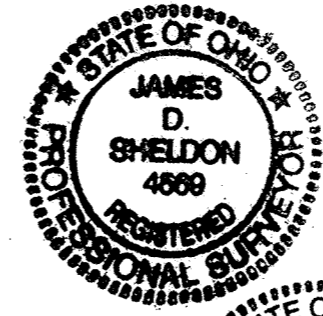
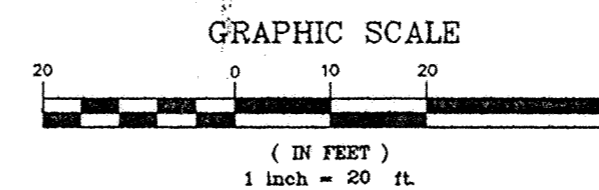
REVIEWED BY:
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 1/16/02

COUNTY RECORDER'S CERTIFICATION

NO. 200203551
 FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS 12TH DAY OF Feb 2002, AT 11:35 O'CLOCK A. M. AND RECORDED IN ALLEN COUNTY PLAT BOOK 24 ON PAGE 132.
 FEE: \$ 124.20
 DECLARATION: D.V. 893 PAGE 131

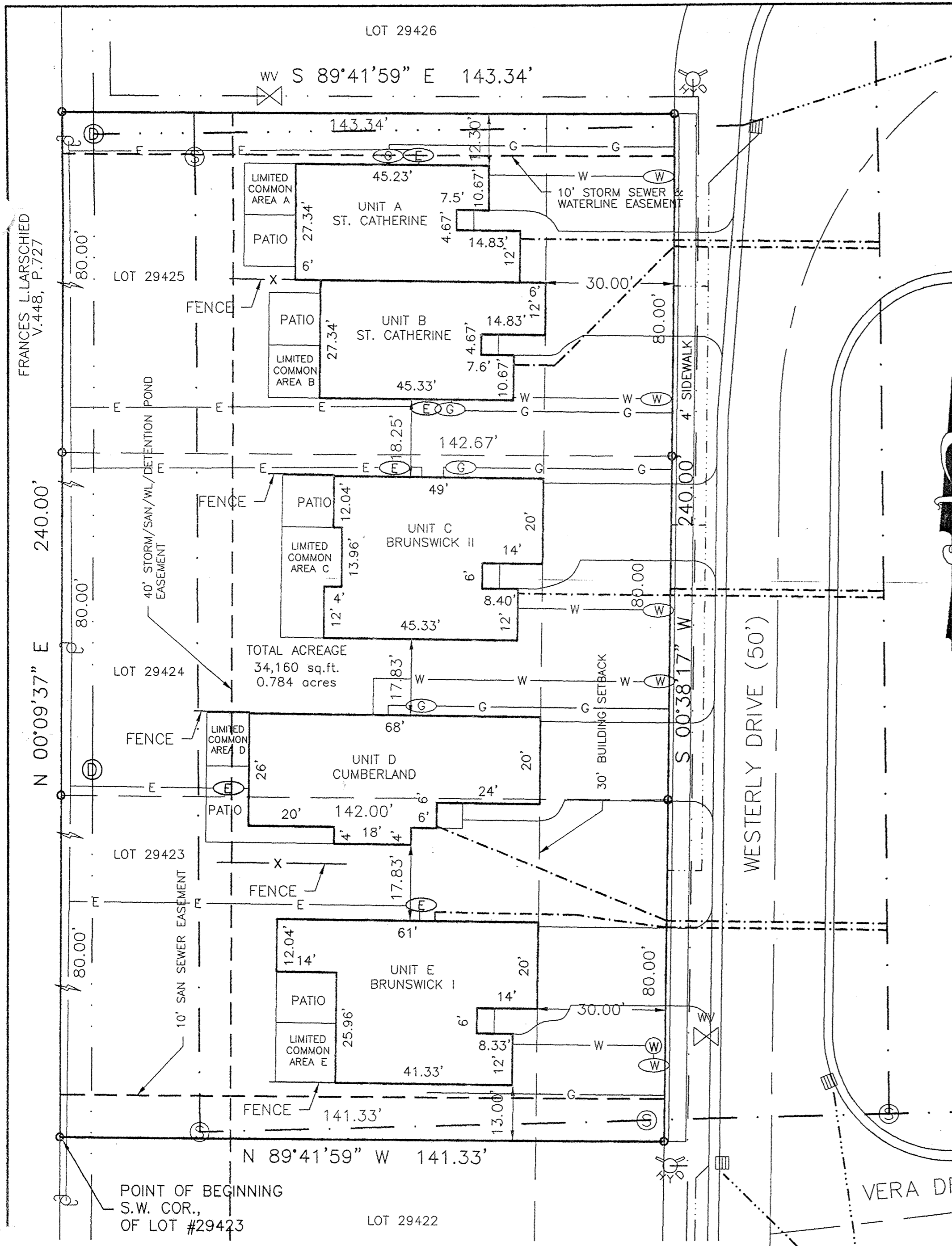
BY: Edward P. Kirk
 RECORDER OF ALLEN COUNTY, OHIO

SHEET 1 OF 6



Date: 14 Jan 2002
 James D. Sheldon, P.E., P.S.
 Registered Surveyor # 4569
 Registered Engineer # 24779

LEGEND	
○	5/8" X 30" IRON PIN FOUND AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"
⊕	UTILITY POLE
⚡	INDICATES MAIN ELECTRIC LINES
⊗	WATER VALVE
⊕	FIRE HYDRANT
⊞	CATCH BASIN
⊗	WATER VALVE & METER
⊗	WATER VALVE
⊕	ELECTRICAL METER
⊕	GAS METER
⊕	STORM MANHOLE
⊕	SAN MANHOLE
— E —	ELECTRIC LINE
— S —	SAN SEWER LATERAL
— W —	WATERLINE
— G —	GAS LINE
—	STORM SEWER
—	SAN SEWER
—	MAIN WATERLINE



THIS PLAT REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON DECEMBER 19, 2001. REFERENCES: DEED RECORDS, TAX MAP & OFFICE RECORDS.

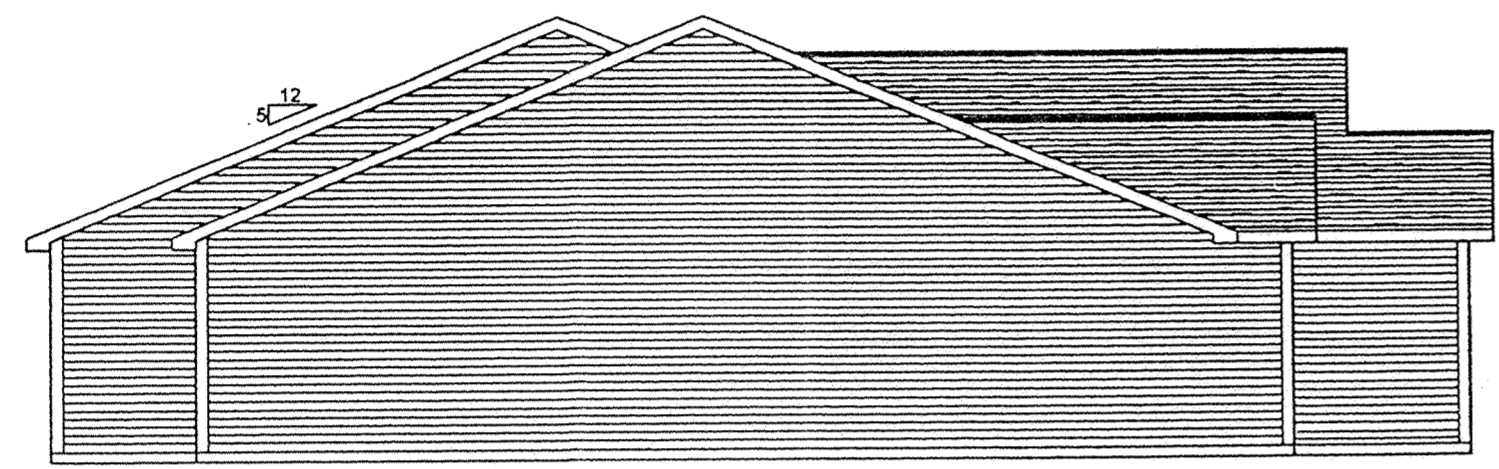
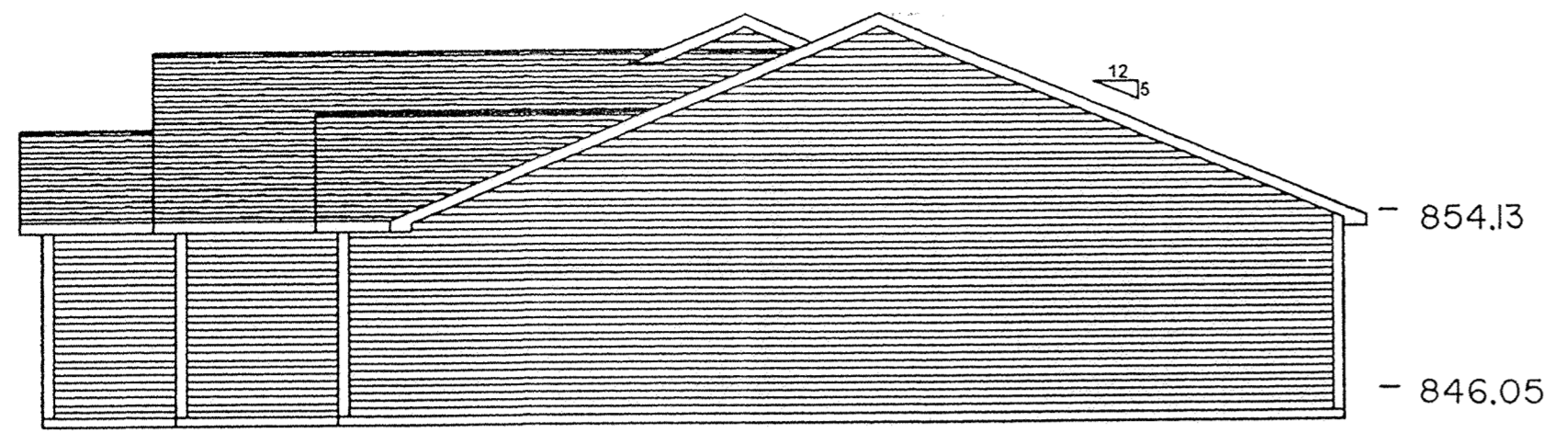
PREPARED BY:
 SHELDON ENGINEERING & SURVEYING, INC.
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E., P.S.

SHELDON ENGINEERING & SURVEYING, INC.
 LIMA, OHIO

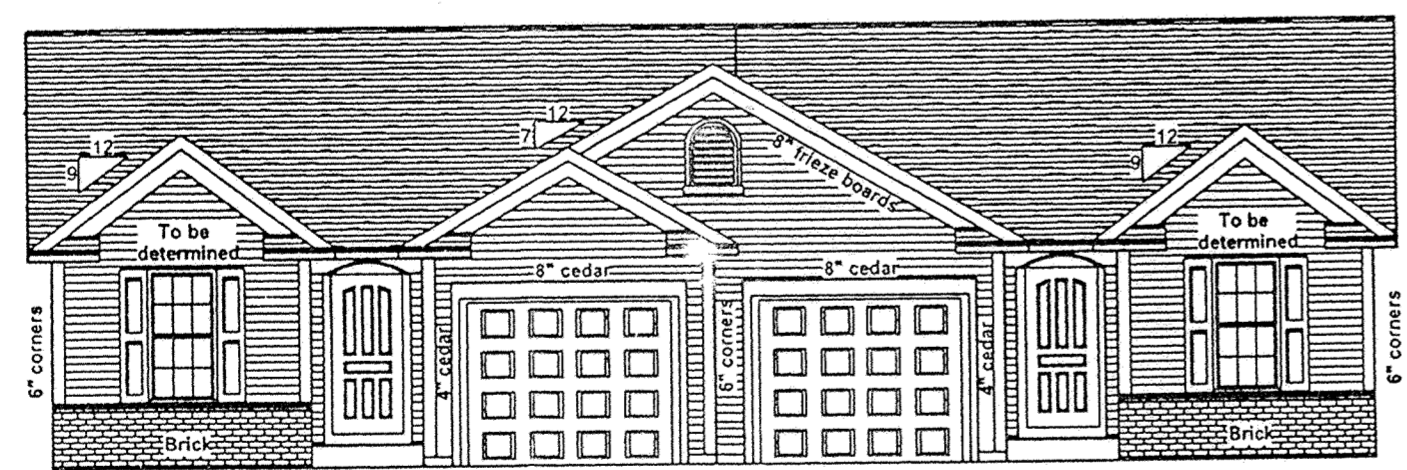
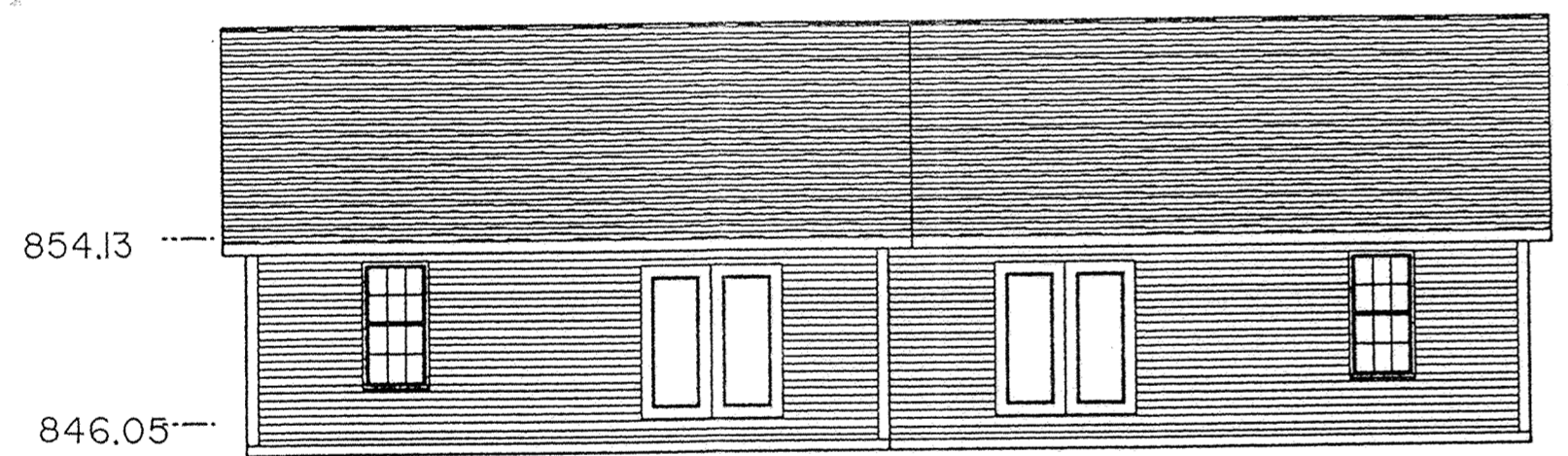
NO.	DATE	DESCRIPTION	BY
1	12/13/01	DRAFT	RB
2	01/02/02	REVISED PL/SIGN.	RB

22201

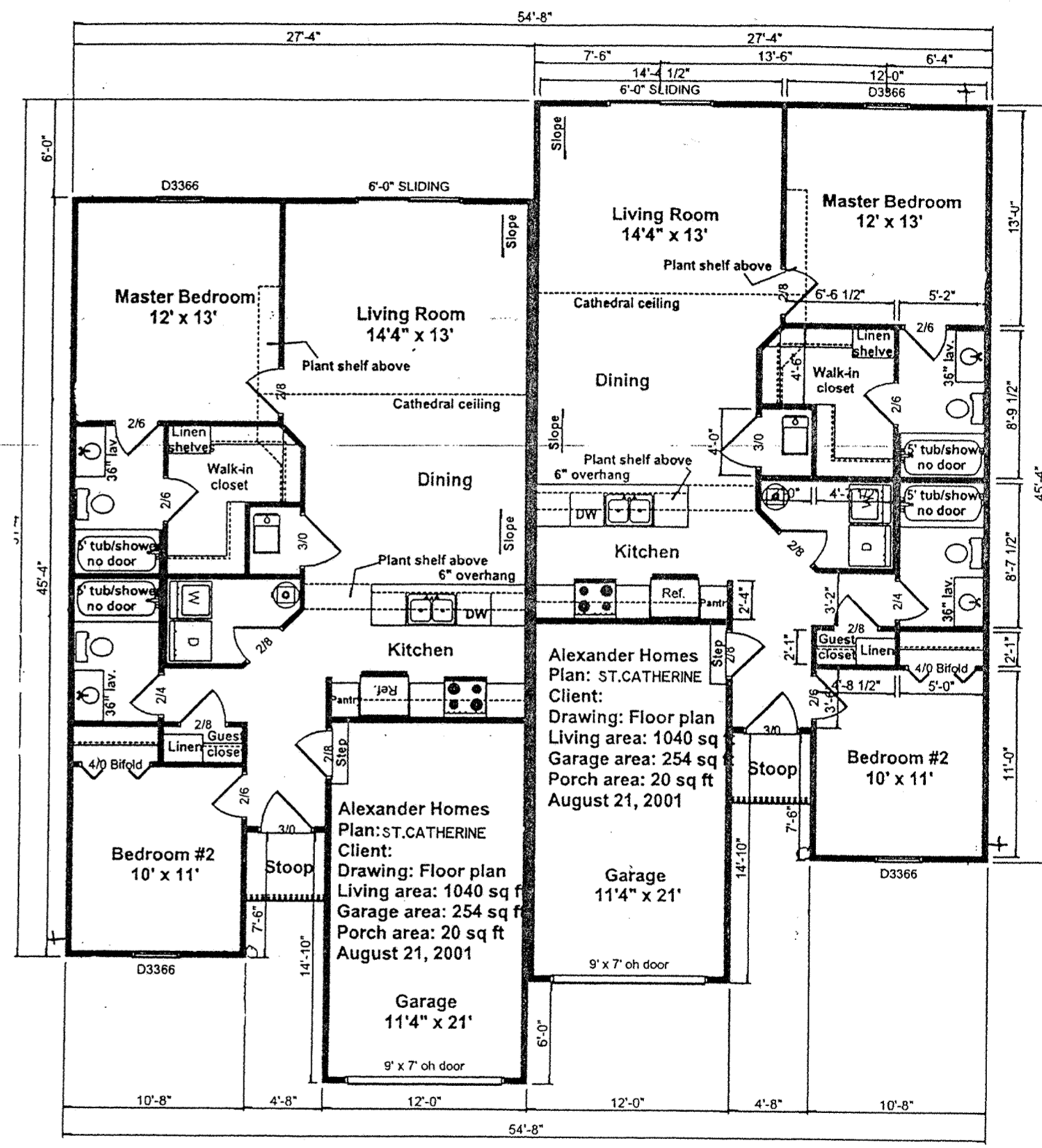
UNIT'S 'A' & 'B' - FLOOR PLAN AND BUILDING ELEVATION PLAN



Alexander Homes
 Plan:
 Client:
 Drawing: Left & Right
 August 21, 2001



Alexander Homes
 Plan:
 Client:
 Drawing: Front & Rear
 August 21, 2001



UNIT 'B'

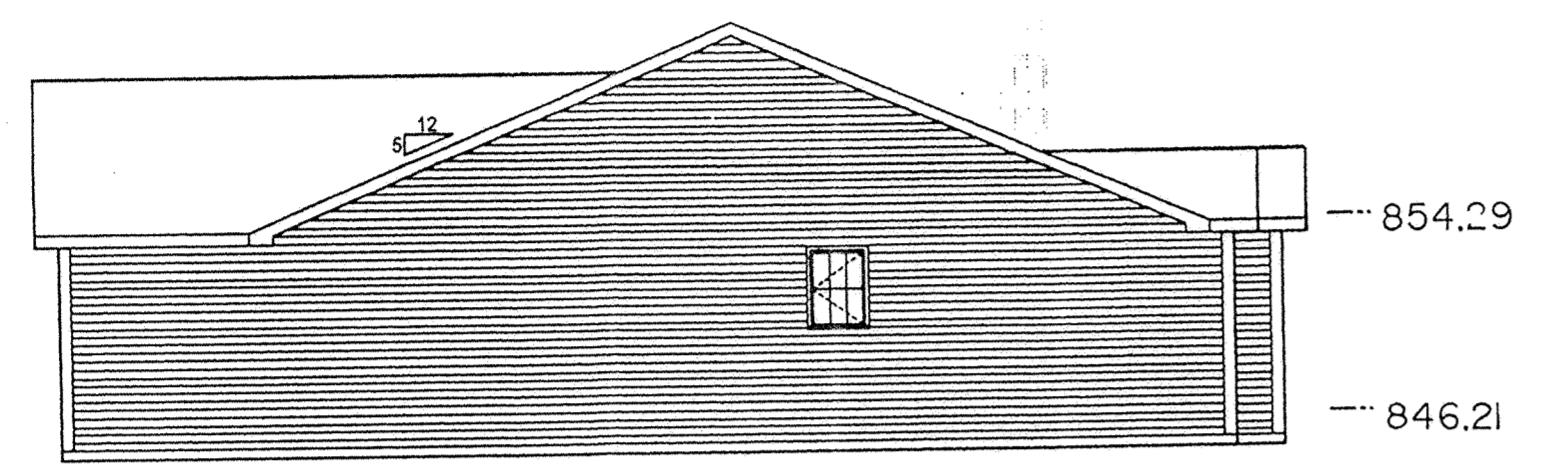
UNIT 'A'

SHELDON ENGINEERING & SURVEYING, INC.

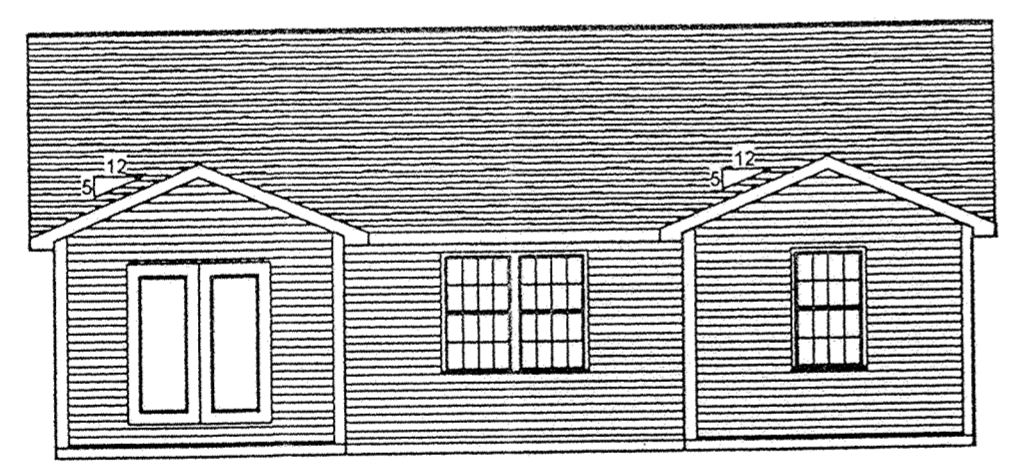
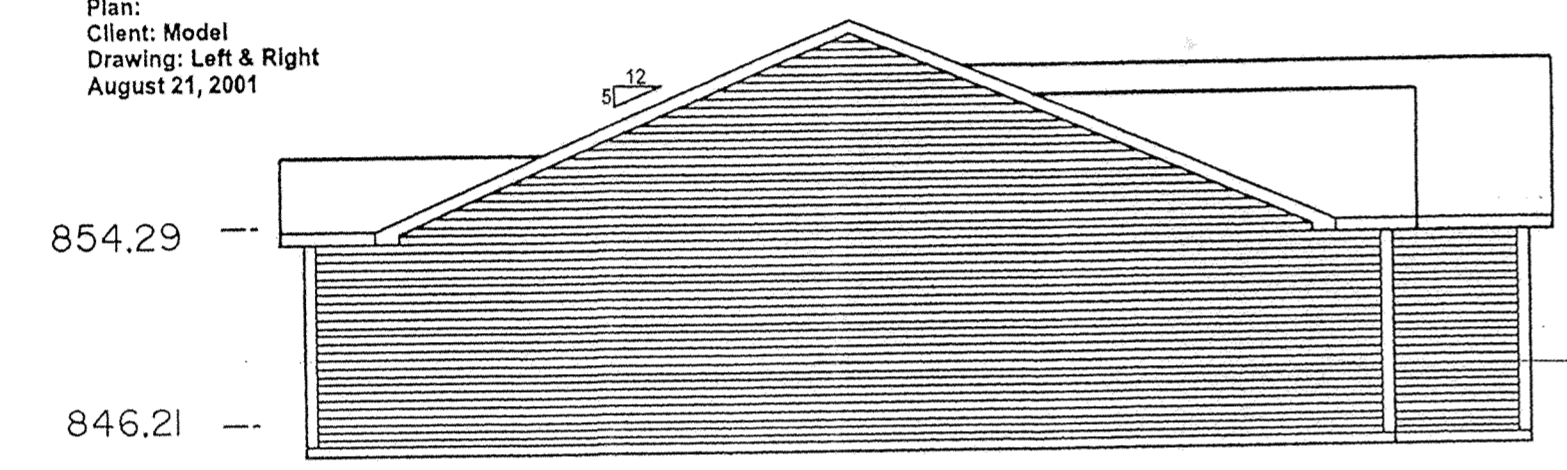
LIMA, OHIO

PLAN	NO.	DATE
222017	22201	NOV

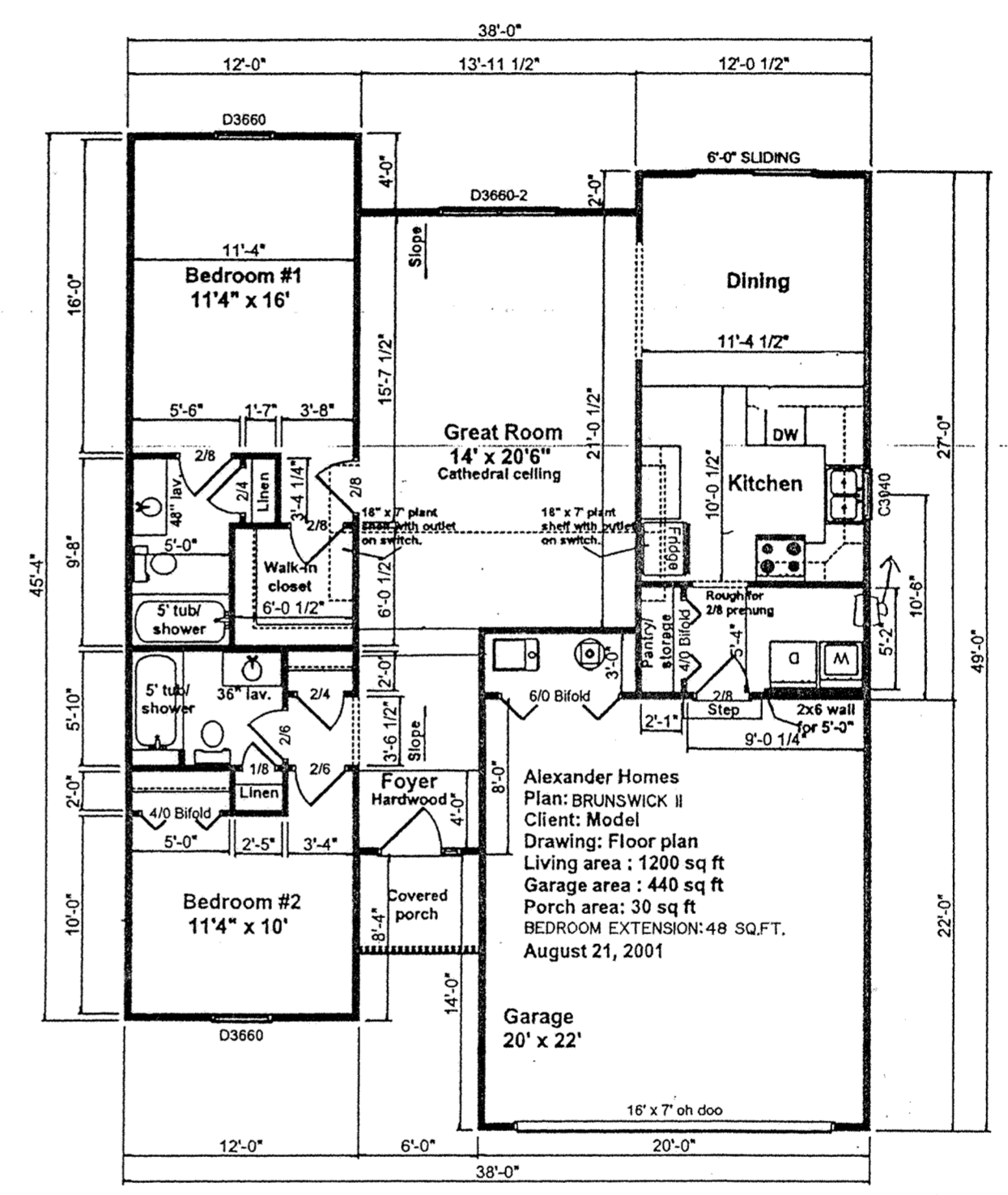
UNIT " G " - FLOOR PLAN AND BUILDING ELEVATION PLAN



Alexander Homes
Plan:
Client: Model
Drawing: Left & Right
August 21, 2001



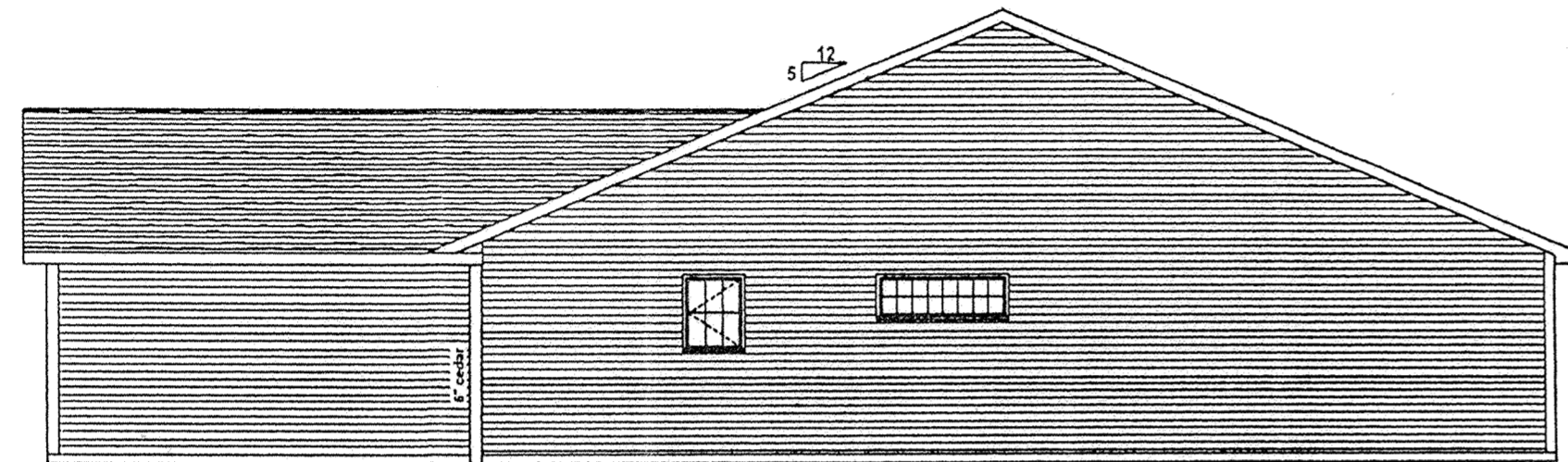
Alexander Homes
Plan:
Client: Model
Drawing: Front & Rear
August 21, 2001



Alexander Homes
Plan: BRUNSWICK II
Client: Model
Drawing: Floor plan
Living area : 1200 sq ft
Garage area : 440 sq ft
Porch area : 30 sq ft
BEDROOM EXTENSION: 48 SQ.FT.
August 21, 2001

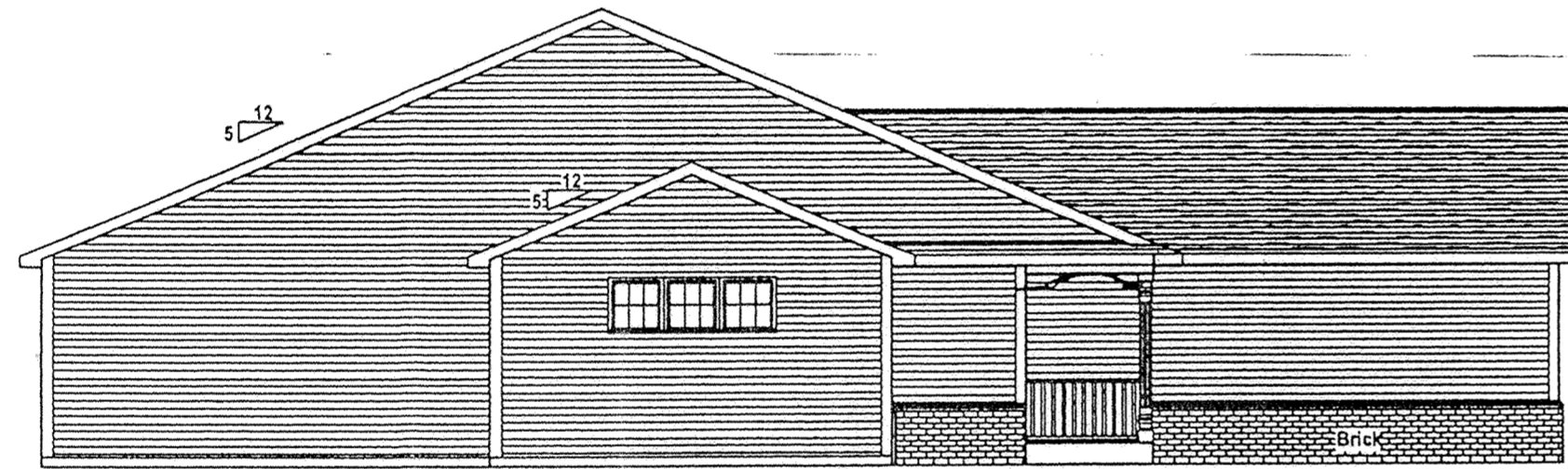
SHELDON ENGINEERING & SURVEYING, INC.
LIMA, OHIO
JOB NO. 22201

UNIT "D" - FLOOR PLAN AND BUILDING ELEVATION PLAN



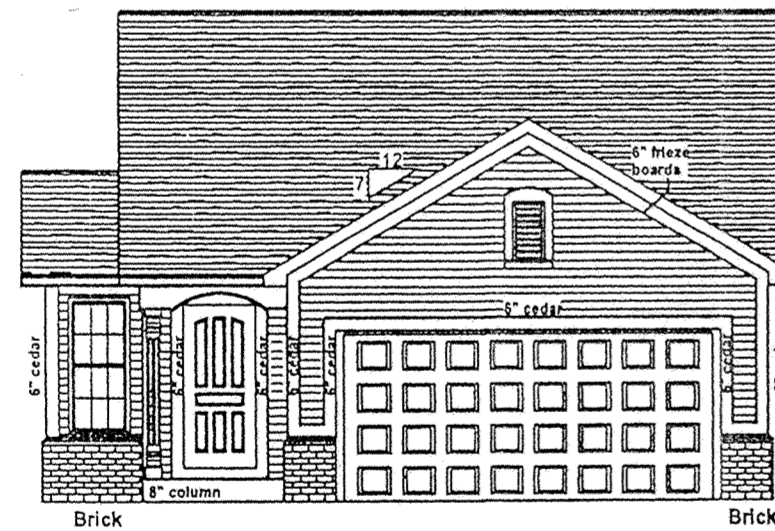
854.18

846.10



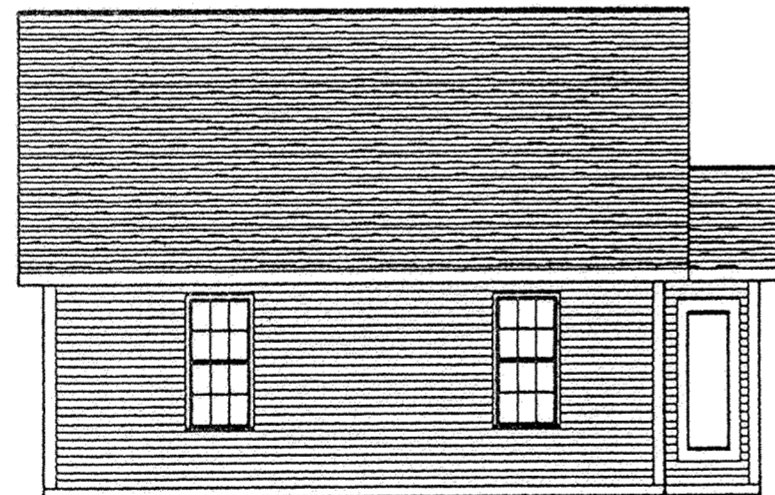
854.18

846.10

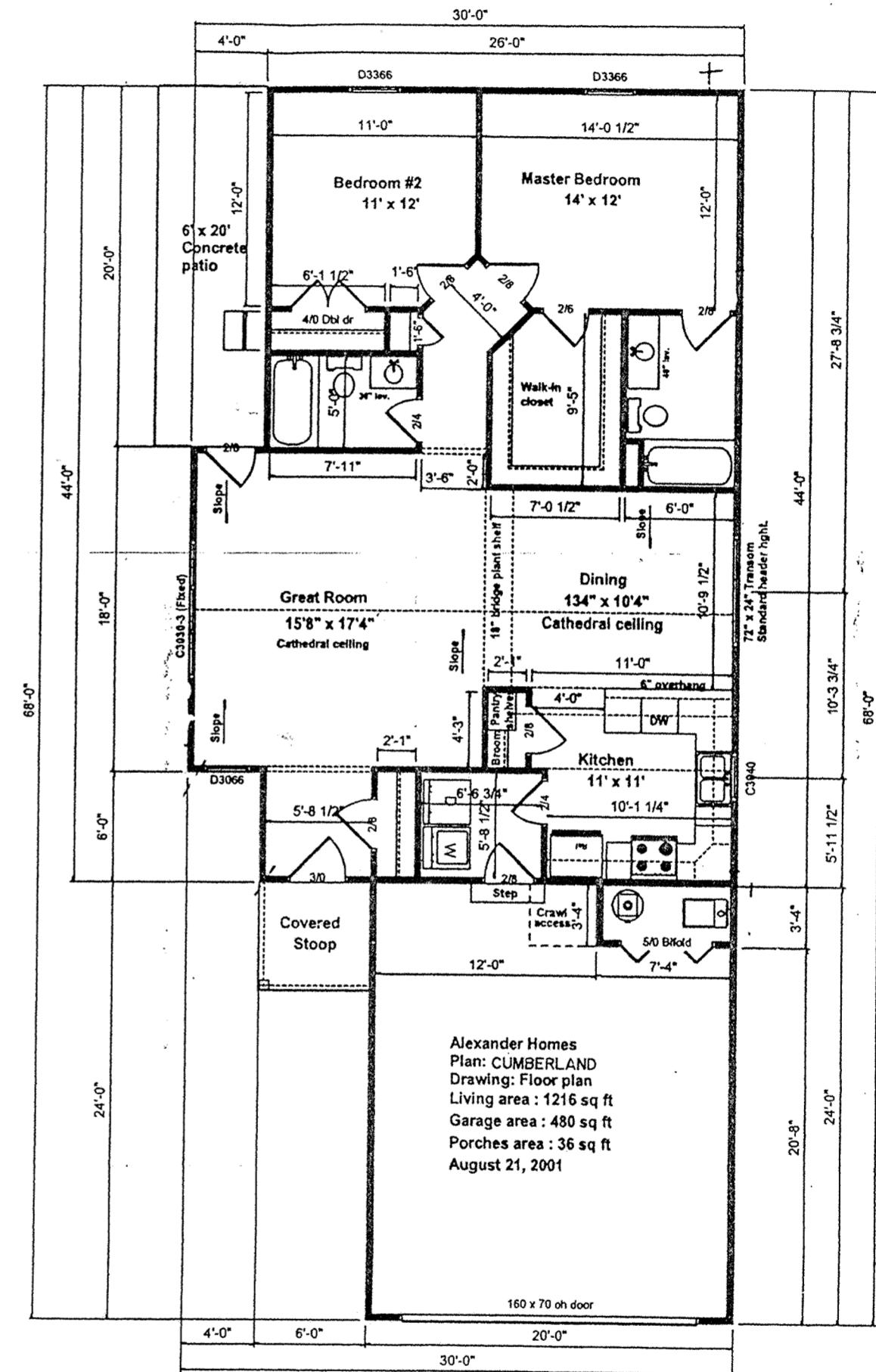


854.18

846.10



Alexander Homes
 Plan:
 Client:
 Drawing: Elevations
 August 21, 2001

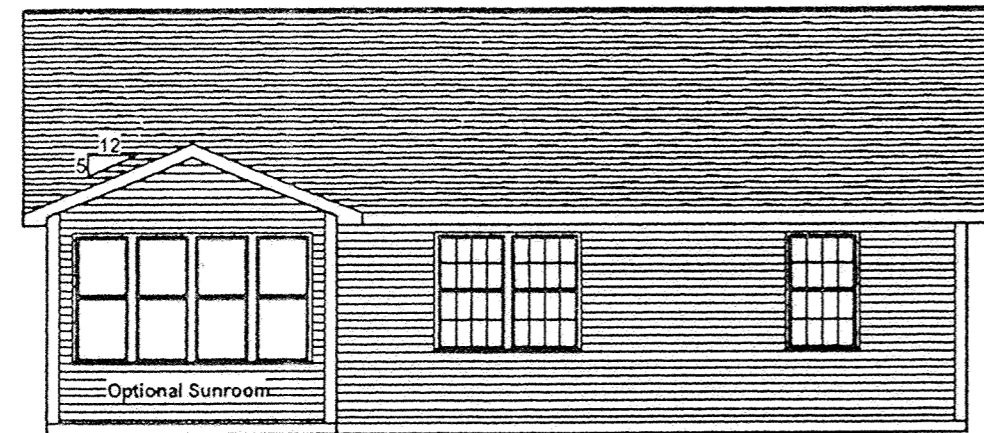


SHELDON ENGINEERING & SURVEYING, INC.

LIMA, OHIO

DATE	BY	JOB NO.
8/21/01	SK	22201
REVISION	DATE	BY

UNIT " E " - FLOOR PLAN AND BUILDING ELEVATION PLAN



854.54

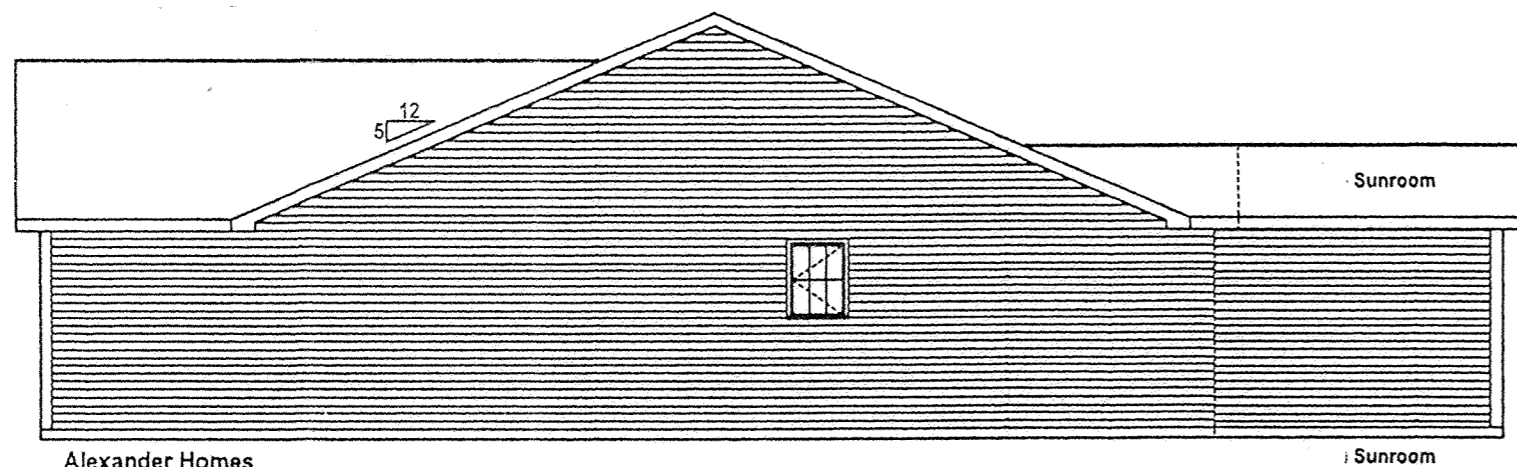
846.46



854.54

846.46

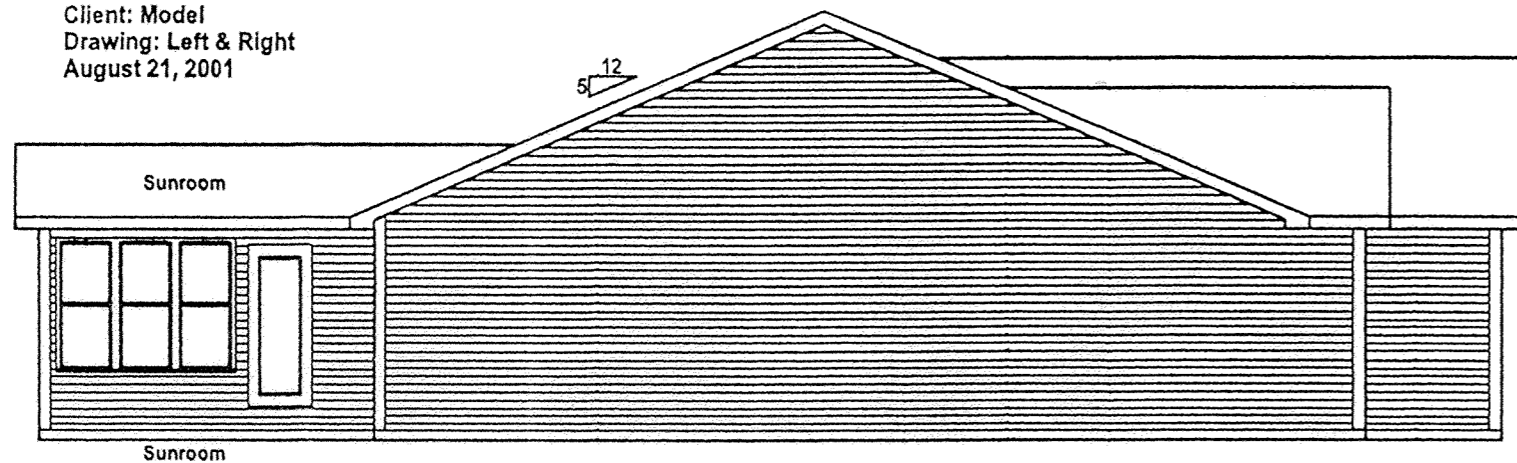
Alexander Homes
Plan:
Client: Model
Drawing: Front & Rear
August 21, 2001



854.54

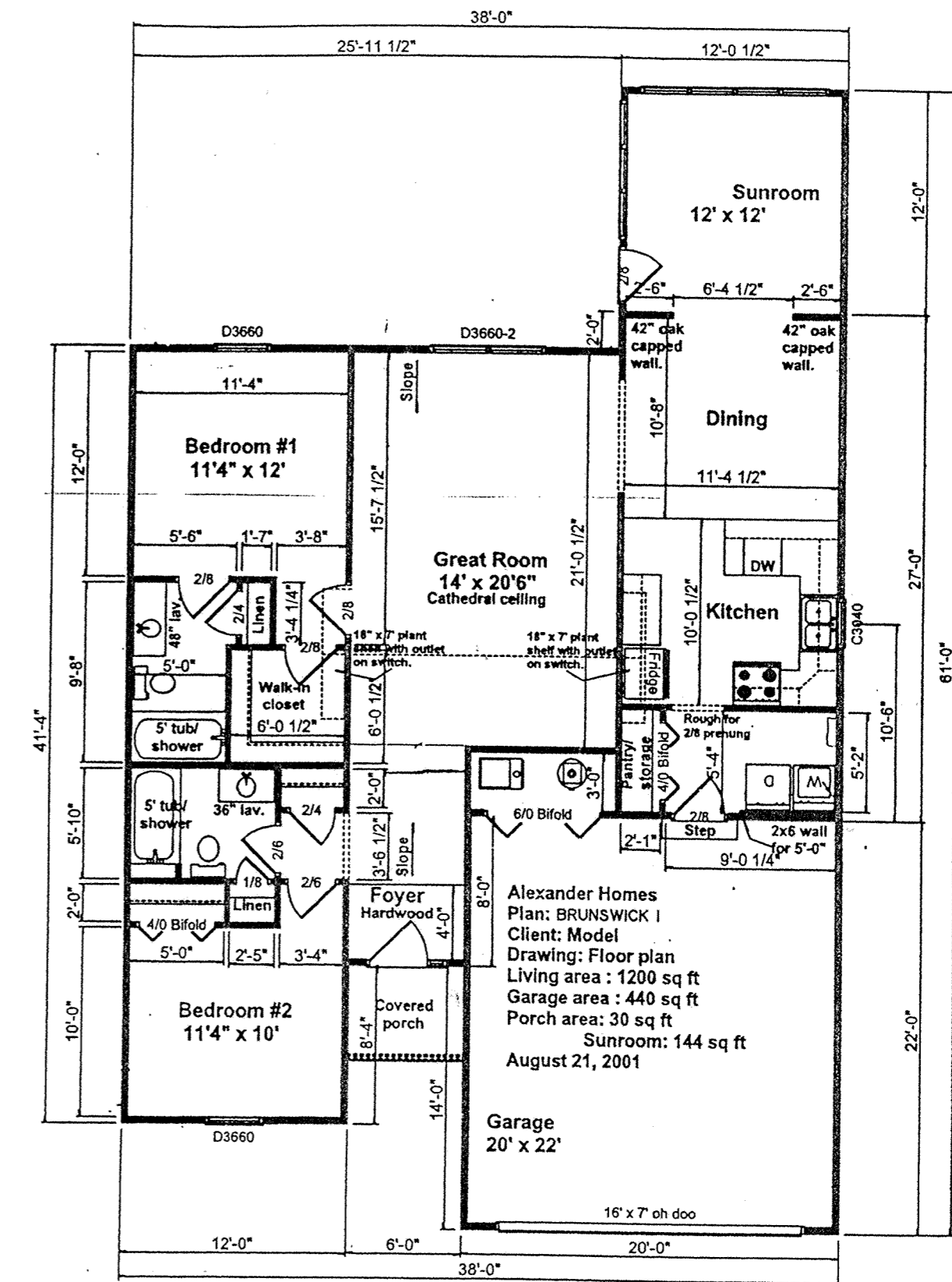
846.46

Alexander Homes
Plan:
Client: Model
Drawing: Left & Right
August 21, 2001



854.54

846.46



Alexander Homes
Plan: BRUNSWICK I
Client: Model
Drawing: Floor plan
Living area: 1200 sq ft
Garage area: 440 sq ft
Porch area: 30 sq ft
Sunroom: 144 sq ft
August 21, 2001

SHELDON ENGINEERING & SURVEYING, INC.

LIMA, OHIO

DATE	BY	FOR	22201
22201	SS	NO	
22201	SS	NO	

DEDICATOR'S LAND
 VILLA COMMUNITY AT THE OUTER BANKS
 CONDONIMIUMS PHASE 1
 LOTS NO. 29423, 29424 AND 29425
 JEFF CIMINILLO SUBDIVISION
 PLAT BOOK 24, PAGE 22
 IN THE S.W.1/4 OF SECTION 34
 T3S-R6E, AMERICAN TOWNSHIP
 ALLEN COUNTY, OHIO
 TAX PARCELS #36-3410-02-017.000
 #36-3410-02-018.000
 #36-3410-02-019.000
 BBA BUILDERS, INC.
 D.V.886, Pg.859

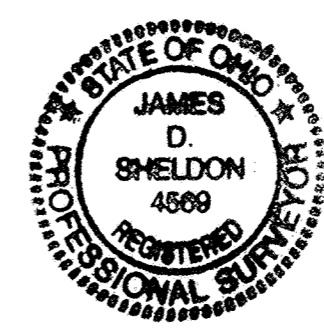
DEDICATOR'S LAND
 VILLA COMMUNITY AT THE OUTER BANKS
 PHASE 1
 0.784 ACRES

Being Lots 29423, 29424 and 29425 in the Jeff Ciminillo Subdivision (Plat Book 24, Page 22) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the west line of the Jeff Ciminillo Subdivision marking the southwest corner of Lot 29423 in said Subdivision -
 Thence North 00°-09'-37" East (bearing base) on and along the west line of Lots 29423, 29424 and 29425 in said Subdivision for a distance of 240.00 feet to a 5/8-inch iron pin found marking the northwest corner of Lot 29425, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
 Thence South 89°-41'-59" East on and along the north line of said Lot for a distance of 143.34 feet to a 5/8-inch iron pin set on the west line of Westerly Drive marking the northeast corner of said Lot 29425 -
 Thence South 00°-38'-17" West on and along said west line of Westerly Drive and the east line of Lots 29425, 29424 and 29423 for a distance of 240.00 feet to a 5/8-inch iron pin found marking the southeast corner of said Lot 29423, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
 Thence North 89°-41'-59" West on and along the south line of said Lot 29423 for a distance of 141.33 feet to the place of beginning.
 Containing in all 34,160 square feet or 0.784 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on a field survey performed on December 19, 2001, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

Date: 14 Jan 2002



James D. Sheldon
 James D. Sheldon, P.E., P.S.
 Registered Surveyor #4569

OWNERS' DEDICATION AND ACKNOWLEDGMENT

THE UNDERSIGNED, BEING THE OWNER OF THE LAND PLATTED HEREIN, DOES HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.
 BBA BUILDERS, INC.
 BY: *R.M. Alexander*
 WITNESS: *[Signature]* PRESIDENT

ACKNOWLEDGMENT

STATE OF OHIO)
 COUNTY OF ALLEN) ss:

BE IT REMEMBERED THAT ON THIS 17th DAY OF January 2002, PERSONALLY CAME THE SAID R.M. ALEXANDER KNOWN, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF FOREGOING STATEMENT TO BE HIS VOLUNTARY ACT AND DEED.

Shirley Sheldon Davis
 NOTARY PUBLIC IN AND FOR THE STATE OF OHIO

MY COMMISSION EXPIRES 9-19-06

SHEET 6 OF 6

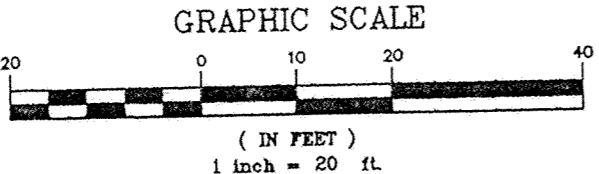


1	11/26/01	DRAFT	RB
2	12/28/01	REVISED PL	RB
NO.	DATE	DESCRIPTION	BY

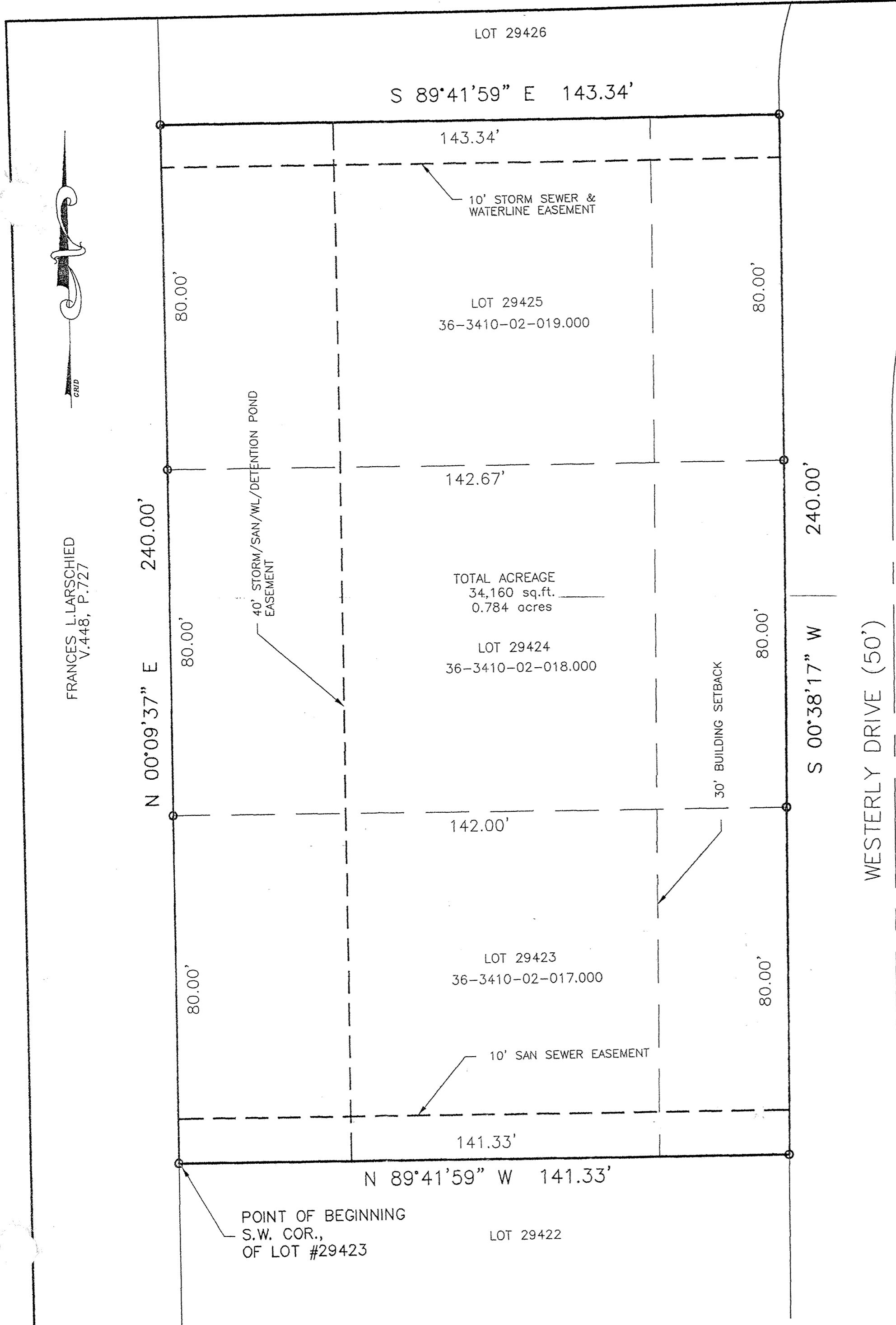
PREPARED BY:
 SHELDON ENGINEERING & SURVEYING, INC.
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E., P.S.

LEGEND

○ 5/8" X 30" IRON PIN FOUND AND CAPPED WITH A MARKER STAMPED 'SHELDON E & S / LIMA, OH'

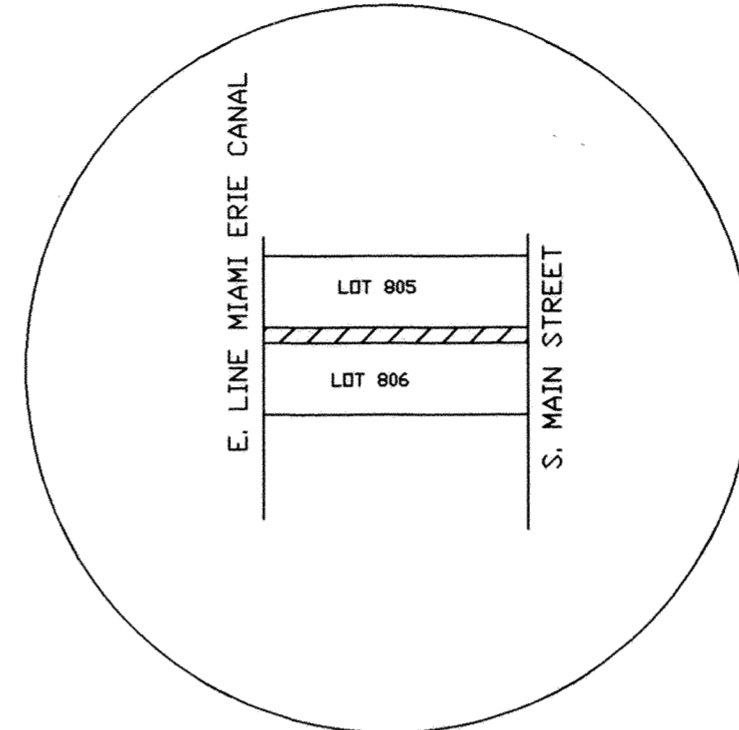


THIS PLAT REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON DECEMBER 19, 2001. REFERENCES: DEED RECORDS, TAX MAP & OFFICE RECORDS.



FRANCES L. LARSCHIED
 V.448, P.727

ALLEY VACATION PLAT
 OF A 16 FEET WIDE ALLEY BETWEEN LOTS 806 & 805
 & S. MAIN ST. ON EAST & MIAMI ERIE CANAL ON WEST
 AS SHOWN ON THE PLAT OF "T. A. WEGER'S SUBDIVISION OF D.L.'s 38 AND INLOT 441"
 TO THE CITY OF DELPHOS, ALLEN COUNTY, OHIO



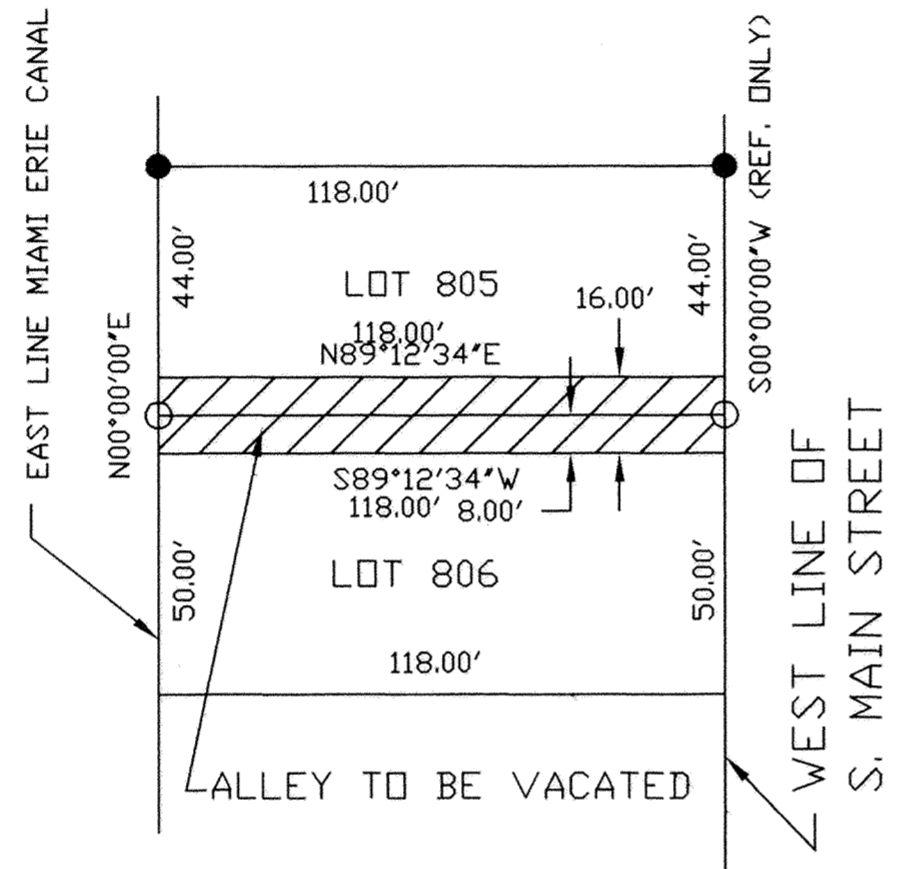
LOCATION MAP

LEGEND

- IRON PIN SET
- IRON ROD FD.



SCALE: 1"=40'



DESCRIPTION

Commencing at a found iron rod at the Northeast corner of Lot 805 in the T. A. Weger's Subdivision of D. L.'s 38-39 and Inlot 441 in the City of Delphos, Allen County, Ohio; Thence S00°00'00"W, along the West line of South Main Street, Forty-four and 00/100 (44.00) feet to a point marking the Southeast corner of Lot 805 for the Place of Beginning; Thence continuing S00°00'00"W, along said West line, Sixteen and 00/100 (16.00) feet to a point marking the Northeast corner of Lot 806, passing at Eight and 00/100 (8.00) feet a set iron rod; Thence N90°00'00"W, along the North line of Lot 806 in the City of Delphos, Ohio, One hundred eighteen and 00/100 (118.00) feet to a point at the Northwest corner of Lot 806; Thence N00°00'00"E, along the West line the Miami and Erie Canal Lands, Sixteen and 00/100 (16.00) feet to a point marking the Southeast corner of Lot 805, passing at Eight and 00/100 (8.00) feet a set iron rod; Thence N90°00'00"E, along the South line of Lot 805, One hundred eighteen and 00/100 (118.00) feet to the Place of Beginning.
 Containing 0.043 acres more or less.

This description is based upon survey work performed by Warren L. Foy Co., PA, thru December 27, 2001

Bearings are based upon as assumed bearing for the right of way of S. Main Street.

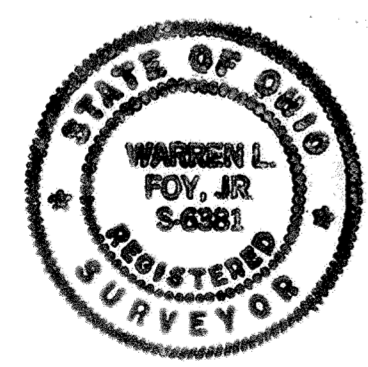
Iron pins are capped 5/8" Re-bars.

This description is subject to all legal highways and easements of record at the time of recording of the instrument.

200204820
 RECORDED: FEB 27, 2002
 AT 2:58 PM
 PLAT BK 24 pg 138
 EDWARD P. KIRK
 ALLEN COUNTY RECORDER
 FEE \$ 20.70

DEED VOL 893
 pg 623

REVIEWED BY:
Michael A. Howbert JAL
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 2-27-02



I CERTIFY THIS PLAT AND DESCRIPTION TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Warren L. Foy

WARREN L. FOY
 REGISTERED SURVEYOR S-6381
 DECEMBER 27, 2001

LEGAL DESCRIPTION

Owner of Record--St. Rita's Medical Center
(Deed Volume 866, Page 386)

Being a parcel of land situate in the Southwest quarter of Section 20, T-2-S, R-5-E, City of Delphos, Marion Township, Allen County, Ohio. This parcel is part of lands now owned by St. Rita's Medical Center (Deed Vol. 866, Page 386) (Tax Parcel Number 25-2000-03-008) and being more particularly described as follows:

Commencing at a monument box over a stone (found) at the Southwest corner of said Southwest quarter;

Thence N 0°00'00"E, 639.30 feet, with the West line of said Southwest quarter (centerline of Grone Road), to a P.K. nail (found) on the centerline of Lincoln Highway;

Thence N 89°20'00"E, 770.00 feet, with said centerline of Lincoln Highway, to a railroad spike (set) at the PLACE OF BEGINNING, the aforesaid line passing through a P.K. nail (found) at 480.00 feet at the Southwest corner of said lands owned by St. Rita's Medical Center (Deed Vol. 866, Page 386);

Thence N 0°00'00"E, 470.00 feet to an iron pipe (set), the aforesaid line passing through an iron pipe (set) at 50.00 feet on the North right-of-way line of said Lincoln Highway;

Thence N 89°20'00"E, 230.00 feet, parallel to the centerline of Lincoln Highway, to an iron pipe (set);

Thence S 0°00'00"W, 150.00 feet to a railroad spike (set);

Thence N 89°20'00"E, 206.00 feet, parallel to the centerline of Lincoln Highway, to an iron pipe (set) on the East line of said lands owned by St. Rita's Medical Center;

Thence S 0°00'00"W, 70.00 feet, with said East line of St. Rita's Medical Center land, to an iron pipe (set);

Thence S 89°20'00"W, 206.00 feet, parallel to the centerline of Lincoln Highway, to a railroad spike (set);

Thence S 0°00'00"W, 250.00 feet to a railroad spike (set) on the centerline of Lincoln Highway, the aforesaid line passing through an iron pipe (set) at 200.00 feet on the North right-of-way line of said Lincoln Highway;

Thence S 89°20'00"W, 230.00 feet, with said centerline, to the PLACE OF BEGINNING, containing 2.812 acres more or less of which 0.264 acres is Lincoln Highway right-of-way. This parcel is subject to all legal highways, easements, and restrictions of record.

The legal description above is based on surveying work performed by Kohli & Kaliber Associates, Inc. through January 29, 2002. The basis of bearing is the centerline of Lincoln Highway being N 89°20'00"E. Iron pipes called for herein are 3/4-inch diameter by 30-inch long with an orange plastic "K&K/LIMA" plug.

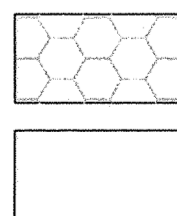
Feb 26, 2002
Date

James A. Frederick
James A. Frederick
Ohio Registered Surveyor No. 6622

KOHLI & KALIBER ASSOCIATES, INC.
CONSULTING ENGINEERS AND SURVEYORS
311 E. MARKET STREET - LIMA, OHIO
419-227-1135

LEGEND

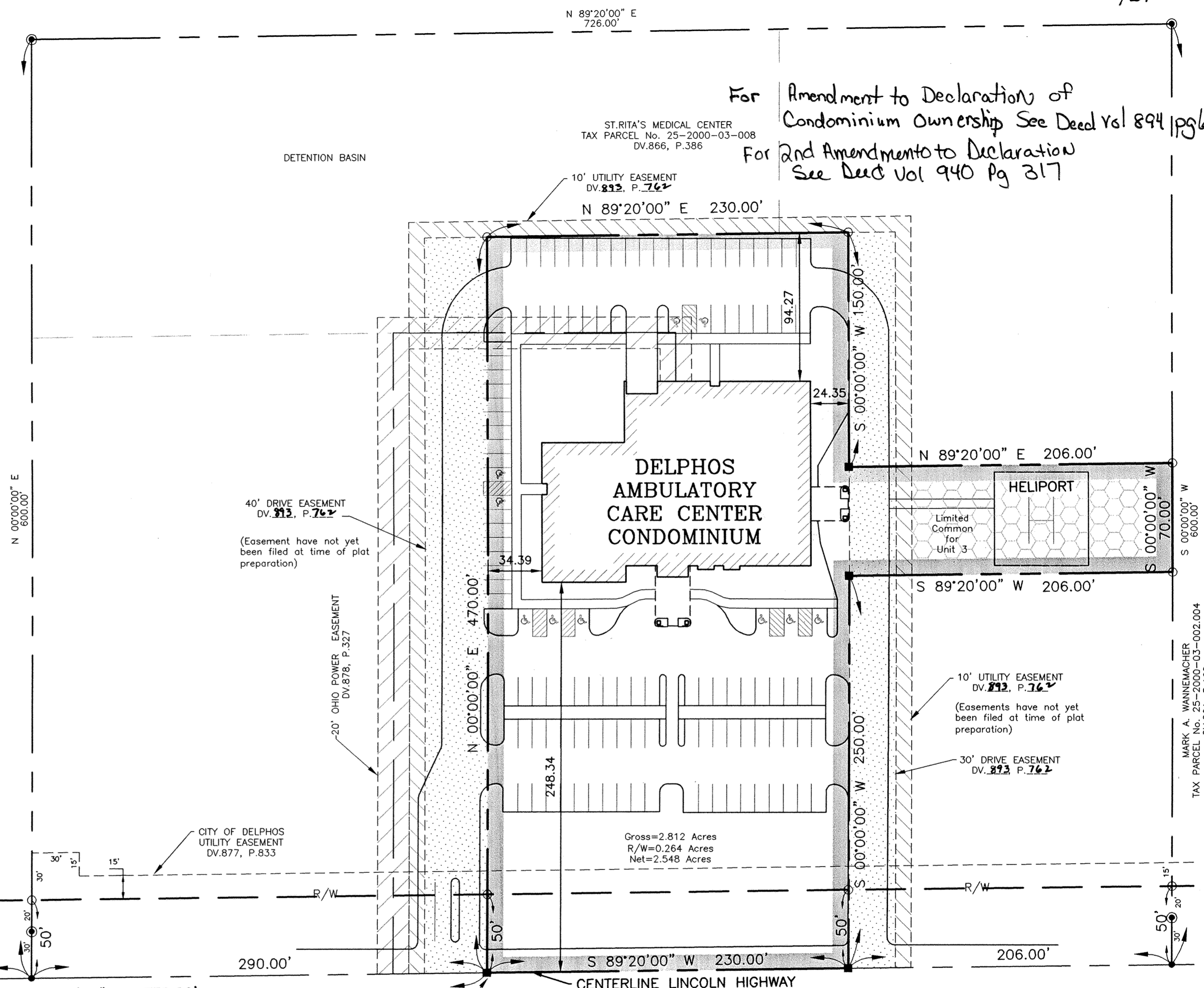
- 3/4"DIA. BY 30"LONG IRON PIPE (SET) CAPPED W/ORANGE "K&K/LIMA" PLUG
- PK NAIL (FOUND)
- ⊙ 5/8"DIA. IRON REBAR (FOUND)
- RAILROAD SPIKE (SET)



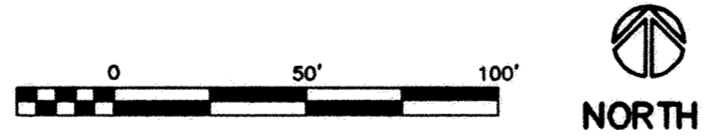
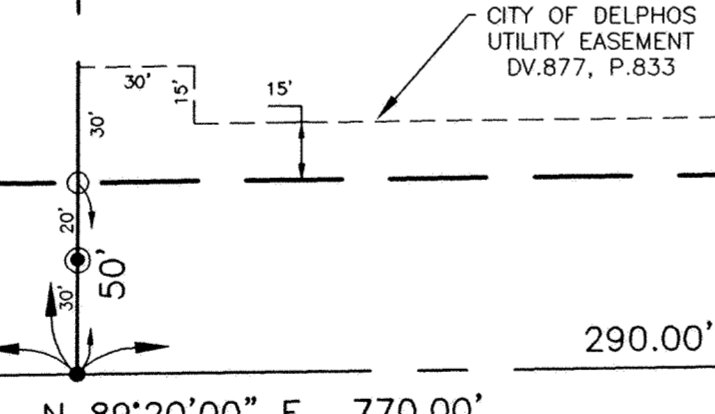
LIMITED COMMON

COMMON

Monument Box over a stone (found) @ SW Corner, SW 1/4, Sec. 20, T-2-S, R-5-E, Marion Twp., Allen County, Ohio



For Amendment to Declaration of Condominium Ownership See Deed Vol 894 pgs 695
For 2nd Amendment to Declaration See Deed Vol 940 Pg 317



DELPHOS AMBULATORY CARE CENTER CONDOMINIUM

PART OF THE SOUTHWEST QUARTER OF SECTION 20, T-2-S, R-5-E, MARION TOWNSHIP, CITY OF DELPHOS, ALLEN COUNTY, OHIO

CERTIFICATION
I, James A. Frederick, Registered Surveyor, State of Ohio No. 6622 do hereby certify that sheets C1.0 & C2.0, sheets 1 and 2 of the drawings herein consisting of sheets numbered 1 through 8 of 8, correctly represents the location, dimensions and configuration of the DELPHOS AMBULATORY CARE CENTER CONDOMINIUM, as it existed on the date shown.

Dated at Lima, Ohio, February 26, 2002

KOHLI & KALIBER ASSOCIATES, INC.
By *James A. Frederick*
Registered Surveyor No. 6622



COUNTY RECORDERS CERTIFICATE

No. 200205177
Filed for record in the Allen County, Ohio, Recorder's Office this 4th day of March, 2002 at 1:19 o'clock AM, and recorded in Allen County, Ohio, Plat Book 24 on Page 139.
Fee: 165.60
DEED VOL 893
Pg 768
Edward P. Kirby Jr
Recorder of Allen County, Ohio

EXHIBIT C
SHEET C1.0
SHEET 1 OF 8

MARK A. WANNEMACHER
TAX PARCEL No. 25-2000-03-002.004
DV.861, P.168

N 89°20'00" E
726.00'

LEGAL DESCRIPTION

Owner of Record--St. Rita's Medical Center
(Deed Volume 866, Page 386)
(Tax Parcel Number 25-2000-03-008)

Being a parcel of land owned by St. Rita's Medical Center (Deed Vol. 866, Page 386) (Tax Parcel Number 25-2000-03-008) situate in the Southwest quarter of Section 20, T-2-S, R-5-E, City of Delphos, Marion Township, Allen County, Ohio and being more particularly described as follows:

Commencing at a monument box over a stone (found) at the Southwest corner of said Southwest quarter;

Thence N 0°00'00"E, 639.30 feet, with the West line of said Southwest quarter (centerline of Grone Road), to a P.K. nail (found) on the centerline of Lincoln Highway;

Thence N 89°20'00"E, 480.00 feet, with said centerline of Lincoln Highway, to a P.K. nail (found) at the Southwest corner of said lands owned by St. Rita's Medical Center (Deed Vol. 866, Page 386), this being the PLACE OF BEGINNING;

Thence N 0°00'00"E, 600.00 feet, with the West line of said St. Rita's Medical Center land, to an iron rebar (found) at the Northwest corner of said lands owned by St. Rita's Medical Center, the aforesaid line passing through an iron rebar (found) at 30.00 feet and an iron pipe (set) at 50.00 feet on the North right-of-way line of Lincoln Highway;

Thence N 89°20'00"E, 726.00 feet, with the North line of said St. Rita's Medical Center land and parallel to the centerline of Lincoln Highway, to an iron rebar (found) at the Northeast corner of said lands owned St. Rita's Medical Center;

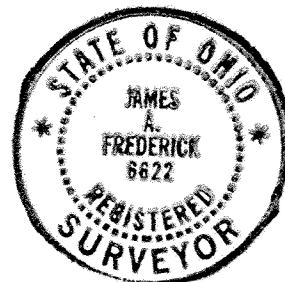
Thence S 0°00'00"W, 600.00 feet, with the East line of said St. Rita's Medical Center land, to a P.K. nail (found) on the centerline of Lincoln Highway, the aforesaid line passing through an iron pipe (set) at 550.00 feet on the North right-of-way of said Lincoln Highway and an iron rebar (found) at 570.00 feet;

Thence S 89°20'00"W, 726.00 feet, with said centerline, to the PLACE OF BEGINNING, containing 9.999 acres more or less of which 0.833 acres is Lincoln Highway right-of-way. This parcel is subject to all legal highways, easements, and restrictions of record.

The legal description above is based on surveying work performed by Kohli & Kaliher Associates, Inc. through January 29, 2002. The basis of bearing is the centerline of Lincoln Highway being N 89°20'00"E. Iron pipes called for herein are 3/4-inch diameter by 30-inch long with an orange plastic "K&K/LIMA" plug.

Feb. 26, 2002
Date

James A. Frederick
James A. Frederick
Ohio Registered Surveyor No. 6622



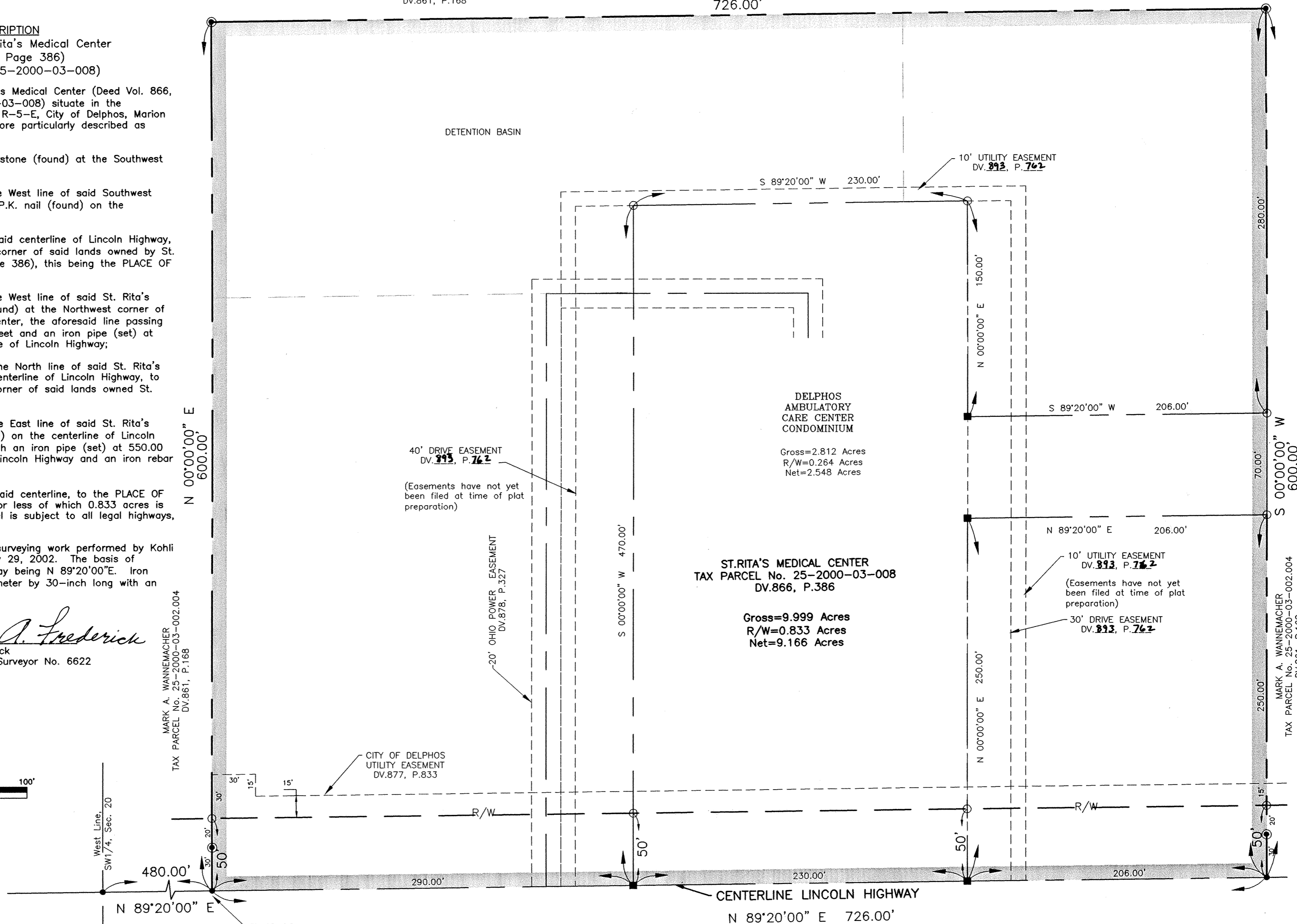
REVIEWED BY:
M. Howlett
MICHAEL HOWLETT, P.E.
ALLEN COUNTY ENGINEER
DATE: 2/26/02

LEGEND

- 3/4"DIA. BY 30"LONG IRON PIPE (SET)
CAPPED W/ORANGE "K&K/LIMA" PLUG
- PK NAIL (FOUND)
- ⊙ 5/8"DIA. IRON REBAR (FOUND)
- RAILROAD SPIKE (SET)

K&K
KOHLI & KALIHAR ASSOCIATES, INC.
CONSULTING ENGINEERS AND SURVEYORS
311 E. MARKET STREET - LIMA, OHIO
419-227-1135

Monument Box over a stone (found) @ SW Corner, SW 1/4, Sec. 20, T-2-S, R-5-E, Marion Twp., Allen County, Ohio



ST. RITA'S MEDICAL CENTER
TAX PARCEL No. 25-2000-03-008
DV.866, P.386

Gross=9.999 Acres
R/W=0.833 Acres
Net=9.166 Acres

DELPHOS AMBULATORY CARE CENTER CONDOMINIUM

Gross=2.812 Acres
R/W=0.264 Acres
Net=2.548 Acres

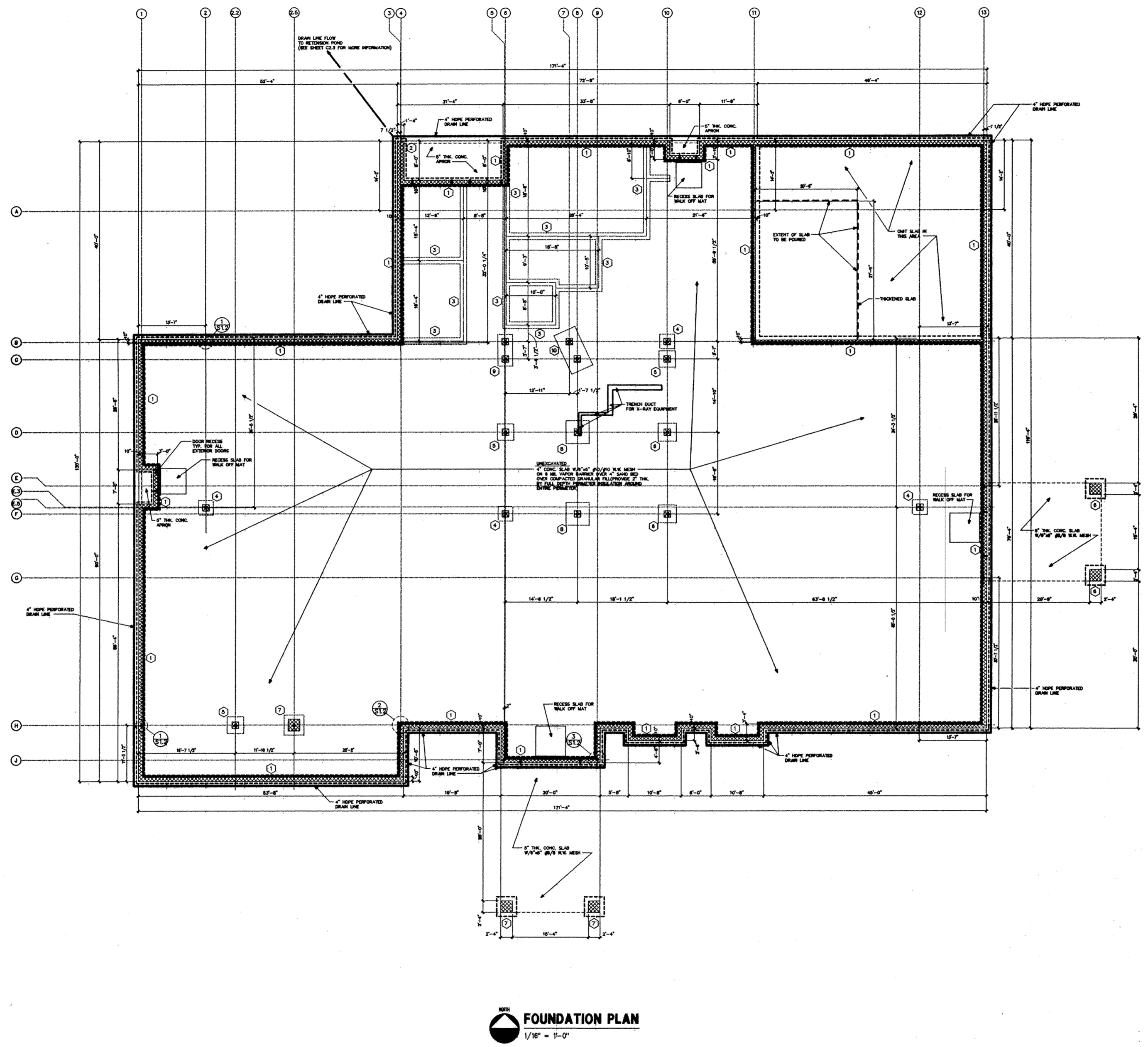
DEDICATORS PLAT
DELPHOS AMBULATORY CARE CENTER CONDOMINIUM

PART OF THE SOUTHWEST QUARTER OF SECTION 20,
T-2-S, R-5-E, MARION TOWNSHIP, CITY OF DELPHOS,
ALLEN COUNTY, OHIO

Reviewed by City of Delphos Zoning Officer
2-27-02 *Dennis Recker*
Date

EXHIBIT C
SHEET C2.0
SHEET 2 OF 8

141

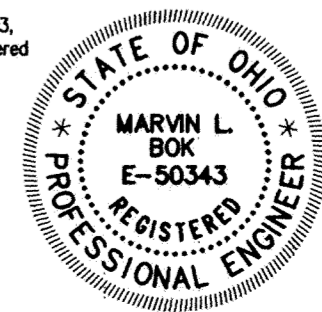


FOUNDATION PLAN
 1/16" = 1'-0"

ALL DESIGN ARRANGEMENTS AND PLANS INDICATED OR PRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINTAGE ARCHONICS AND WERE CREATED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE PROJECT SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF VINTAGE ARCHONICS ARCHITECTS AND ENGINEERS. WRITTEN PERMISSION OF VINTAGE ARCHONICS ARCHITECTS AND ENGINEERS IS REQUIRED FOR ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS BEFORE PROCEEDING WITH INSTALLATION.

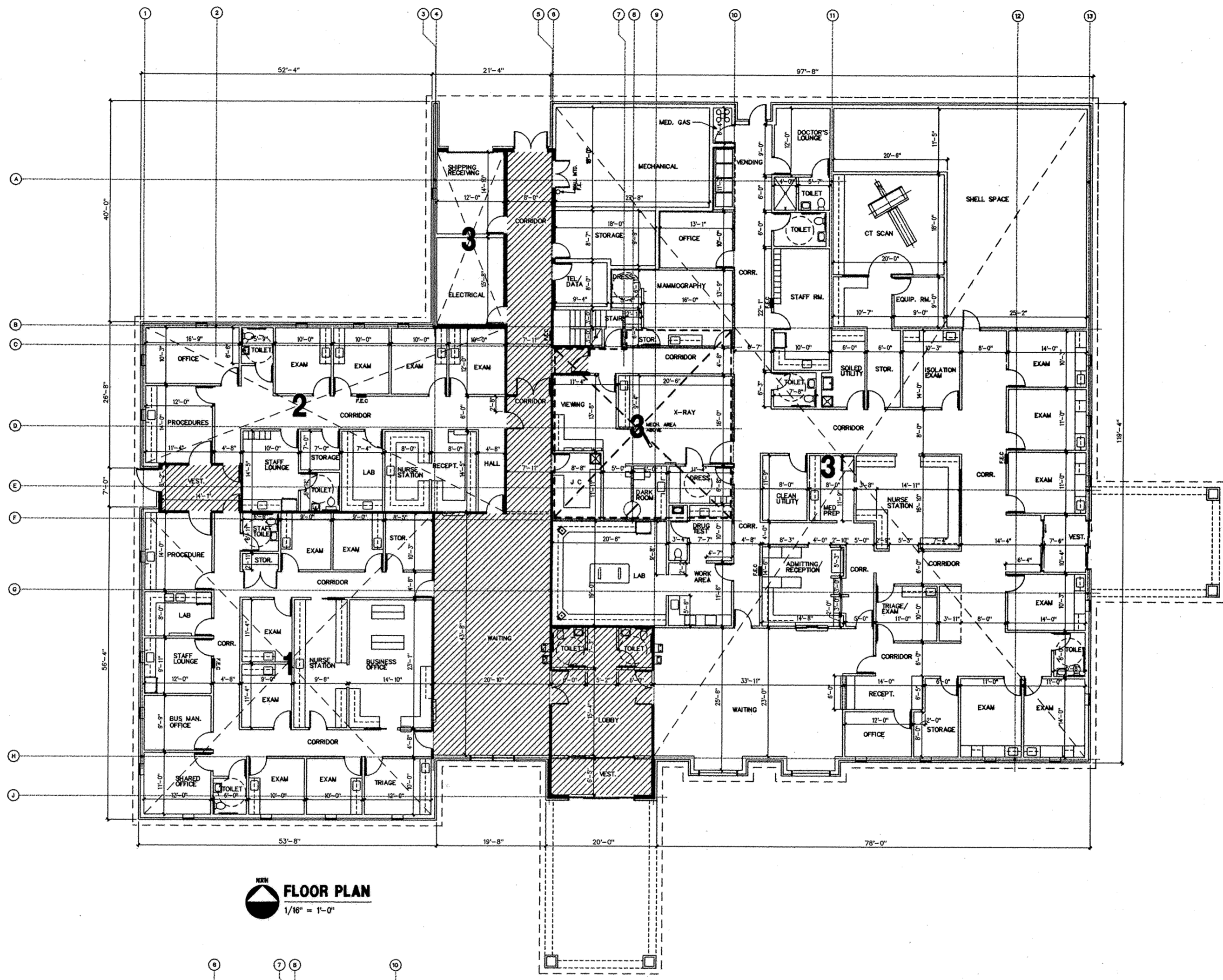
DELPHOS AMBULATORY CARE CENTER CONDOMINIUM
DELPHOS OHIO
FOUNDATION PLAN

I, Marvin L. Bok, registered Engineer in the State of Ohio No. E-50543, do hereby certify that the drawings herein consisting of sheets numbered S1.0, A1.0, A1.1, A2.0, A4.0, & A4.1 do correctly represent the location, dimensions and configurations of Delphos Urgent Care Center Condominiums as it existed on the date shown.
 DATED: February 21, 2002
 Vintage Archonics, Inc.
 BY: *Marvin L. Bok*
 Registered Engineer, No. E-50343

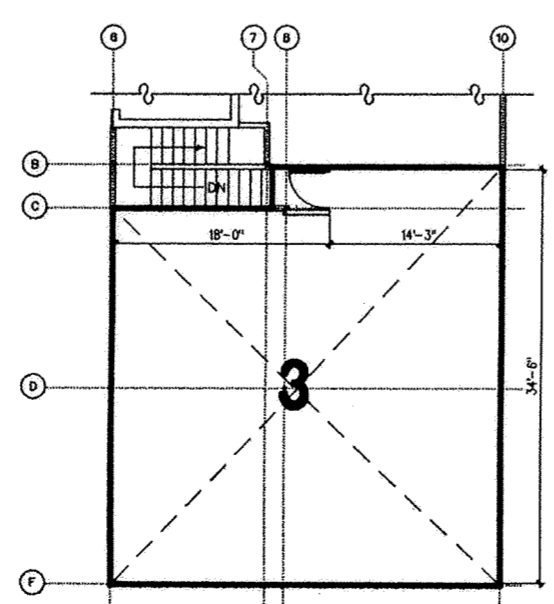


DRAWN	EP
CHECKED	FHL
DATE	2-21-02
PROJ. NO.	99153
DWG. NO.	S1.0
	3 of 8

142



FLOOR PLAN
1/16" = 1'-0"



MECHANICAL AREA FLOOR PLAN
1/16" = 1'-0"

DRAWING DESIGNATION

DESIGNATION	TOTAL SQ. FT.
UNIT AREA	17,781.77
COMMON AREA	2198.76
TOTAL SQUARE FEET AREA	19,980.53

UNIT DESIGNATION

UNIT	SQ. FT.	% INTEREST
1	2,953.37	16.61
2	2,121.46	11.93
3	12,706.94	71.46
TOTAL	17,781.77	100

142

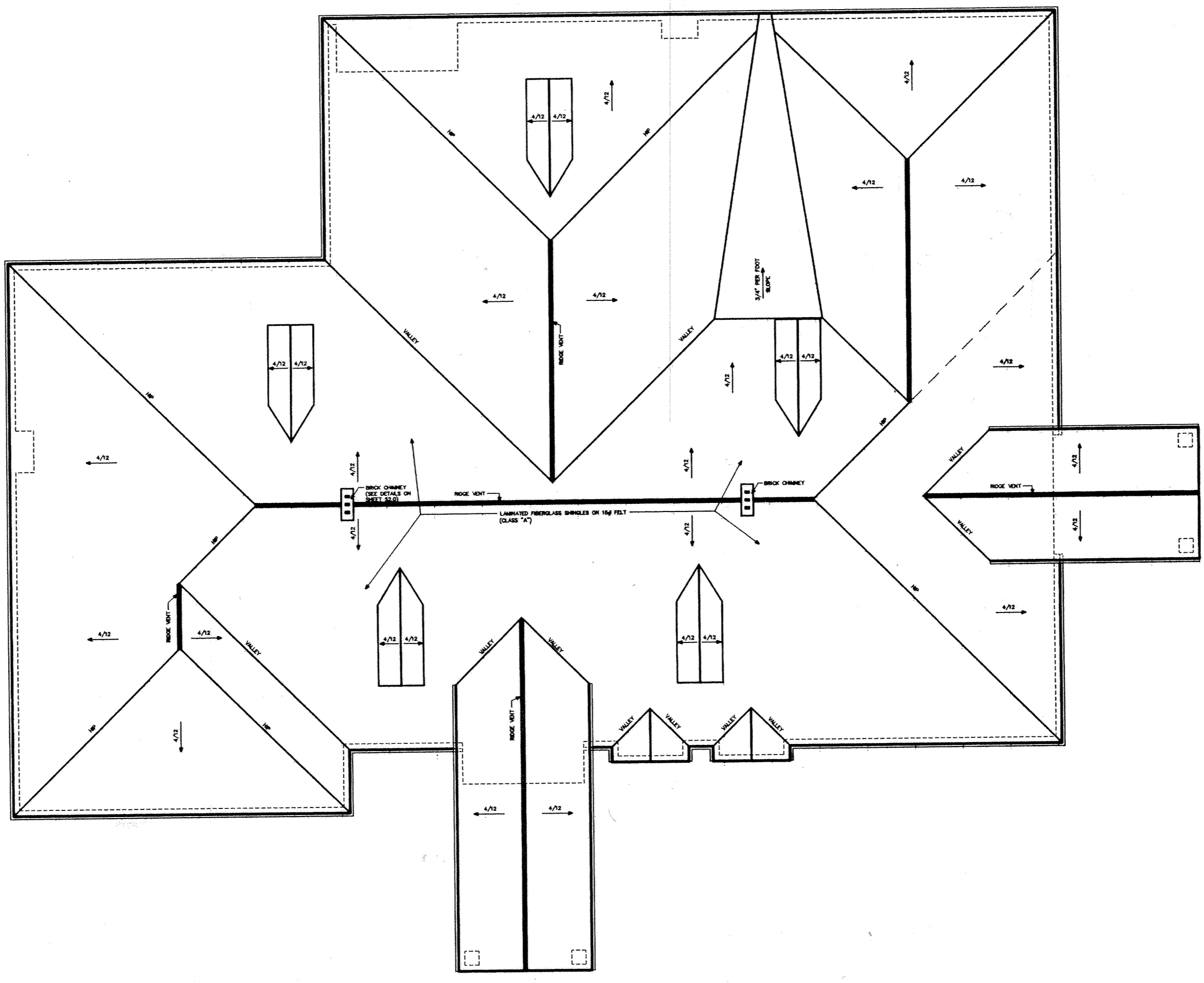
VINTAGE ARCHONICS
Architecture ♦ Engineering ♦ Interior Design
FORT WAYNE, IN NAPLES, FL

ALL DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR PRESENTED IN THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINTAGE ARCHONICS. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED, COPIED, REPRODUCED, TRANSMITTED, OR DISCLOSED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF VINTAGE ARCHONICS. VINTAGE ARCHONICS SHALL NOT BE RESPONSIBLE FOR ANY DIMENSIONS AND CONDITIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS BEFORE PROCEEDING WITH INSTALLATION.

DELPHOS AMBULATORY CARE CENTER CONDOMINIUM
DELPHOS OHIO
FLOOR PLAN

DRAWN EP
CHECKED FHL
DATE 2-21-02
PROJ. NO. 99153

143



ROOF PLAN
 1/16" = 1'-0"

ALL DESIGN ORGANIZATION AND PLANS INDICATED OR PRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINTAGE ARCHONICS AND WERE CREATED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE DESIGN, PERSONNEL OR INFORMATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF VINTAGE ARCHONICS ARCHITECTS AND ENGINEERS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL OTHER DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH INSTALLATION.

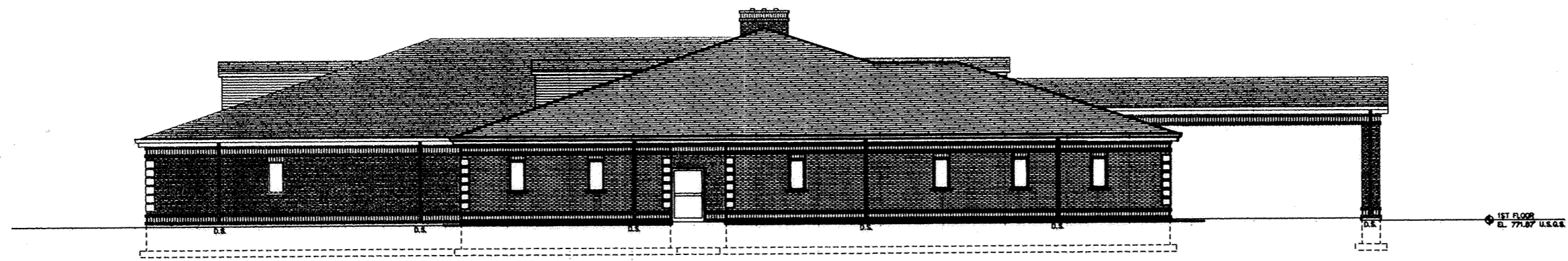
DELPHOS AMBULATORY CARE CENTER CONDOMINIUM
DELPHOS OHIO
ROOF PLAN

DRAWN EP
 CHECKED FHL
 DATE 2-21-02
 PROJ. NO. 99153

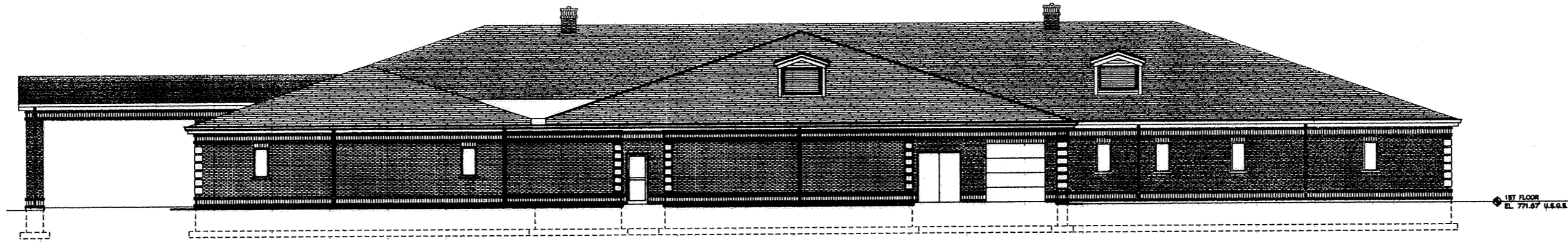
DWG. NO. **A1.1**
 5 of 8

VINTAGE ARCHONICS
 Architecture ♦ Engineering ♦ Interior Design
 FORT WAYNE, IN
 NAPLES, FL

144



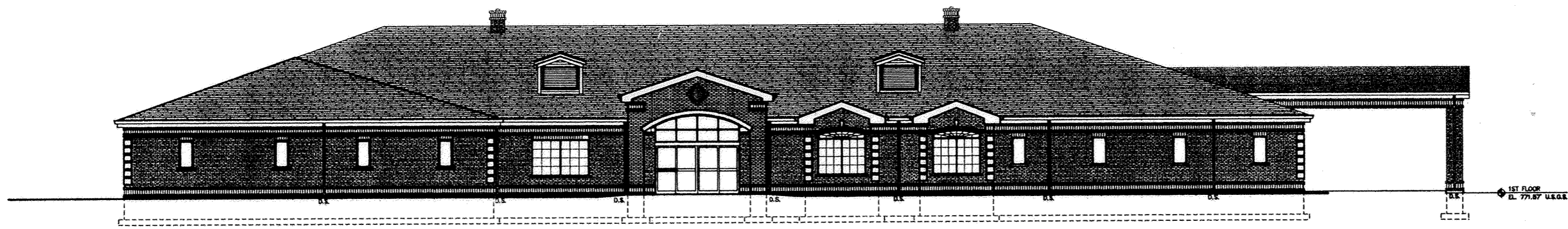
WEST ELEVATION
1/16" = 1'-0"



NORTH ELEVATION
1/16" = 1'-0"



EAST ELEVATION
1/16" = 1'-0"



SOUTH ELEVATION
1/16" = 1'-0"

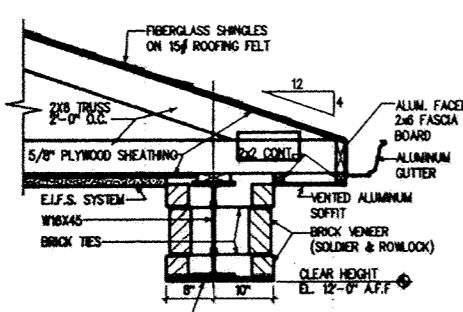
VINTAGE ARCHONICS
Architecture ♦ Engineering ♦ Interior Design
FORT WAYNE, IN
NAPLES, FL

ALL DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR PRESENTED BY VINTAGE ARCHONICS ARCHONICS AND WERE CREATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF VINTAGE ARCHONICS ARCHITECTS AND ENGINEERS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSION. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS AND BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH INSTALLATION.

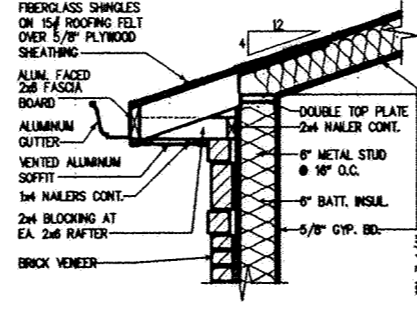
DELPHOS AMBULATORY CARE CENTER CONDOMINIUM
OHIO
DELPHOS
ELEVATIONS

DRAWN EP
CHECKED FHL
DATE 2-21-02
PROJ. NO. 99153

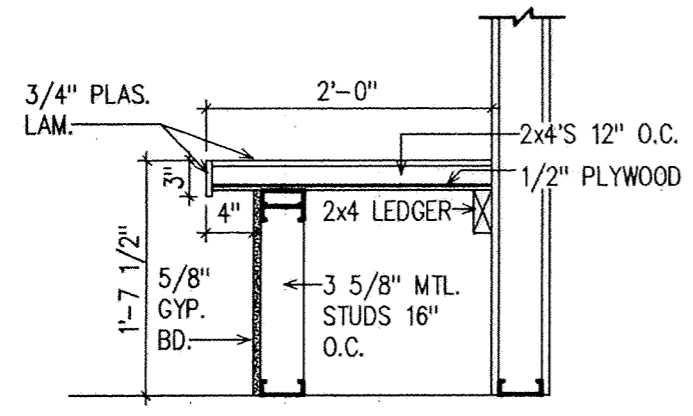
DWG. NO.
A2.0
6 of 8



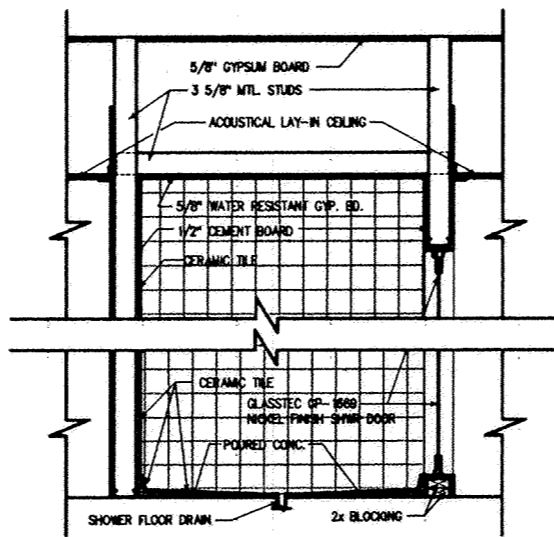
SECTION 1
3/8" = 1'-0"



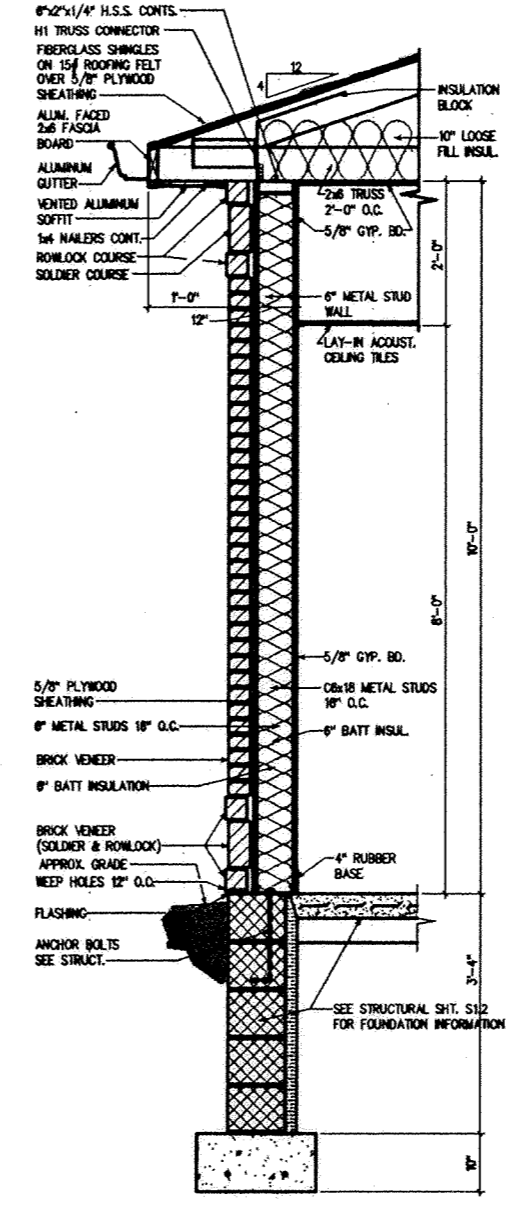
SECTION 5
3/8" = 1'-0"



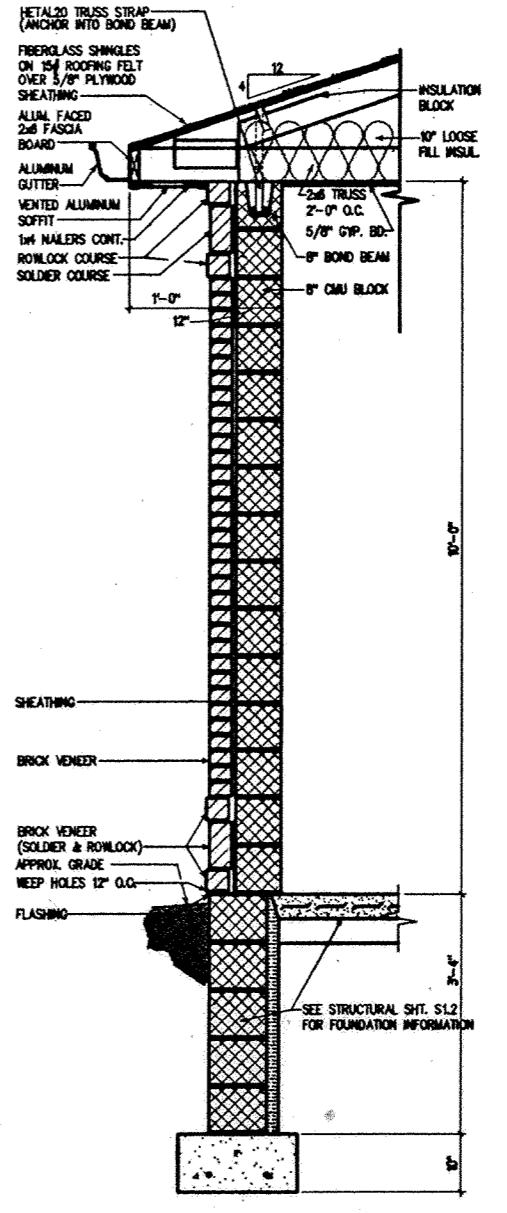
TYPICAL PLAS. LAMINATE BENCH
3/8" = 1'-0"



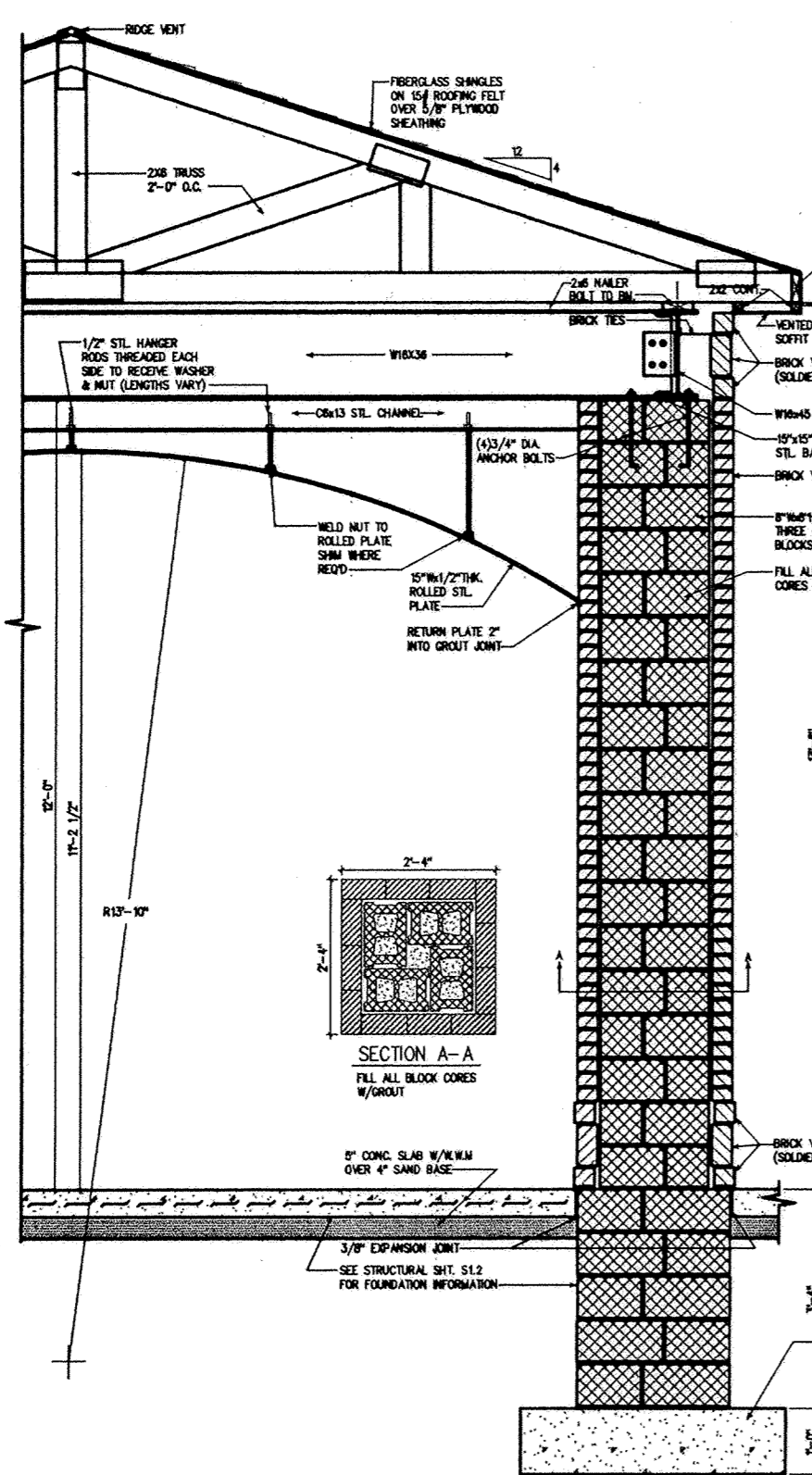
SECTION 13
3/8" = 1'-0"



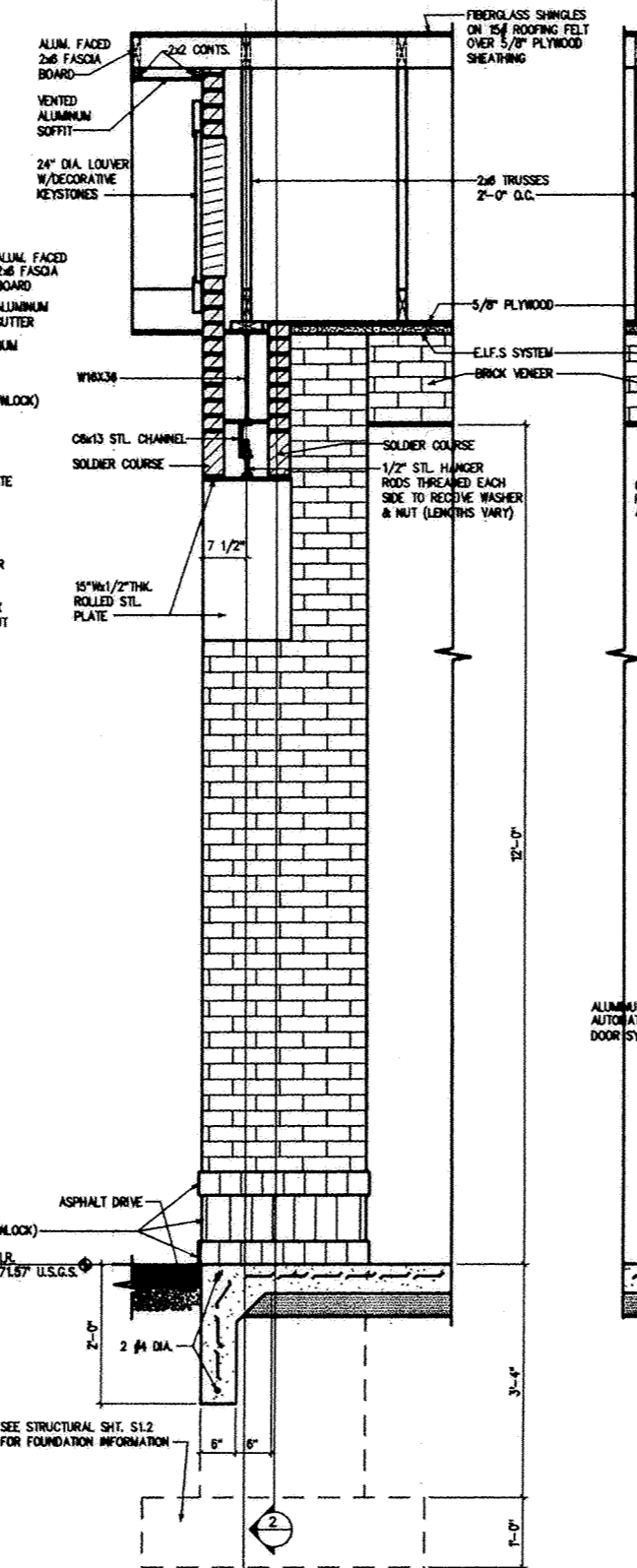
SECTION 6
3/8" = 1'-0"



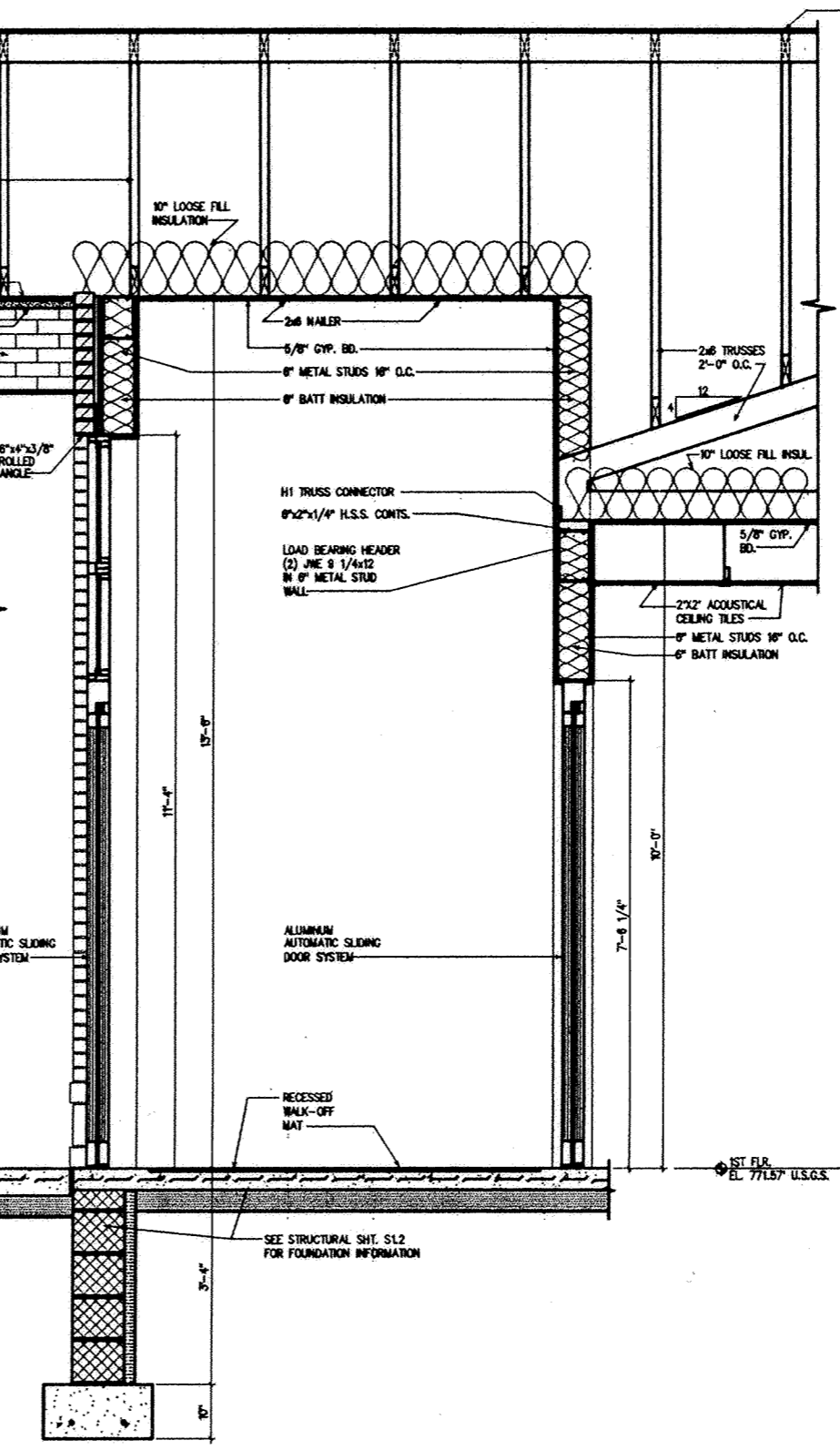
SECTION 7
3/8" = 1'-0"



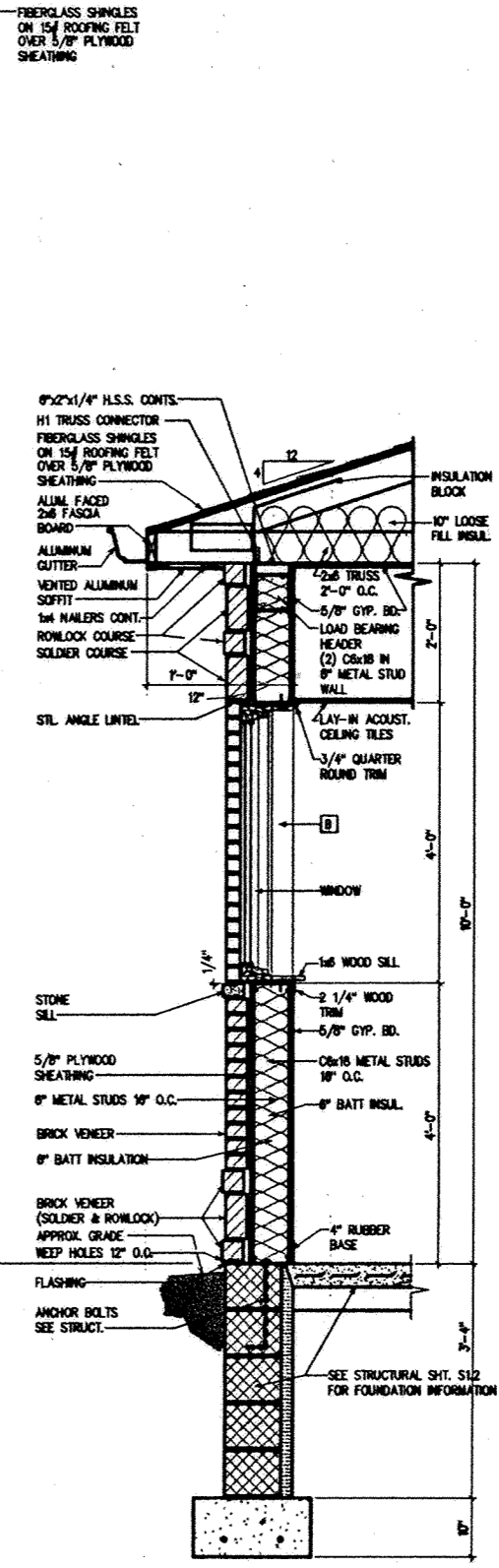
SECTION 2
3/8" = 1'-0"



SECTION 3
3/8" = 1'-0"



SECTION 4
3/8" = 1'-0"



SECTION 4
3/8" = 1'-0"

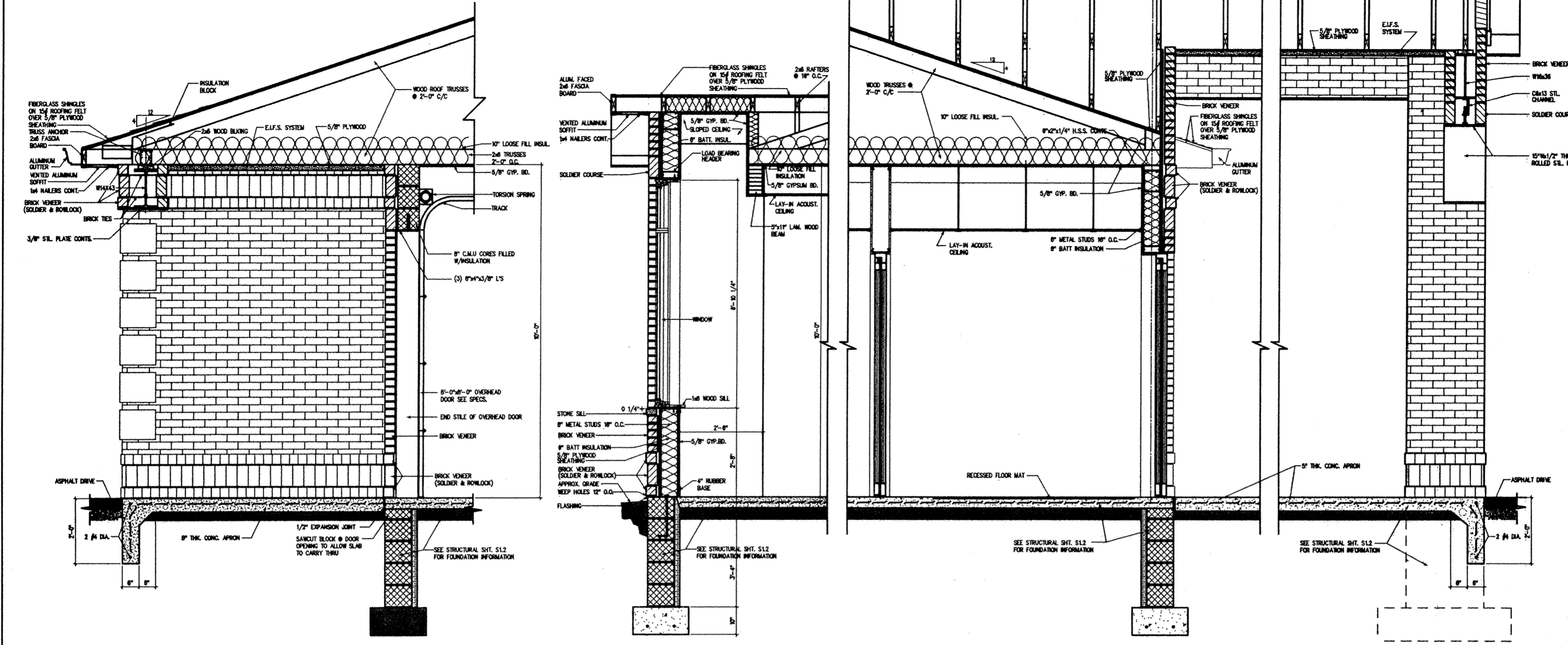
145

VINTAGE ARCHONICS
Architecture Engineering Interior Design
NAPLES, FL

ALL DESIGN, ARRANGEMENTS, AND PLANS INDICATED OR PRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF VINTAGE ARCHONICS, INC. AND WERE CREATED AND DEVELOPED FOR USE BY THE DESIGNER, ARCHITECTS, ENGINEERS, OR PLANS SHALL BE DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF VINTAGE ARCHONICS. CONTRACTORS SHALL HAVE PREFERENCE OVER SCALE DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE ADVISED BY THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH INSTALLATION.

DELPHOS AMBULATORY CARE CENTER CONDOMINIUM
OHIO
DELPHOS
WALL SECTIONS

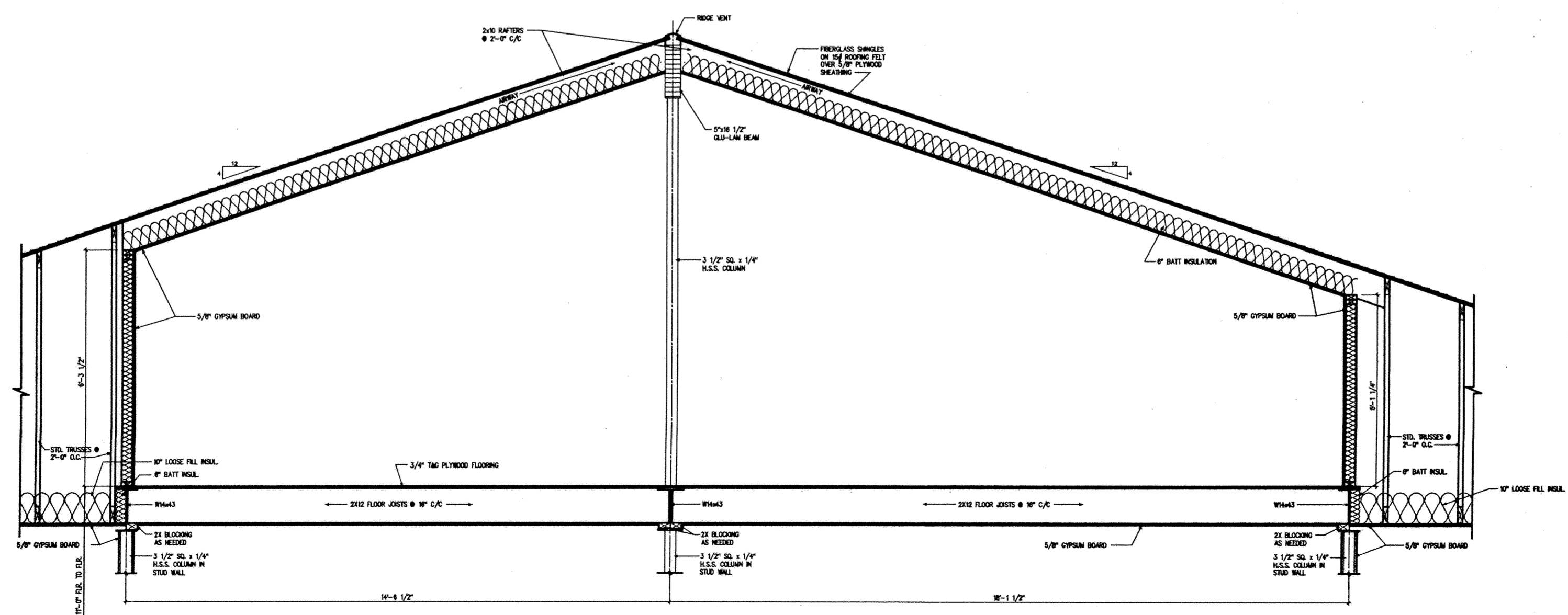
DRAWN: EP
CHECKED: FHL
DATE: 2-21-02
PROJ. NO: 99153
DWG. NO: A4.0 7 of 8



10 SECTION
3/8" = 1'-0"

8 SECTION
3/8" = 1'-0"

11 SECTION
3/8" = 1'-0"



9 SECTION
3/8" = 1'-0"

NAPLES, FL

VINTAGE ARCHONICS
Architecture & Engineering

FORT WAYNE, IN

ALL DESIGN, ARRANGEMENTS, AND PLANS INDICATED OR PRESENTED BY ARCHONICS, INC. AND WERE CREATED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THE DESIGN, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF VINTAGE ARCHONICS, INC. ARCHITECTS AND ENGINEERS' WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH INSTALLATION.

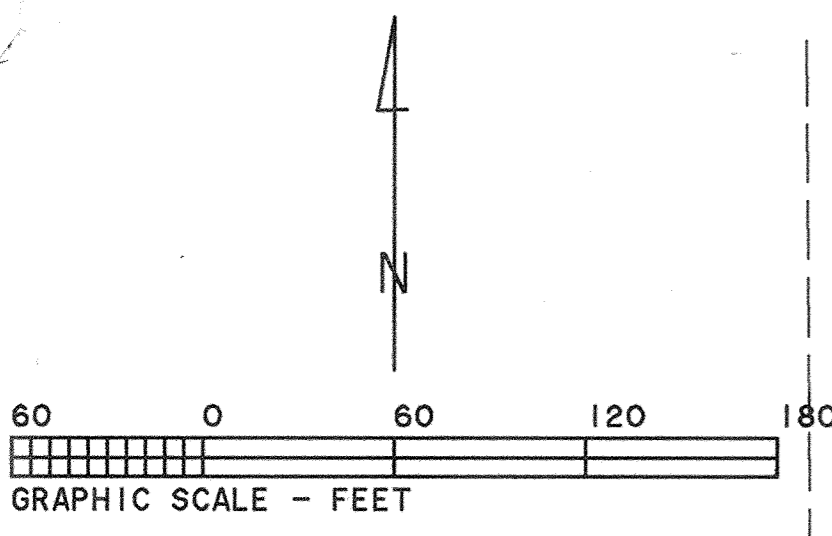
DELPHOS AMBULATORY CARE CENTER CONDOMINIUM
OHIO
DELPHOS

WALL SECTIONS

DRAWN	EP
CHECKED	FHL
DATE	2-21-02
PROJ. NO.	99153
DWG. NO.	A4.1
8 of 8	

SPRINGBROOK GREENS CONDOMINIUMS NO. 6

Part of the NW 1/4 of Section 7, T3S, R7E, Bath Twp., Allen Co., Oh.



R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	60.00'	93.44'	89° 13' 31"	84.28'	N 44° 06' 11" E
C-2	100.00'	87.87'	50° 20' 50"	85.07'	N 24° 39' 51" E
C-3	75.00'	50.89'	38° 52' 41"	49.92'	N 69° 16' 37" E
C-4	40.00'	63.37'	90° 46' 29"	56.95'	S 45° 53' 48" E
C-5	75.00'	52.36'	40° 00' 00"	51.30'	S 20° 30' 34" E
C-6	100.00'	69.81'	40° 00' 00"	68.40'	S 20° 30' 34" E

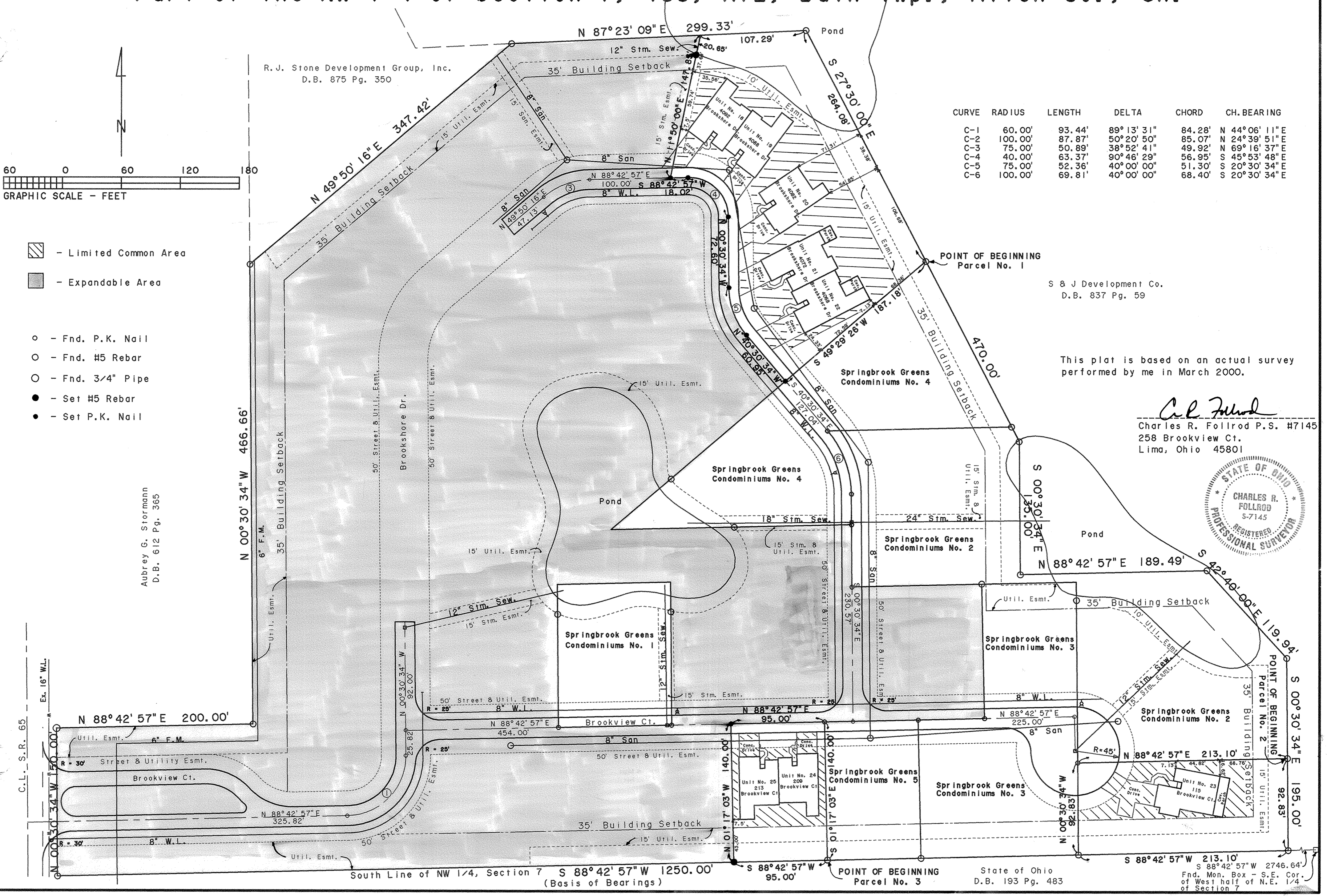
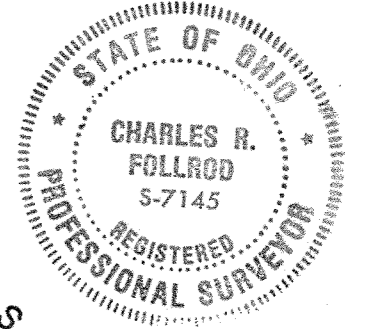
- Limited Common Area
- Expandable Area
- Fnd. P.K. Nail
- Fnd. #5 Rebar
- Fnd. 3/4" Pipe
- Set #5 Rebar
- Set P.K. Nail

Aubrey G. Stormann
D.B. 612 Pg. 365

S & J Development Co.
D.B. 837 Pg. 59

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
Charles R. Follrod P.S. #7145
258 Brookview Ct.
Lima, Ohio 45801



South Line of NW 1/4, Section 7 S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483
S 88° 42' 57" W 2746.64'
Fnd. Mon. Box - S.E. Cor.
of West half of N.E. 1/4
of Section 7

SPRINGBROOK GREENS CONDOMINIUMS NO. 6

(Parcel No. 3)

SPRINGBROOK GREENS CONDOMINIUMS NO. 6, consists of a part of the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of SPRINGBROOK GREENS CONDOMINIUMS NO. 6, one page of descriptions, five pages of floor plans, five pages of elevation views of the buildings and one page showing the survey of the dedicatory's land, show insofar as graphically possible (1) the particulars of the buildings in the condominiums, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities and the expandable area. The undersigned being a Professional Surveyor and Professional Engineer hereby certify that said drawings show the building as constructed, as graphically possible.

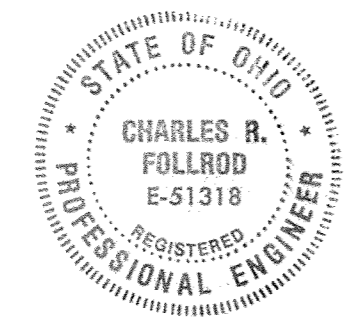
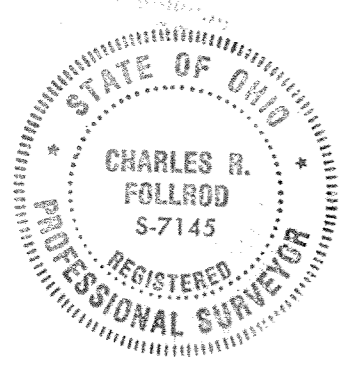
Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

No. 200206493
Filed for record this 21st day of March, 2002 at 1:42 o'clock
P.M. in the office of the Allen County Recorder and recorded in Plat Book 24 on Page 147.

Fee: 269.10
Edward P. Keil
RECORDER, Allen County, Ohio

For DECLARATIONS see Deed Volume 894 Page 455.



DESCRIPTION (Springbrook Greens Condominiums No. 6)

(Parcel No. 1)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Beginning at a found #5 rebar at the Northeast corner of Springbrook Greens Condominiums No. 4 and being the POINT OF BEGINNING, thence the following courses:

- S49°29'26"W with the north line of said Springbrook Greens Condominiums No. 4, 187.18' to a set P.K. nail;
- N40°30'34"W, 60.95' to a set P.K. nail;
- Northwesterly on a curve to the right an arc distance of 52.36', said curve having a radius of 75.00', a delta angle of 40°00'00" and an L.C. of N20°30'34"W, 51.30' to a set P.K. nail;
- N00°30'34"W, 72.60' to a set P.K. nail;
- Northwesterly on a curve to the left an arc distance of 63.37', said curve having a radius of 40.00', a delta angle of 90°46'29" and an L.C. of N45°53'48"W, 56.95' to a set P.K. nail;
- S88°42'57"W, 18.02' to a set P.K. nail;
- N11°50'00"E, 147.85' to a point, passing over a set #5 rebar at 127.20';
- N87°23'09"E, 107.29' to a point;
- S27°30'00"E, 264.08' to the POINT OF BEGINNING.

The above described parcel contains 1.213 acres more or less, subject to all legal highways and easements of record.

(Parcel No. 2)

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Beginning at a found #5 rebar at the Southeast corner of Springbrook Greens Condominiums No. 2 and being the POINT OF BEGINNING, thence the following courses:

- S00°30'34"E, 92.83' to a found #5 rebar;
- S88°42'57"W, 213.10' to a found #5 rebar at the southeast corner of Springbrook Greens Condominiums No. 3;
- N00°30'34"W with the east line of said Springbrook Greens Condominiums No. 3, 92.83' to a found P.K. nail;
- N88°42'57"E, 213.10' to the POINT OF BEGINNING.

The above described parcel contains 0.454 acres more or less, subject to all legal highways and easements of record.

Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Beginning at a found #5 rebar at the Southwest corner of Springbrook Greens Condominiums No. 5 and being the POINT OF BEGINNING, thence the following courses:

- S88°42'57"W, 95.00' to a set #5 rebar;
- N01°17'03"W, 140.00' to a set P.K. nail;
- N88°42'57"E, 95.00' to a found P.K. nail at the northwest corner of Springbrook Greens Condominiums No. 5;
- S01°17'03"E with the west line of Springbrook Greens Condominiums No. 5, 140.00' to the POINT OF BEGINNING.

The above described parcel contains 0.305 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Prior Deedholder: R.J. Stone Development Group, Inc. (D.B. 870 Pg. 624)

Parcel No.: 37-0702-01-019.001

DESCRIPTION (Private Street & Utility Easement - Brookview Ct./Brookshore Dr.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3996.64' to a found #5 rebar on the right-of-way line of S.R. 65, thence N00°30'34"W with said right-of-way, 30.00' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W with said right-of-way, 90.01';
- N88°42'57"E, 150.50';
- Southeasterly on a curve to the right an arc distance of 63.08', said curve having a radius of 75.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 61.24';
- Southeasterly on a curve to the left an arc distance of 37.85', said curve having a radius of 45.00', a delta angle of 48°11'23", and an L.C. of S67°11'22"E, 36.74';
- N88°42'57"E, 55.00';
- Northeasterly on a curve to the left an arc distance of 54.50', said curve having a radius of 35.00', a delta angle of 89°13'31", and an L.C. of N44°06'12"E, 49.16';
- N00°30'34"W, 400.00';
- Northeasterly on a curve to the right an arc distance of 109.84', said curve having a radius of 125.00', a delta angle of 50°20'50", and an L.C. of N24°39'51"E, 106.34';
- N49°50'16"E, 140.00';
- Northeasterly on a curve to the right an arc distance of 67.86', said curve having a radius of 100.00', a delta angle of 38°52'41", and an L.C. of N69°16'37"E, 66.56';
- N88°42'57"E, 100.00';
- Southeasterly on a curve to the right an arc distance of 102.98', said curve having a radius of 65.00', a delta angle of 90°46'29", and an L.C. of S45°53'49"E, 92.54';
- S00°30'34"E, 72.60';
- Southeasterly on a curve to the left an arc distance of 34.91', said curve having a radius of 50.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 34.20';
- S40°30'34"E, 127.04';
- Southeasterly on a curve to the right an arc distance of 87.27', said curve having a radius of 125.00', a delta angle of 40°00'00", and an L.C. of S20°30'34"E, 85.51';
- S00°30'34"E, 205.23';
- S88°42'57"W, 50.00';
- N00°30'34"W, 205.90';
- Northwesterly on a curve to the left an arc distance of 52.36', said curve having a radius of 75.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 51.30';
- N40°30'34"W, 127.04';
- Northwesterly on a curve to the right an arc distance of 69.81', said curve having a radius of 100.00', a delta angle of 40°00'00", and an L.C. of N20°30'34"W, 68.40';
- N00°30'34"W, 72.60';
- Northwesterly on a curve to the left an arc distance of 23.76', said curve having a radius of 15.00', a delta angle of 90°46'29", and an L.C. of N45°53'48"W, 21.36';
- S88°42'57"W, 100.00';
- Southwesterly on a curve to the left an arc distance of 33.93', said curve having a radius of 50.00', a delta angle of 38°52'41", and an L.C. of S69°16'36"W, 33.28';

- S49°50'16"W, 140.00';
- Southwesterly on a curve to the left an arc distance of 65.90', said curve having a radius of 75.00', a delta angle of 50°20'50", and an L.C. of S24°39'51"W, 63.80';
- S00°30'34"E, 400.00';
- Southwesterly on a curve to the right an arc distance of 132.37', said curve having a radius of 85.00', a delta angle of 89°13'31", and an L.C. of S44°06'12"W, 119.39';
- S88°42'57"W, 296.16' to the POINT OF BEGINNING.

The above described easement contains 2.202 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)
(Private Street & Utility Easement - Brookview Ct.)

Being an easement for a private street and utility purposes in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 3616.62' to a point, thence N00°30'34"W, 115.01' to the POINT OF BEGINNING, thence the following courses:

- N00°30'34"W, 50.00';
- N88°42'57"E, 653.66';
- Southwesterly on a curve to the right an arc distance of 292.79', said curve having a radius of 60.00', a delta angle of 279°35'39" and an L.C. of S48°30'46"W, 77.46';
- S88°42'57"W, 595.17' to the POINT OF BEGINNING.

The above described easement contains 0.959 acres more or less, subject to all legal highways and easements of record.

Basis of Bearings: South line of the NW 1/4 of Section 7 (S88°42'57"W)

Total Private Street & Utility Easement = 3.161 acres

DESCRIPTION (Springbrook Greens Condominiums No. 6 Dedicatory's Land)

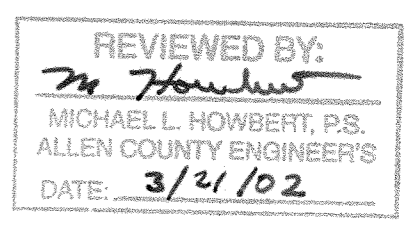
Being a parcel of land in the NW 1/4 of Section 7, T3S, R7E, Bath Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the Southeast corner of the west half of the NE 1/4 of Section 7 (being on the centerline of Berryhill Rd.) thence S88°42'57"W with the south line of said NE 1/4 and NW 1/4 of Section 7, 2746.64' to a found #5 rebar and being the POINT OF BEGINNING, thence the following courses:

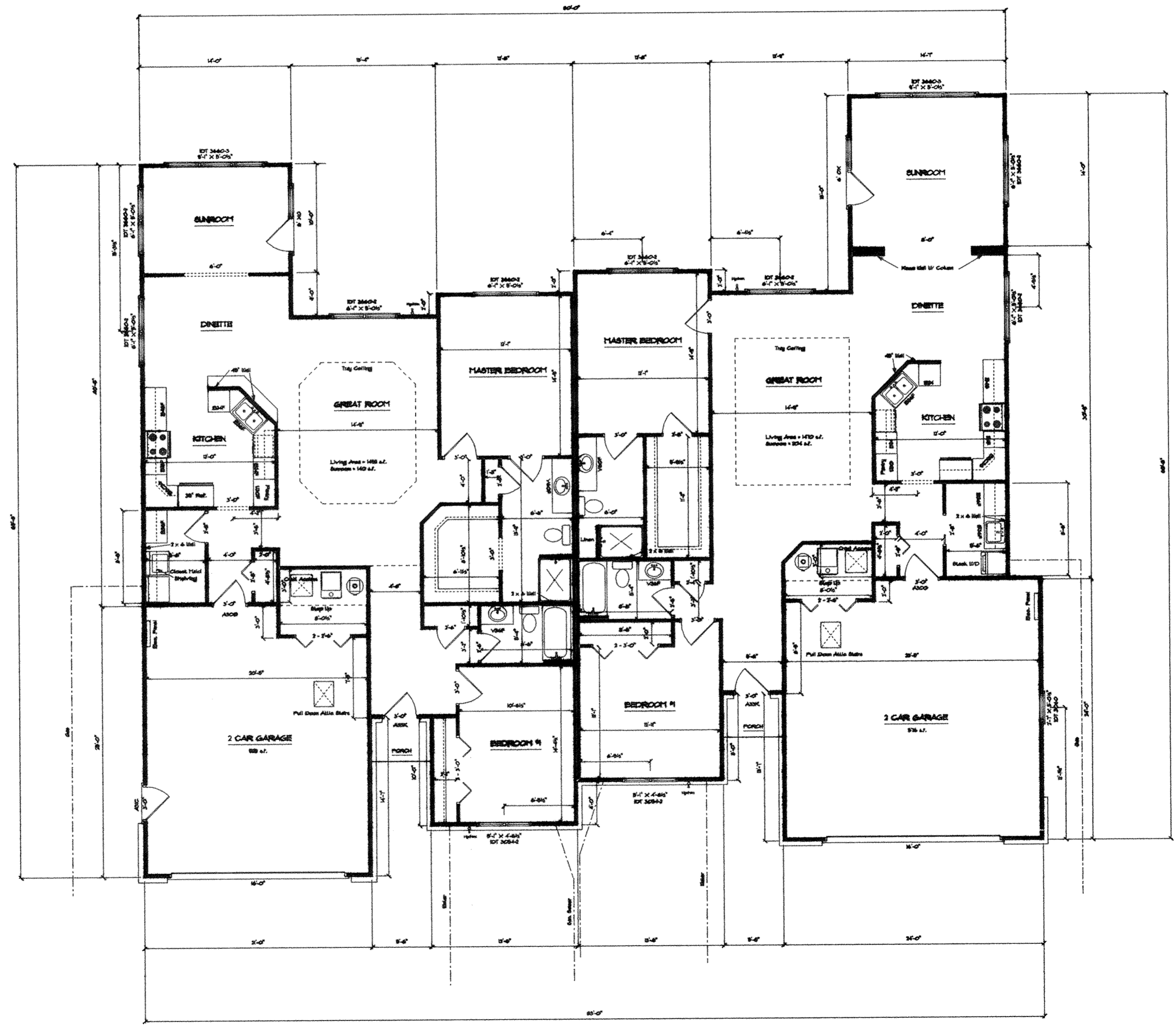
- S88°42'57"W with the south line of the NW 1/4 of Section 7, 1250.00' to a found #5 rebar on the right-of-way line of S.R. 65, passing over a found #5 rebar at 1200.00' also on the right-of-way line of S.R. 65;
- N00°30'34"W with the right-of-way line of S.R. 65, 150.00' to a found 1/2" pipe;
- N88°42'57"E, 200.00' to a found #5 rebar;
- N00°30'34"W, 466.66' to a found #5 rebar;
- N49°50'16"E, 347.42' to a found #5 rebar;
- N87°23'09"E, 299.33' to a found #5 rebar;
- S27°30'00"E, 470.00' to a found #5 rebar;
- S00°30'34"E, 135.00' to a found #5 rebar;
- N88°42'57"E, 189.49' to a found #5 rebar;
- S42°40'00"E, 119.94' to a found #5 rebar;
- S00°30'34"E, 195.00' to the POINT OF BEGINNING.

The above described parcel contains 15.673 acres more or less, subject to all legal highways and easements of record.

- SAVE AND EXCEPT**
- (Springbrook Greens Condominiums No. 1 - Acreage = 0.383 ac.)
(For Description - See P.B. 24, Pg. 30)
 - (Springbrook Greens Condominiums No. 2 - Acreage = 1.502 ac.)
(For Description - See P.B. 24, Pg. 35)
 - (Springbrook Greens Condominiums No. 3 - Acreage = 0.814 ac.)
(For Description - See P.B. 24, Pg. 62)
 - (Springbrook Greens Condominiums No. 4 - Acreage = 0.965 ac.)
(For Description - See P.B. 24, Pg. 70)
 - (Springbrook Greens Condominiums No. 5 - Acreage = 0.305 ac.)
(For Description - See P.B. 24, Pg. 122)

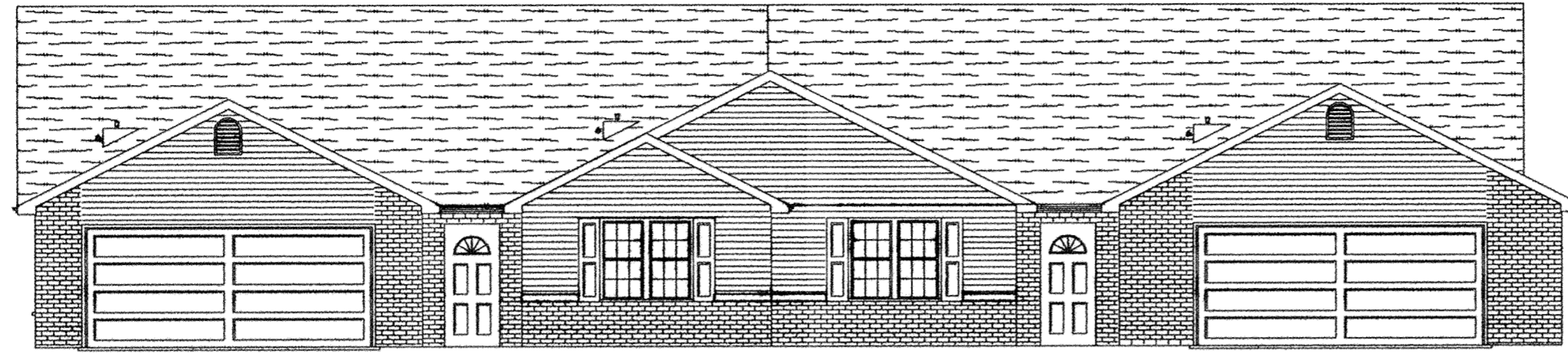


The total dedicatory's land contains 11.704 acres more or less subject to all legal highways and easements of record.



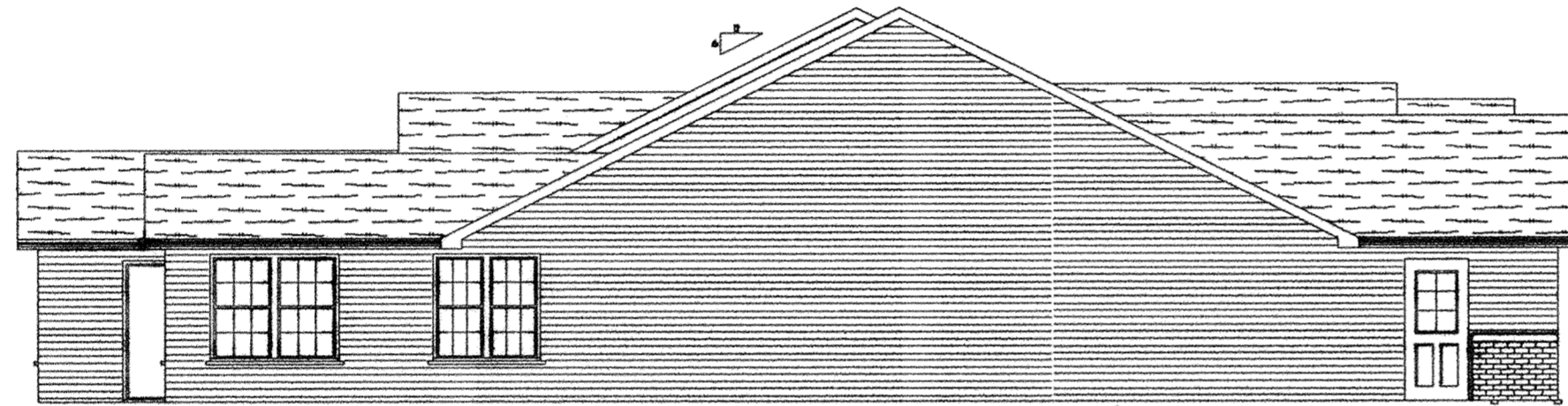
Unit No. 18
4082 Brookshore Dr.

Unit No. 19
4086 Brookshore Dr.

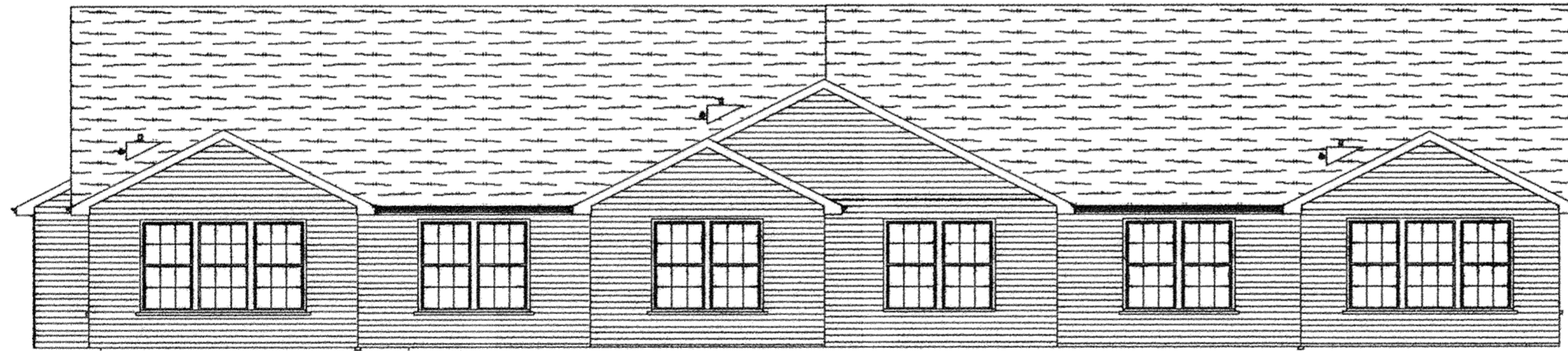


FRONT ELEVATION

Elev. = 11.05
 Elev. = 12.03
 Elev. = 106.78
 Fin. Ft. Elev. = 98.78

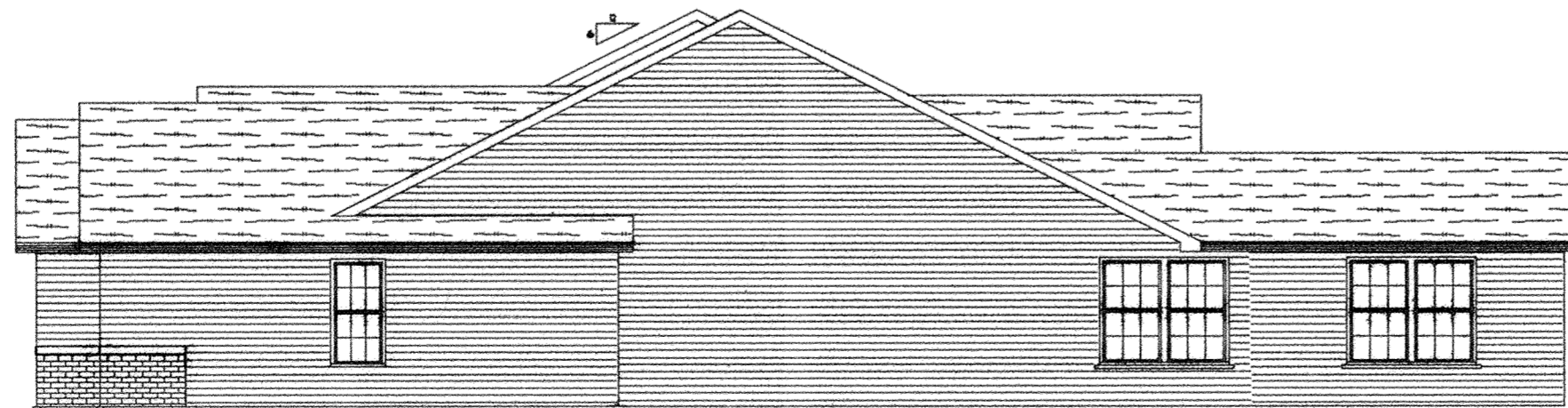


LEFT ELEVATION



REAR ELEVATION

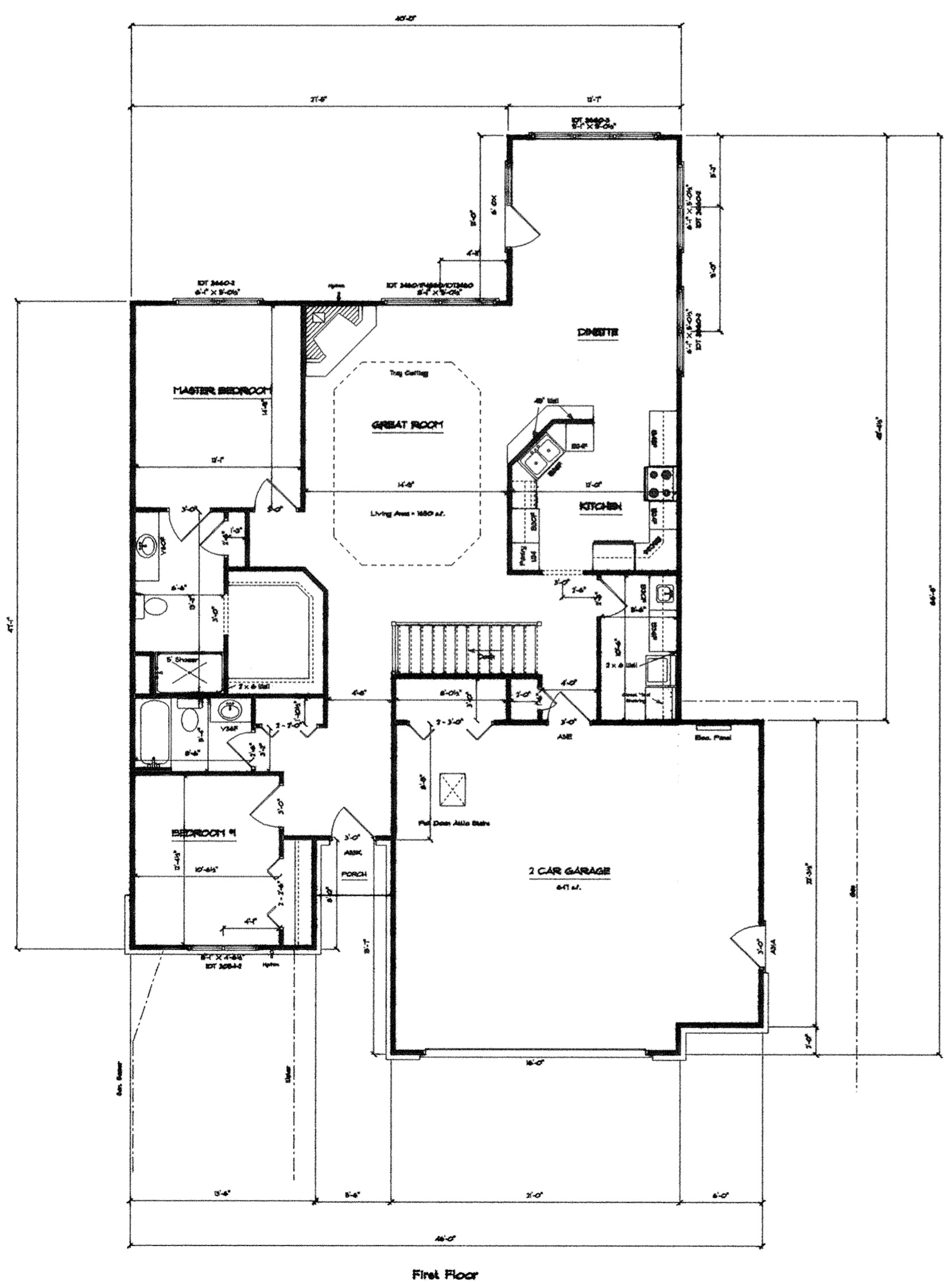
Elev. = 10.42



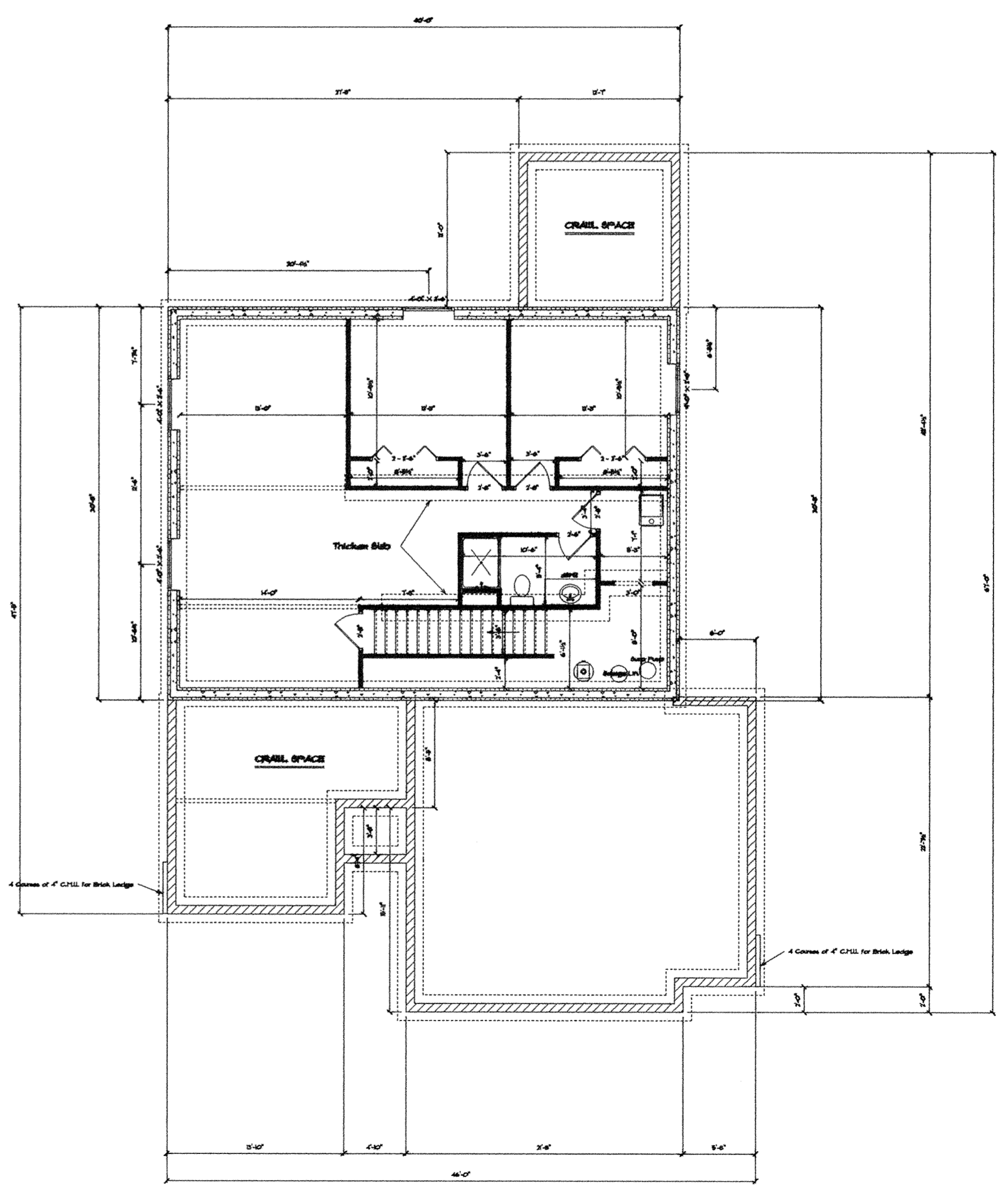
RIGHT ELEVATION

B.M. - Top of Blower Nozzle on Fire Hydrant Located
 In Front of 4048 Brookshire Dr. Elev. = 100.00

4088-4092 Brookshire Dr.

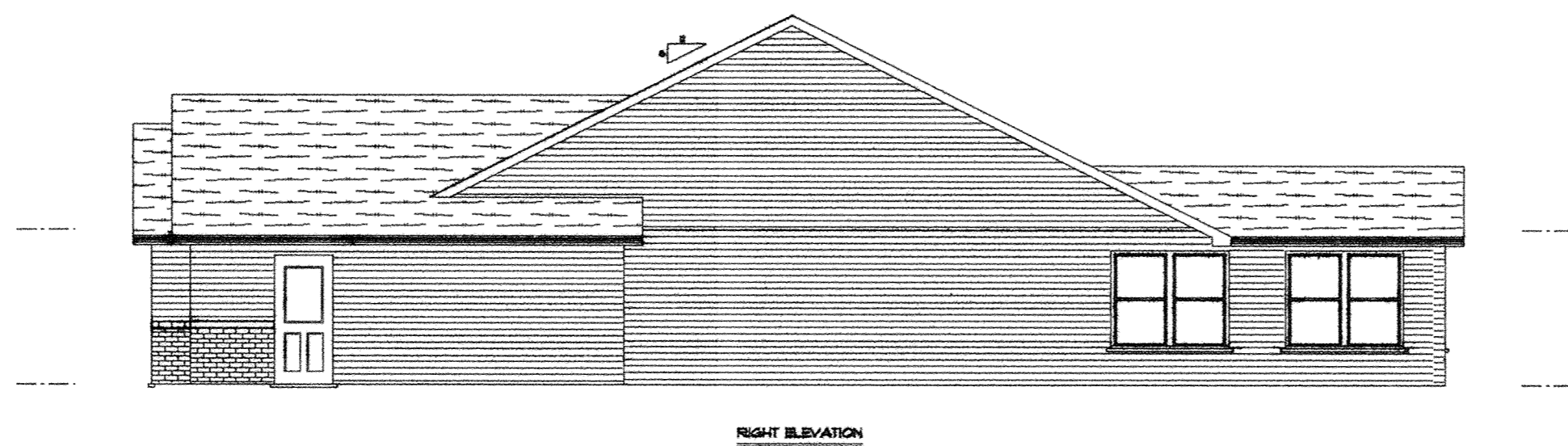
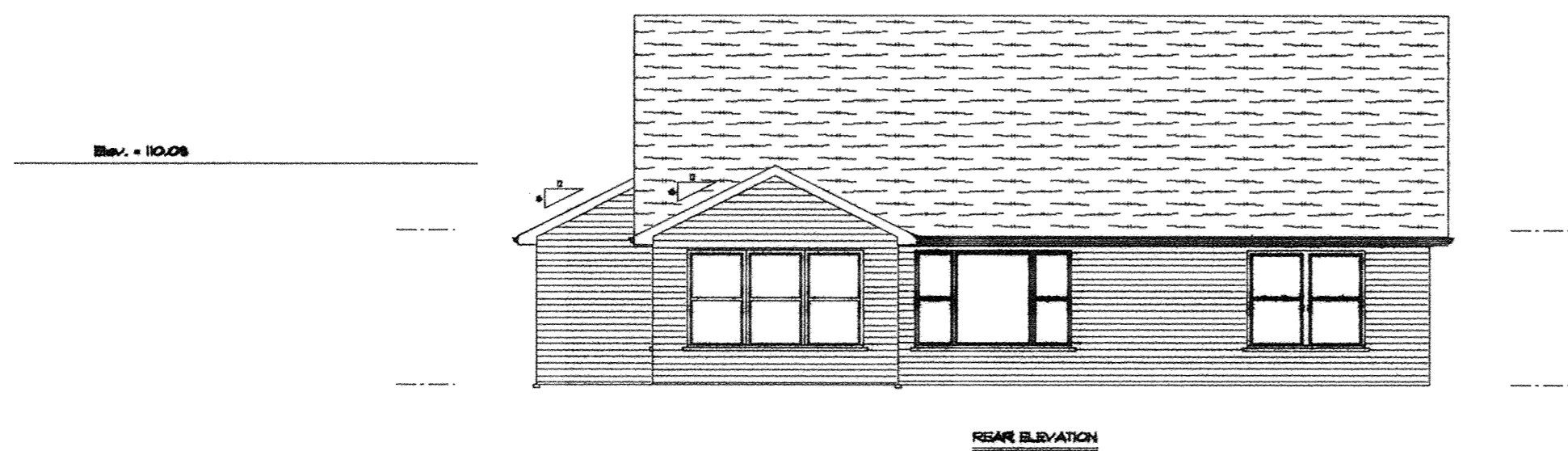
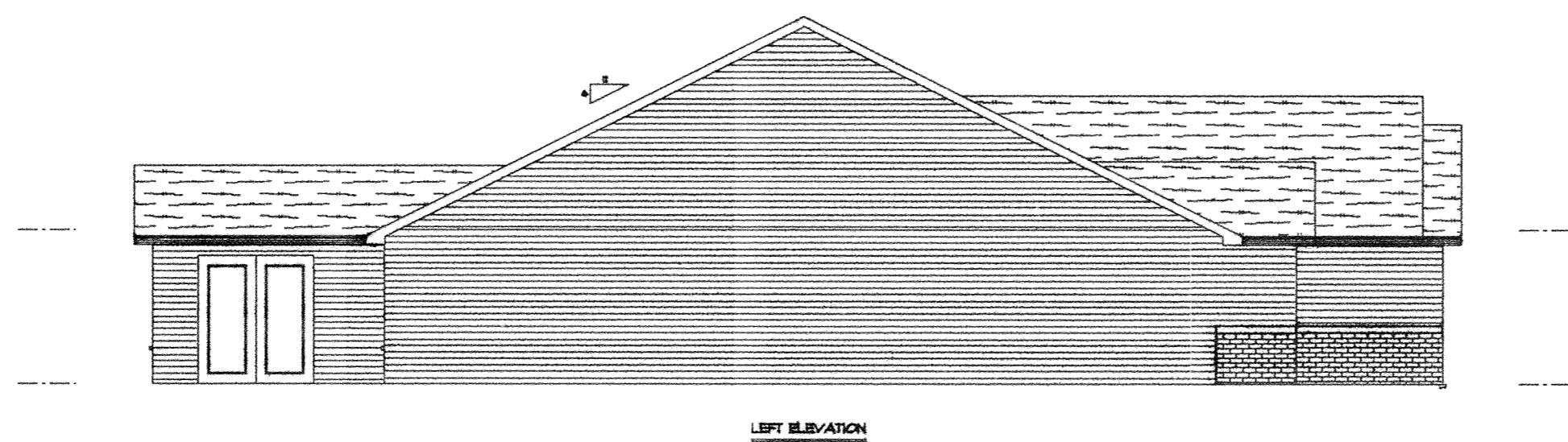


First Floor



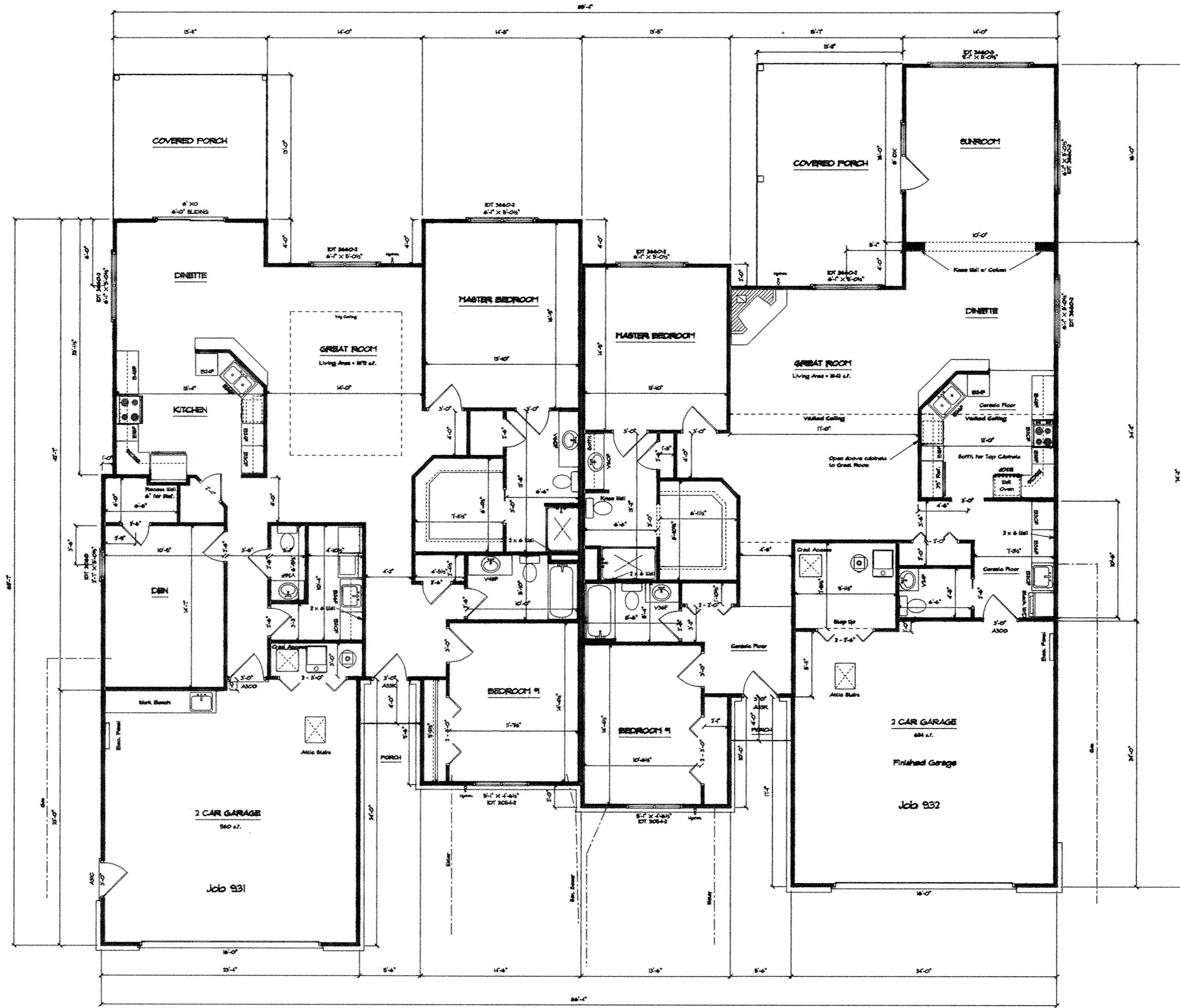
Basement

Unit No. 20
4082 Brookshore Dr.



4082 Brookshore Dr.

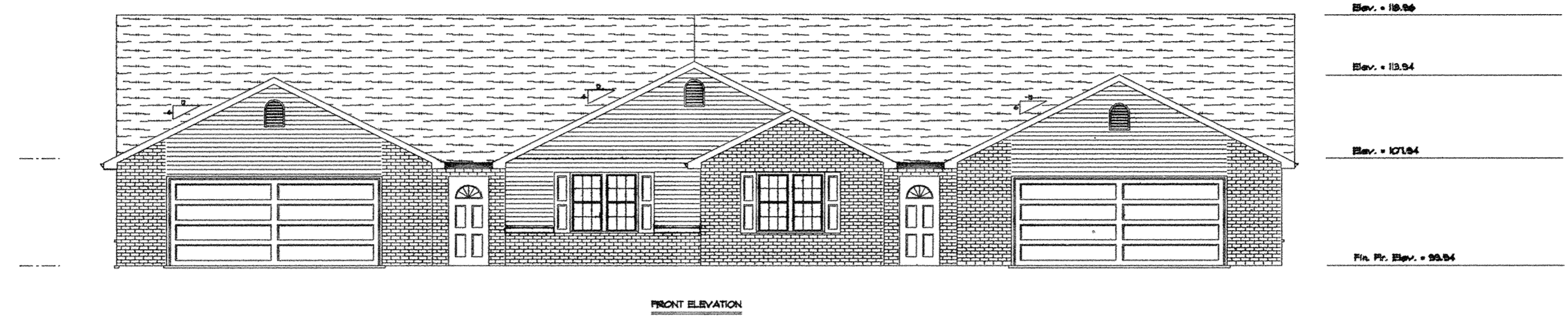
B.M. - Top of Summer Nozzle on Fire Hydrant Located
in Front of 4048 Brookshore Dr. Elev. = 100.00



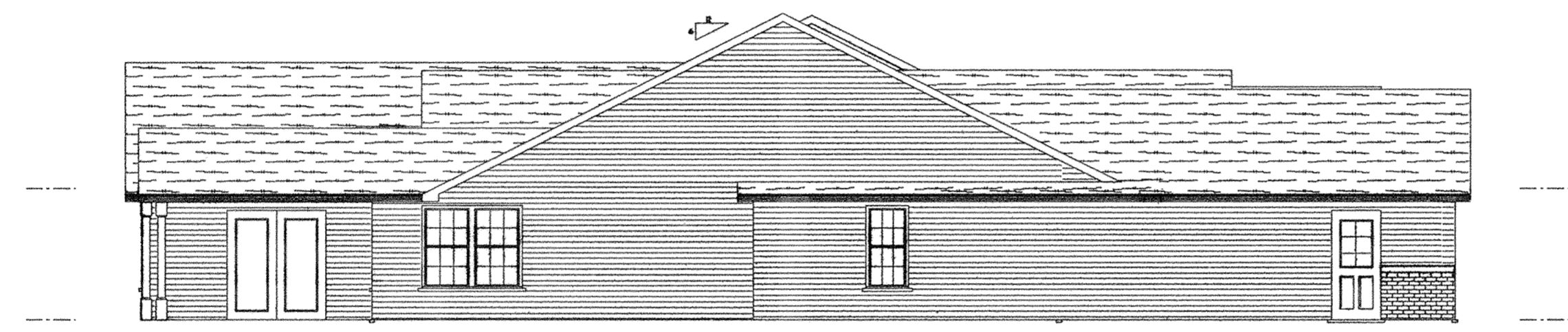
Note: Please to install cabinet blocking

Unit No. 21
4072 Brookshore Dr.

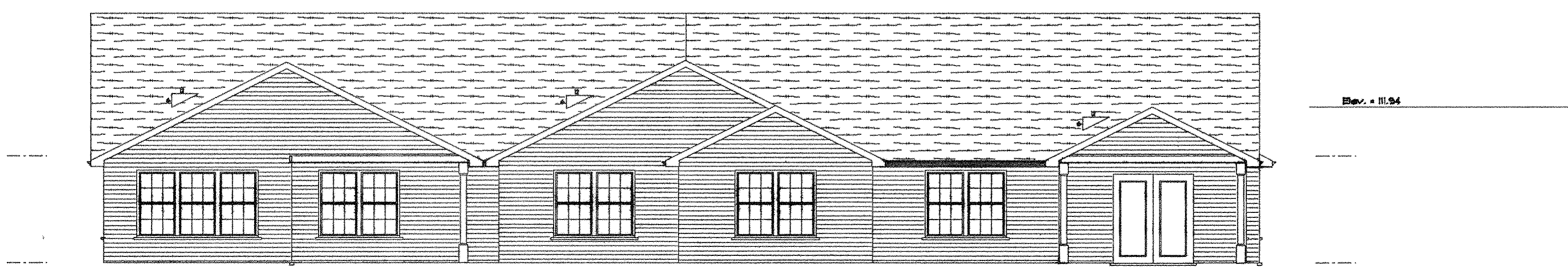
Unit No. 22
4068 Brookshore Dr.



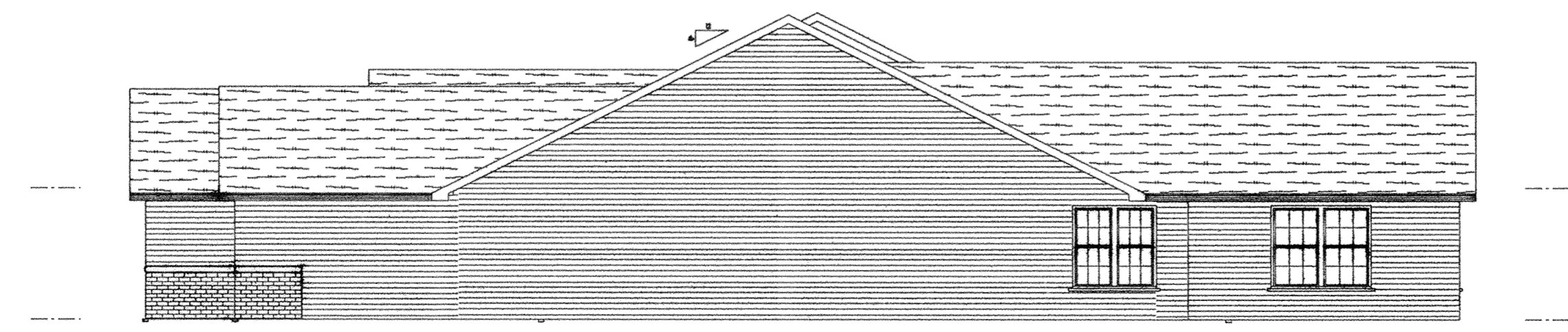
FRONT ELEVATION



LEFT ELEVATION



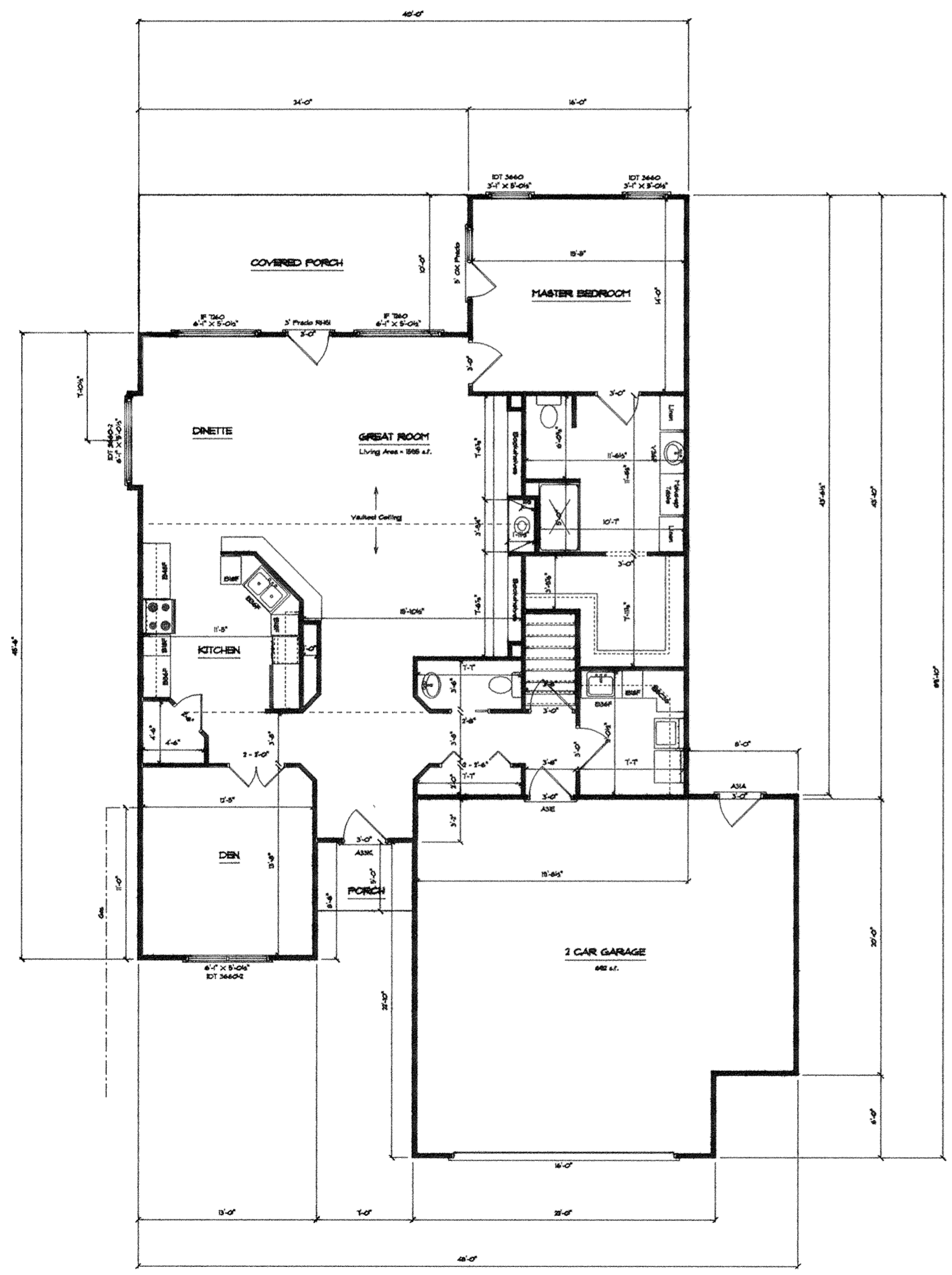
REAR ELEVATION



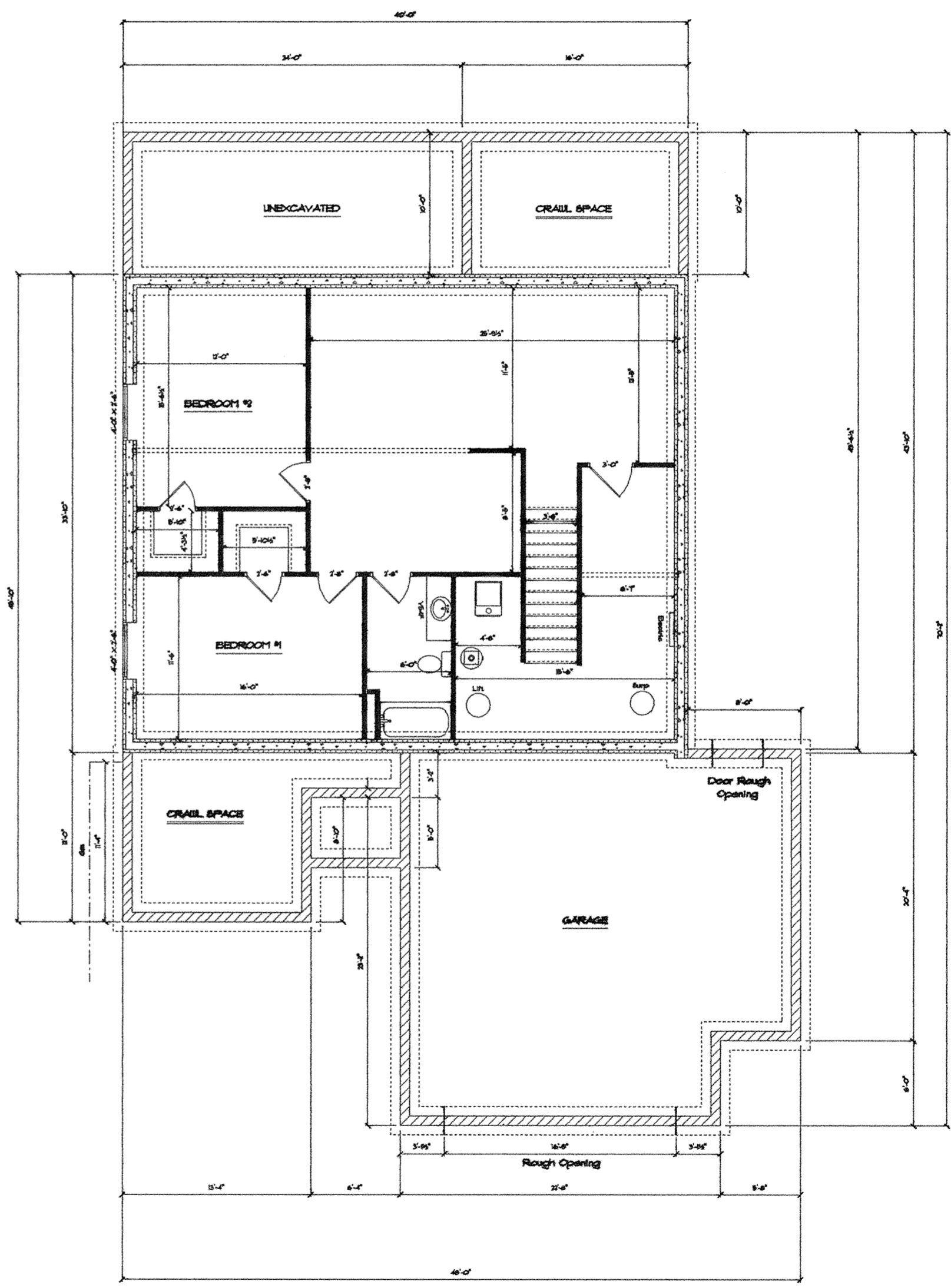
RIGHT ELEVATION

B.M. - Top of Steam Nozzle on Fire Hydrant Located in Front of 4049 Brookshire Dr. Elev. = 100.00

4066 - 4072 Brookshire Dr.



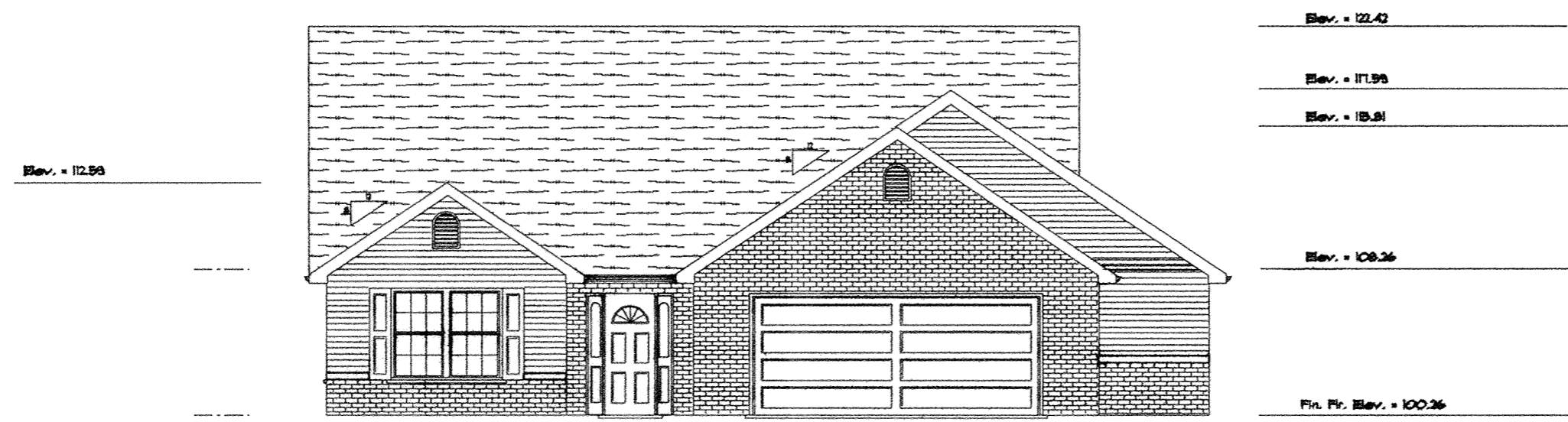
First Floor



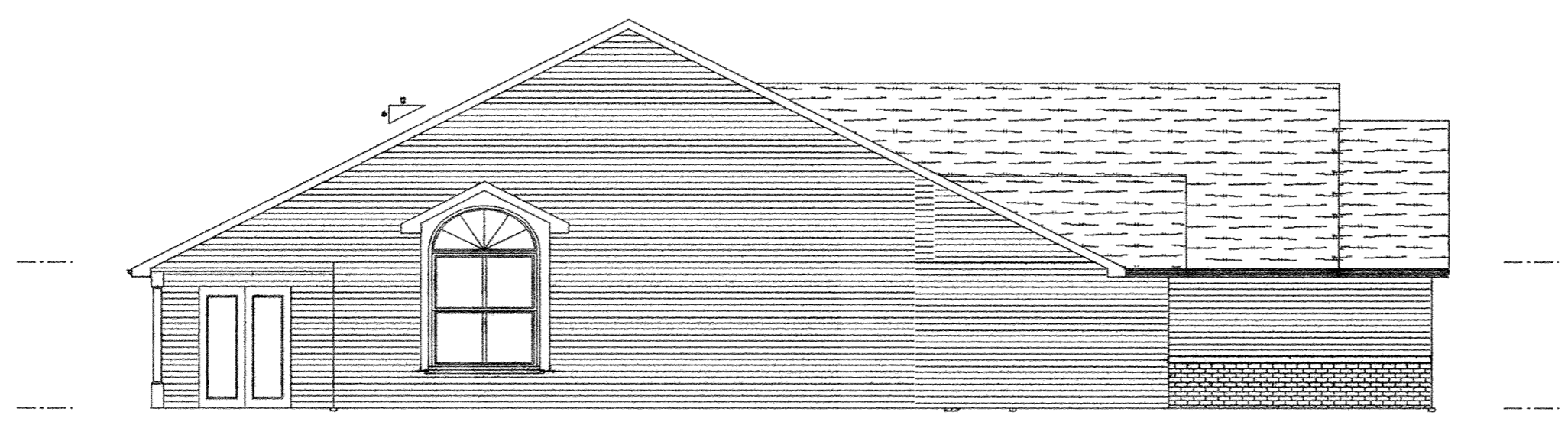
Basement

Unit No. 23
115 Brookview Ct.

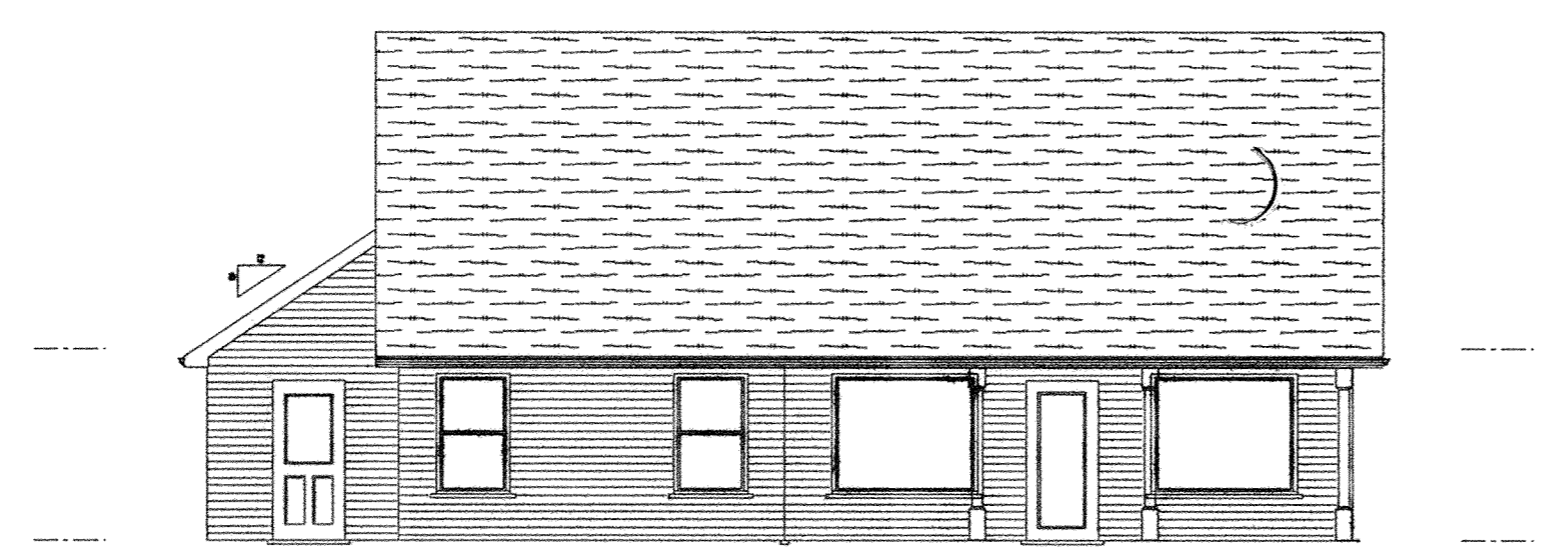
Springbrook Greens Condominiums
Job 517
SCALE: 1/8" = 1'-0"
8/2/01



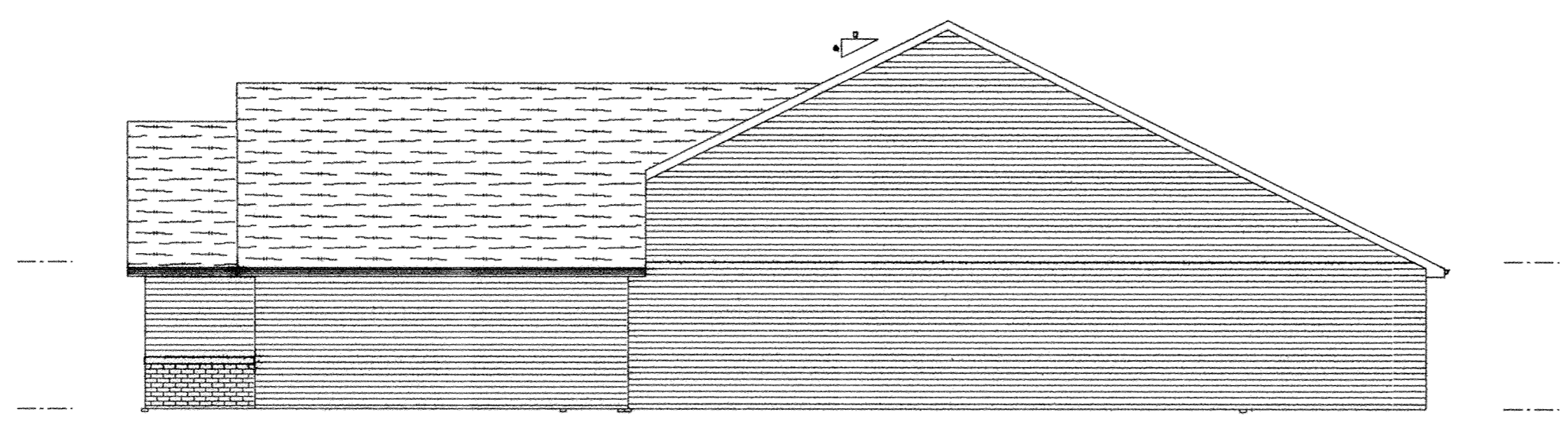
FRONT ELEVATION



LEFT ELEVATION



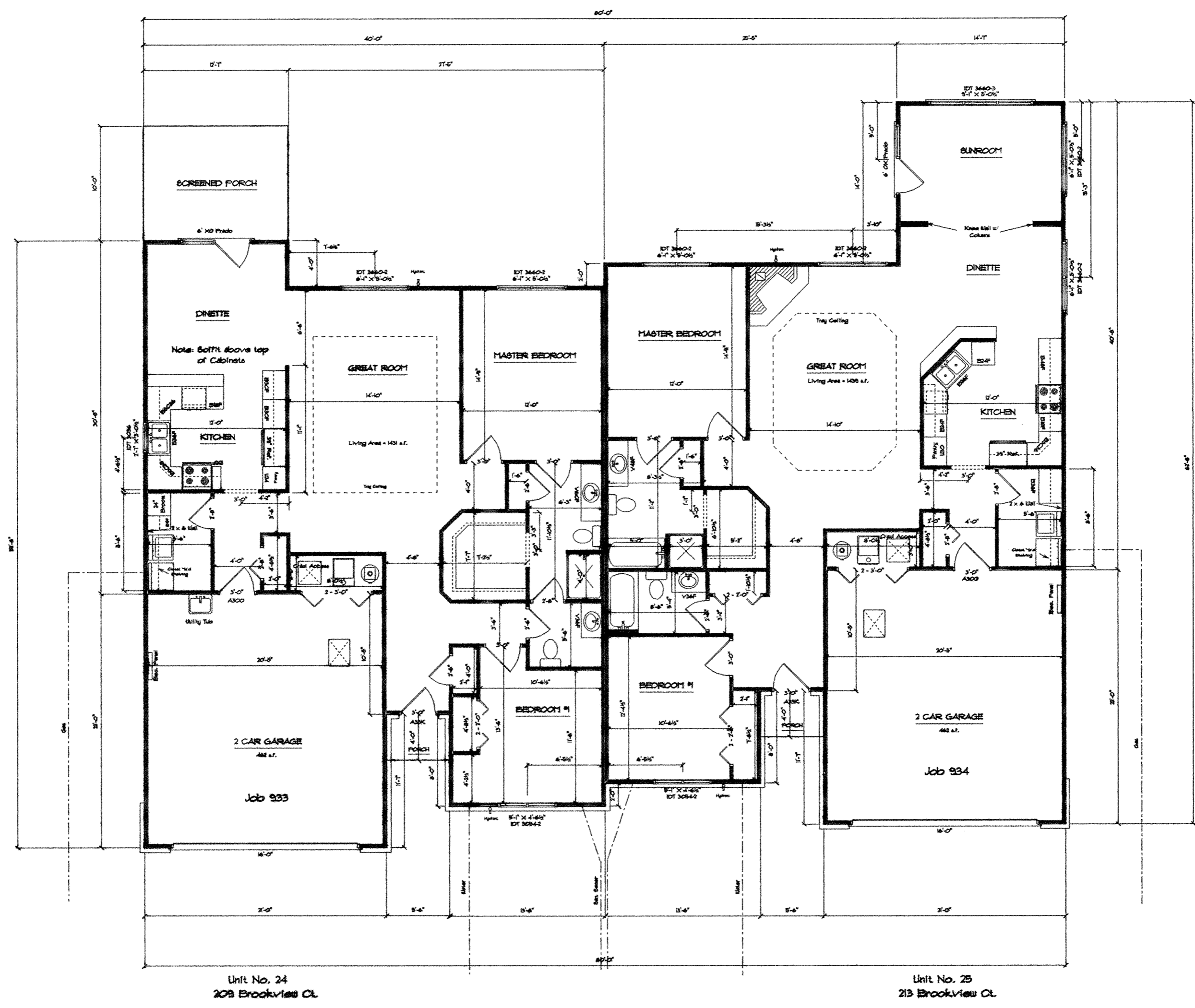
REAR ELEVATION



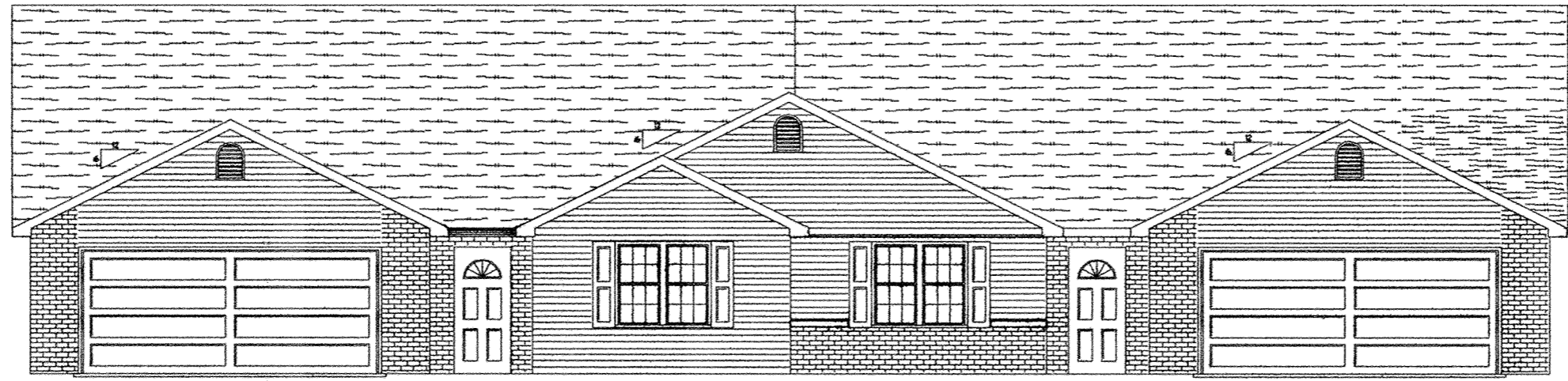
RIGHT ELEVATION

115 Brookview Ct.

B.M. - Top of Steam Nozzle on Fire Hydrant Located
in Front of 114 Brookview Ct. Elev. = 100.00



Note: Primer to install cabinet blocking.



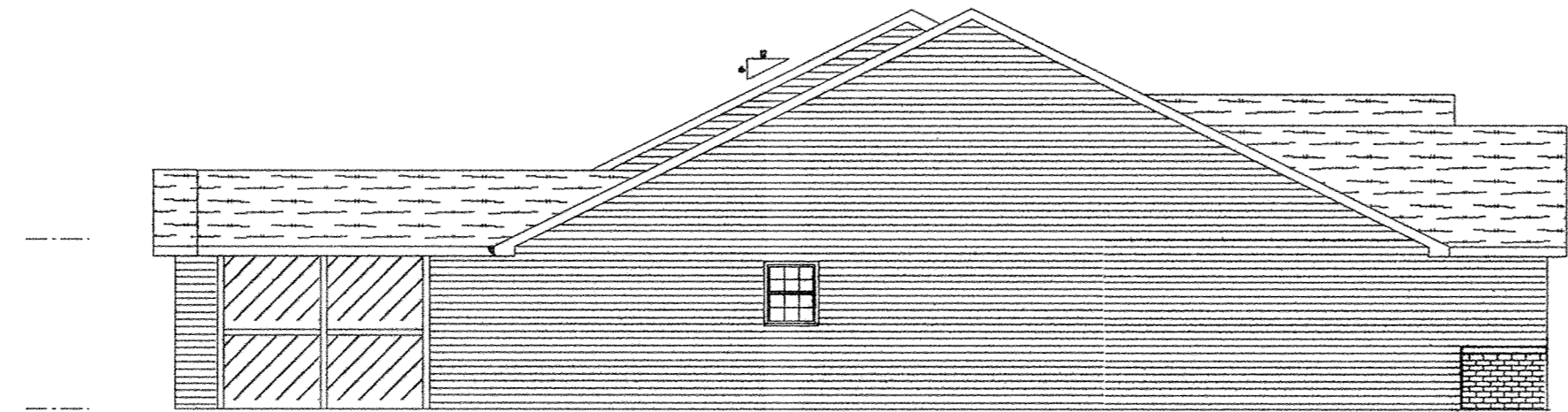
FRONT ELEVATION

Elev. = 12.16

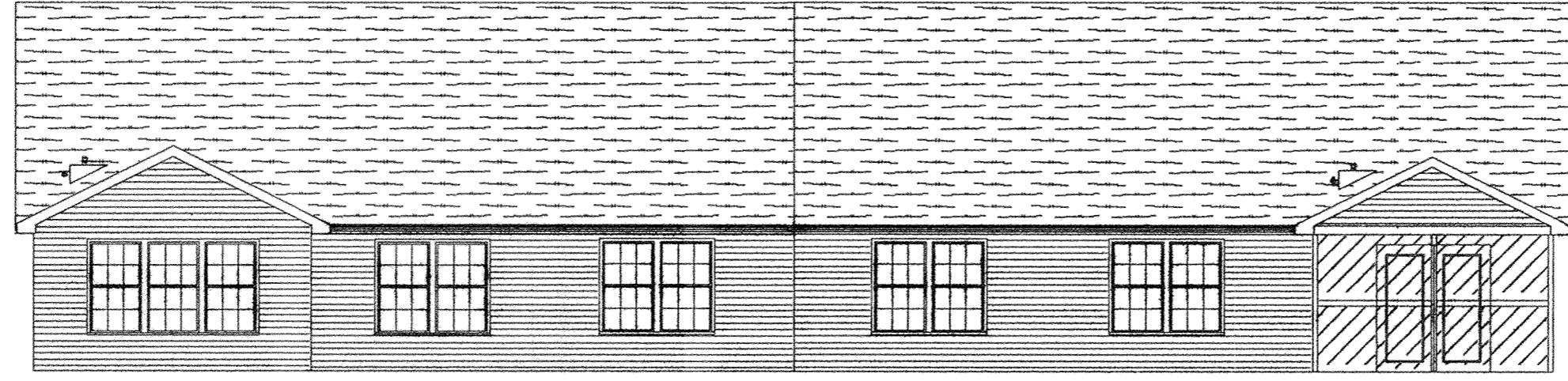
Elev. = 14.82

Elev. = 11.88

Fin. Fr. Elev. = 103.88

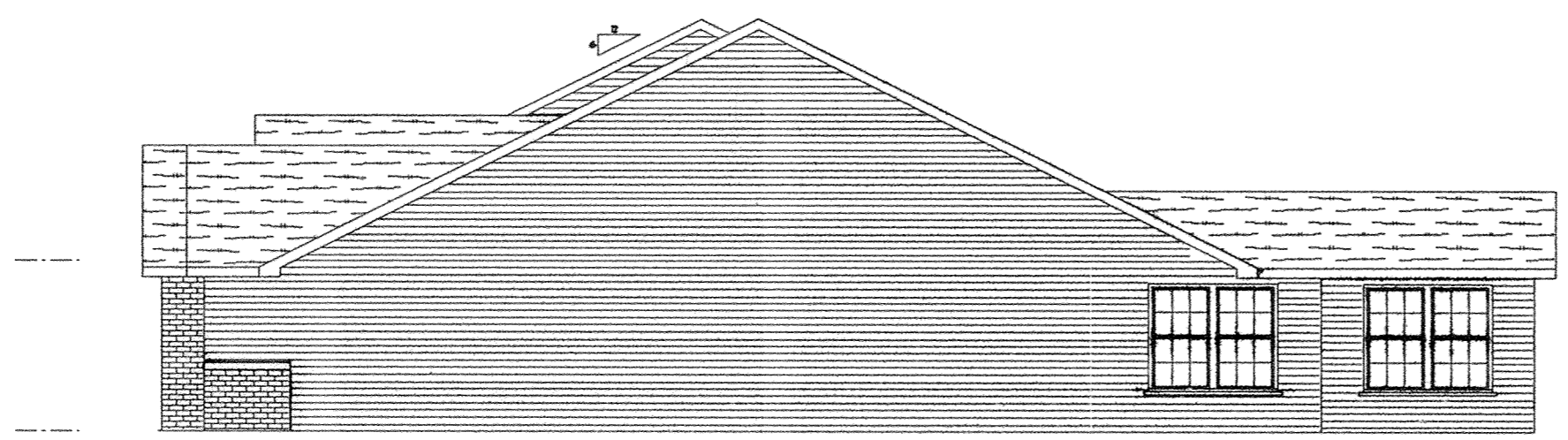


LEFT ELEVATION



REAR ELEVATION

Elev. = 18.04



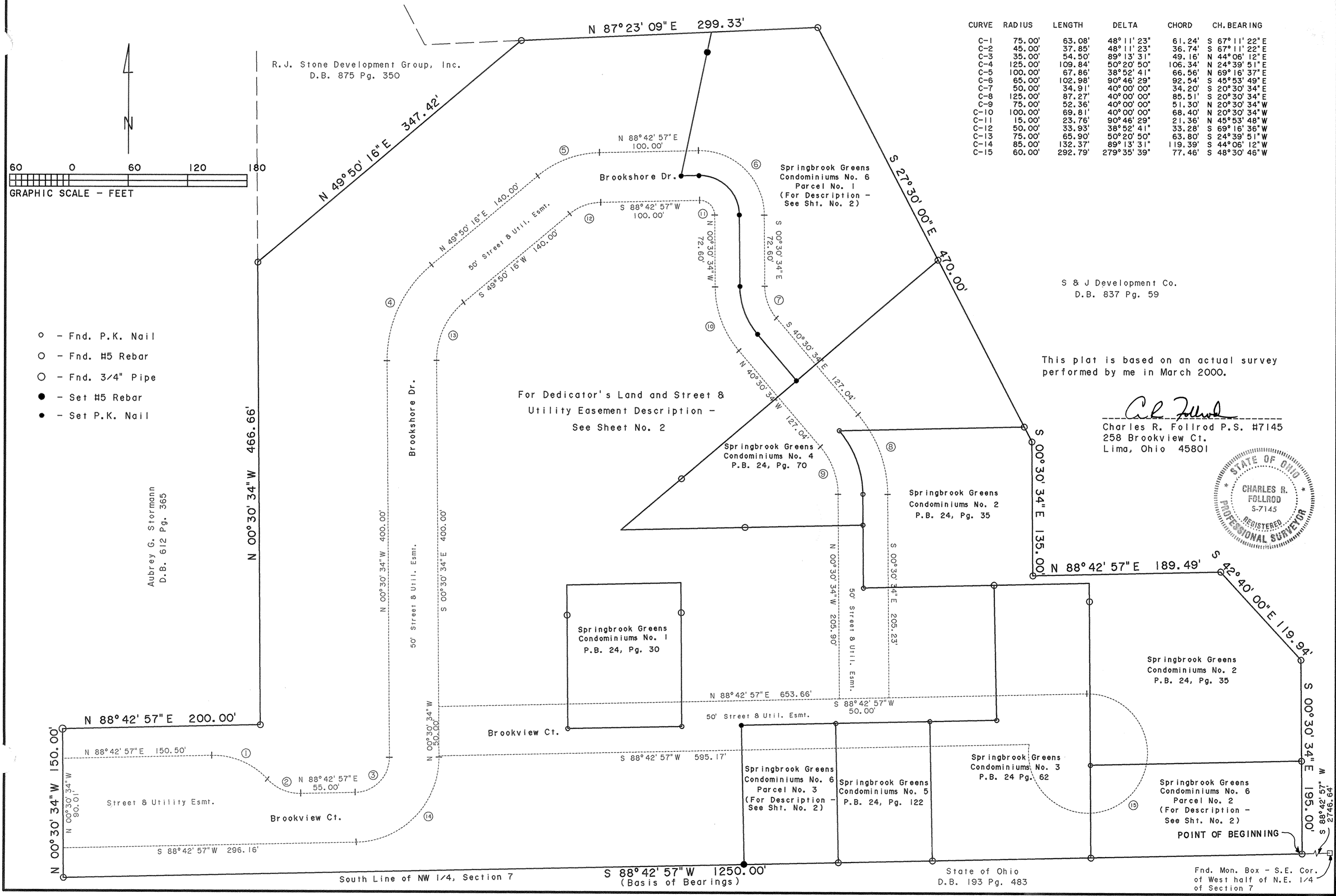
RIGHT ELEVATION

B.M. - Top of Marker Nozzle on Fire Hydrant Located
In Front of 114 Brookview CL. Elev. = 100.00

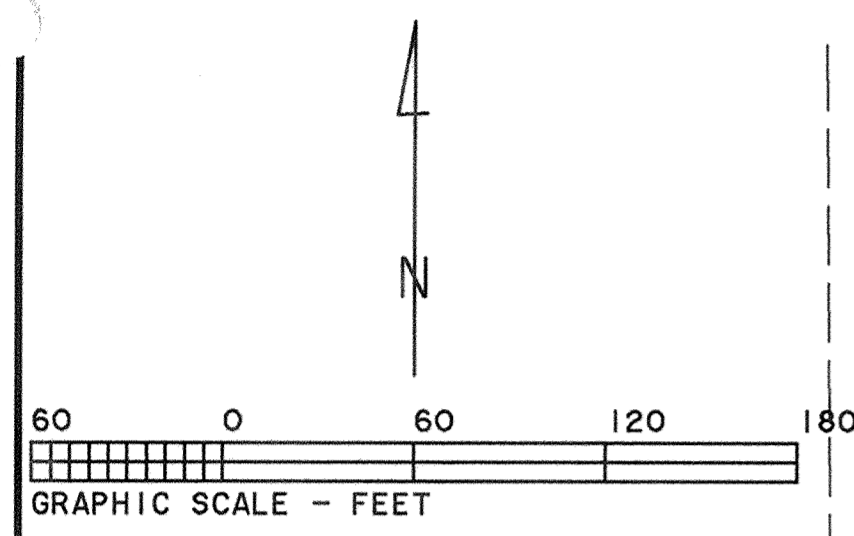
209-213 Brookview CL

SPRINGBROOK GREENS CONDOMINIUMS NO. 6

Survey of Dedicator's Land



CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	75.00'	63.08'	48° 11' 23"	61.24'	S 67° 11' 22" E
C-2	45.00'	37.85'	48° 11' 23"	36.74'	S 67° 11' 22" E
C-3	35.00'	54.50'	89° 13' 31"	49.16'	N 44° 06' 12" E
C-4	125.00'	109.84'	50° 20' 50"	106.34'	N 24° 39' 51" E
C-5	100.00'	67.86'	38° 52' 41"	66.56'	N 69° 16' 37" E
C-6	65.00'	102.98'	90° 46' 29"	92.54'	S 45° 53' 49" E
C-7	50.00'	34.91'	40° 00' 00"	34.20'	S 20° 30' 34" E
C-8	125.00'	87.27'	40° 00' 00"	85.51'	S 20° 30' 34" E
C-9	75.00'	52.36'	40° 00' 00"	51.30'	N 20° 30' 34" W
C-10	100.00'	69.81'	40° 00' 00"	68.40'	N 20° 30' 34" W
C-11	15.00'	23.76'	90° 46' 29"	21.36'	N 45° 53' 48" W
C-12	50.00'	33.93'	38° 52' 41"	33.28'	S 69° 16' 36" W
C-13	75.00'	65.90'	50° 20' 50"	63.80'	S 24° 39' 51" W
C-14	85.00'	132.37'	89° 13' 31"	119.39'	S 44° 06' 12" W
C-15	60.00'	292.79'	279° 35' 39"	77.46'	S 48° 30' 46" W



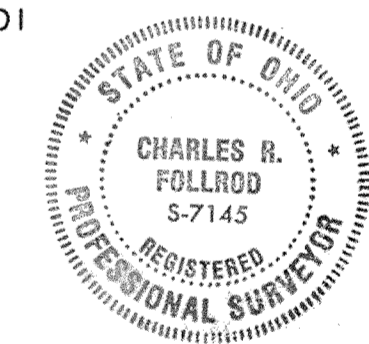
R. J. Stone Development Group, Inc.
D.B. 875 Pg. 350

S & J Development Co.
D.B. 837 Pg. 59

- - Fnd. P.K. Nail
- - Fnd. #5 Rebar
- - Fnd. 3/4" Pipe
- - Set #5 Rebar
- - Set P.K. Nail

This plat is based on an actual survey performed by me in March 2000.

Charles R. Follrod
Charles R. Follrod P.S. #7145
258 Brookview Ct.
Lima, Ohio 45801



Aubrey G. Stormann
D.B. 612 Pg. 365

For Dedicator's Land and Street & Utility Easement Description - See Sheet No. 2

Springbrook Greens Condominiums No. 4
P.B. 24, Pg. 70

Springbrook Greens Condominiums No. 2
P.B. 24, Pg. 35

Springbrook Greens Condominiums No. 1
P.B. 24, Pg. 30

Springbrook Greens Condominiums No. 2
P.B. 24, Pg. 35

Springbrook Greens Condominiums No. 3
P.B. 24 Pg. 62

Springbrook Greens Condominiums No. 6
Parcel No. 3
(For Description - See Sht. No. 2)

Springbrook Greens Condominiums No. 5
P.B. 24, Pg. 122

Springbrook Greens Condominiums No. 6
Parcel No. 2
(For Description - See Sht. No. 2)

POINT OF BEGINNING

South Line of NW 1/4, Section 7

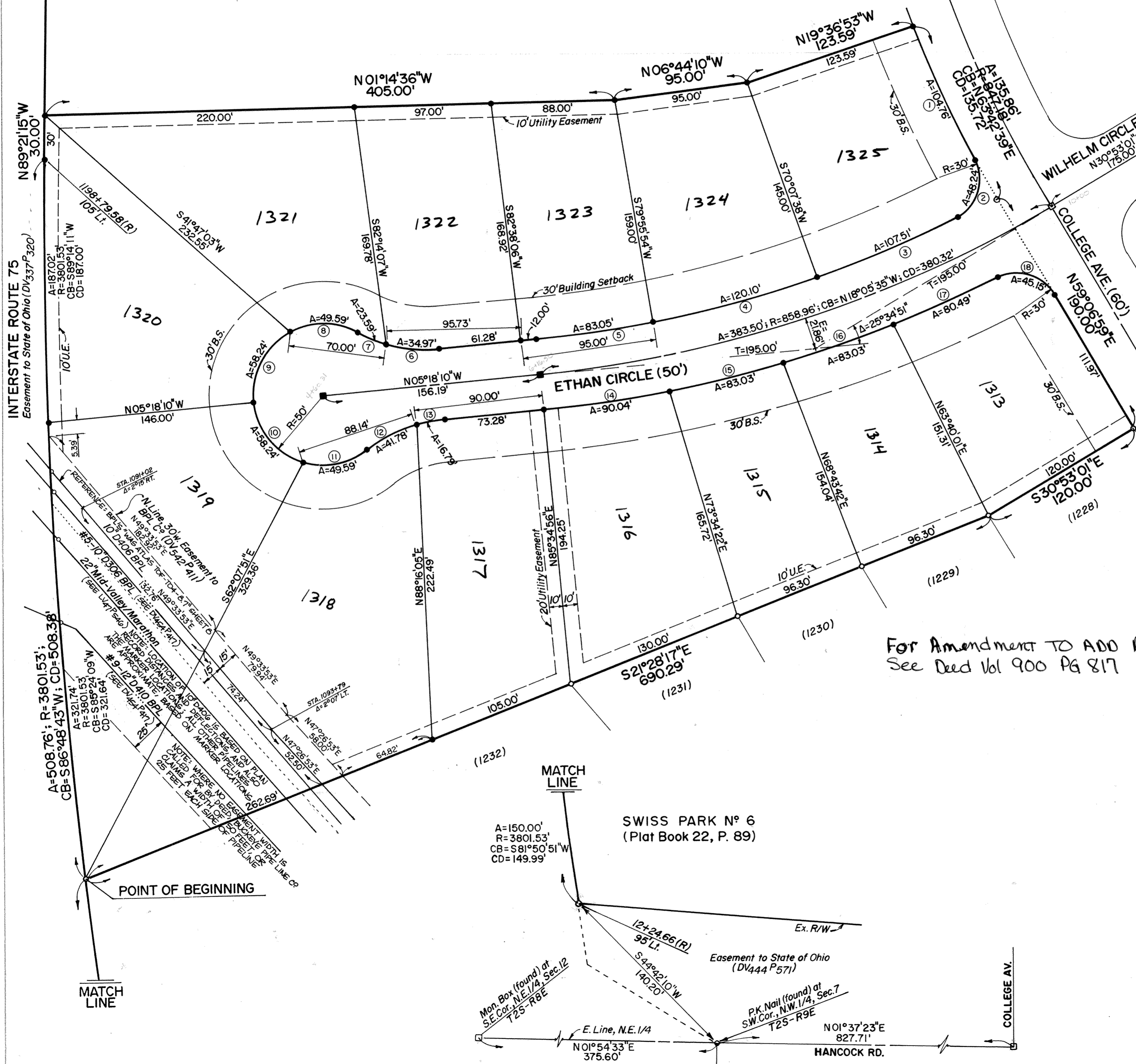
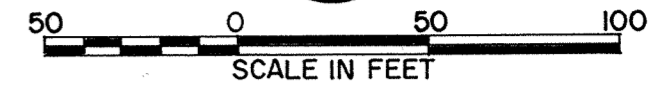
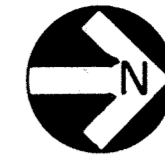
S 88° 42' 57" W 1250.00'
(Basis of Bearings)

State of Ohio
D.B. 193 Pg. 483

Fnd. Mon. Box - S.E. Cor. of West half of N.E. 1/4 of Section 7

SWISS PARK N°7 SUBDIVISION

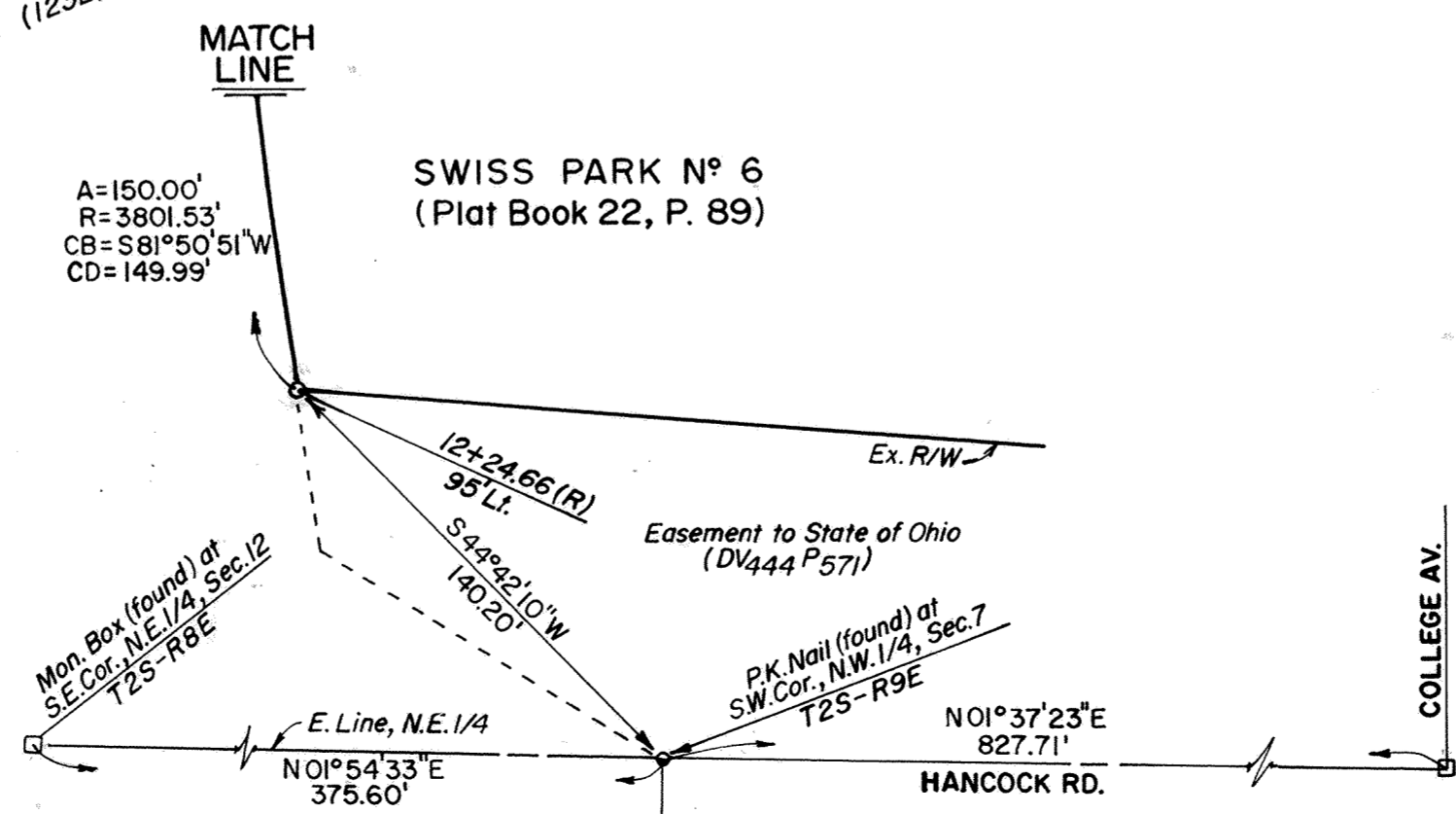
PT. NE. 1/4, SECTION 12, T-2-S, R-8-E
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO



	A	R	CB	CD
1	104.76'	847.18'	N64°45'45"E, 104.69'	
2	48.24'	30.00'	S72°42'46"E, 43.21'	
3	107.51'	833.96'	S22°57'10"E, 107.43'	
4	120.10'	833.96'	S15°08'03"E, 120.00'	
5	83.05'	833.96'	S08°09'20"E, 83.01'	
6	34.97'	100.00'	S04°43'00"W, 34.80'	
7	23.59'	100.00'	S21°29'43"W, 23.54'	
8	49.59'	50.00'	S00°09'25"E, 47.58'	
9	58.24'	50.00'	S61°56'09"E, 55.00'	
10	58.24'	50.00'	N51°19'50"E, 55.00'	
11	49.59'	50.00'	N10°26'54"W, 47.58'	
12	41.78'	100.00'	N26°53'31"W, 41.47'	
13	16.79'	100.00'	N10°06'47"W, 16.77'	
14	90.04'	883.96'	N08°13'15"W, 90.00'	
15	83.03'	883.96'	N13°49'47"W, 83.00'	
16	83.03'	883.96'	N19°12'41"W, 83.00'	
17	80.49'	883.96'	N24°30'39"W, 80.46'	
18	45.15'	30.00'	N15°59'54"E, 41.01'	

LEGEND
 ○ 3/4" dia. x 30" long Iron Pipe (set; found) w/orange plastic "K&K/LIMA" plug
 ■ Monument Box (set; found)
 (SEE SHEET 2 FOR LEGAL DESCRIPTION)

For Amendment TO ADD Restrictions
See Deed Vol 900 Pg 817



SWISS PARK No.7 SUBDIVISION

PT. N.E. 1/4, SECTION 12, T-2-S, R-8-E
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO

DESCRIPTION

Being a parcel of land situate in the northeast quarter of Section 12, Township-2-South, Range-8-East, abstracted as part of Richland Township, but now within the corporate limits of the Village of Bluffton, Allen County, Ohio, also being part of a parcel of land now in the name of Degen Excavating Co., Inc., successor by merger to D.K.T. Development Company (Deed Volume 709, Page 641) and known as Allen County Tax Map Parcel No. 28-1208-04-001, more particularly described as follows:

Commencing at a monument box (found) at the southeast corner of the northeast quarter of said Section 12;

thence northerly with the east line of said northeast quarter (legal centerline of Hancock Road) at N 01° 54' 33" E, 375.60 feet to a P.K. nail (found) at the southwest corner of the northwest quarter of Section 7, Township-2-South, Range-9-East;

thence south-southwesterly through an easement area granted to the State of Ohio (Deed Volume 444, Page 571) at S 44° 42' 10" W, 140.20 feet to an iron pipe of record at the southeast corner of Swiss Park No. 6 Subdivision (Plat Book 22, Page 89), which point by record is 95.00 feet Left of Station 12+24.66 of the centerline of said Hancock Road;

thence westerly with the curving north line of Interstate Route 75 (Deed Volume 337, Page 320) (concave northerly; not tangent to previous course) an arc distance of 150.00 feet through a radius of 3801.53 feet (chord bears S 81° 50' 51" W, 149.99 feet) to an iron pipe (found) at the southwest corner of said Swiss Park No. 6 Subdivision, which point is also the POINT OF BEGINNING;

thence continuing westerly with said north line of Interstate Route 75 an arc distance of 508.76 feet through a radius of 3801.53 feet (chord bears S 86° 48' 43" W, 508.38 feet) to an iron pipe (set) at a point of tangency in said north line which by record is 105.00 feet Left of Station 1198+79.58 of the centerline of Interstate Route 75;

thence continuing westerly with said north line of Interstate Route 75 at N 89° 21' 15" W, 30.00 feet to an iron pipe (set);

thence northerly into the grantor's lands at N 01° 14' 36" W, 405.00 feet to an iron pipe (set);

thence northerly at N 06° 44' 10" W, 95.00 feet to an iron pipe (set);

thence north-northwesterly at N 19° 36' 53" W, 123.59 feet to an iron pipe (set) in the curving south line of College Avenue;

thence northeasterly with said south line of College Avenue (concave northerly; not tangent to previous course) an arc distance of 135.86 feet through a radius of 847.18 feet (chord bears N 63° 42' 39" E, 135.72 feet) to an iron pipe (found) at a point of tangency in said line;

thence northeasterly continuing with said south line of College Avenue at N 59° 06' 59" E, 190.00 feet to an iron pipe (found) at the northwest corner of said Swiss Park No. 6 Subdivision;

thence south-southeasterly with the west line of said Swiss Park No. 6 Subdivision at S 30° 53' 01" E, 120.00 feet to an iron pipe (found) at a deflection point in said west line;

thence south-southeasterly continuing with said west line of Swiss Park No. 6 Subdivision at S 21° 28' 17" E, 690.29 feet to the POINT OF BEGINNING.

This parcel contains a gross area of 6.774 acres, of which no area is occupied by any present roadway, thus leaving a net area also of 6.774 acres, subject to all legal easements or other restrictions of record.

This description is based on survey work performed by Kohli & Kalher Associates, Inc., through June 27, 2001. Bearings are based on the record bearings of the adjacent Swiss Park No. 6 Subdivision. Iron pipes set this survey, or to be set within 90 days of the recording of the hereon plat, are 3/4-inch diameter by 30-inch long iron pipes with an orange plastic "K&K/LIMA" plug.

Nov. 8, 2001
Date

Michael G. Buettner
Michael G. Buettner
Ohio Registered Surveyor No. 6881



DEDICATION

That the undersigned owners of the land contained in the hereon plat hereby adopt the said plat and dedicate the land within the streets to the use and benefit of the public forever. Utility easements and building setback lines are established as shown on the plat.

In Witness Whereof, we have hereunto signed our names this 9 day of NOVEMBER 2001

In the Presence of:
Degen Excavating Co., Inc., Successor by Merger to D.K.T. Development Co.
Fritz Degen *William F. Degen*
President
Deane Miller *Dennis P. Lesler*
Vice President

ACKNOWLEDGEMENT

State of Ohio, Allen County, Ohio, SS:
Before me, a Notary Public in and for said State and County, personally appeared the above signed owners, who acknowledged that they did sign the hereon plat of Swiss Park No. 7 Subdivision and that the signing thereof was their free act and deed.
In Witness Whereof, I have set my hand and seal this 9th day of NOVEMBER 2001 *Deane M. Miller*
DIANE M. MILLER
Notary Public, State of Ohio
Commission Expires Nov. 11, 2001

COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 5th day of April 2002
Fee \$ 6.50 *H. Dean French* Esq.
Auditor of Allen County, Ohio

COUNTY RECORDER'S CERTIFICATE

No. 200207587
Filed for record in the Allen County, Ohio, Recorder's Office this 5th day of April 2002 at 2:28 o'clock P. M. and recorded in Allen County, Ohio, Plat Book 24 on Page 460
Fee \$ 62.10 *Edward P. Kish* Esq.
Recorder of Allen County, Ohio

VILLAGE ACCEPTANCE AND APPROVAL

Being the duly elected Mayor and Chairman of the Planning Commission of the Village of Bluffton, Ohio, I hereby accept the plat for the Village.
Walt F. Gierke *Steve McFadden*
Approval of President of Village Council Approval of Village Administrator
Village of Bluffton, Ohio
Ron Geise
Member, Planning Commission
Richard French
Member, Planning Commission
Walt F. Gierke
Approval of Village Engineer
Mayor & Chairman of Planning Commission

SURVEY OF DEDICATOR'S LANDS FOR SWISS PARK No.7 SUBDIVISION

PT. N.E. 1/4, SECTION 12, T-2-S, R-8-E
VILLAGE OF BLUFFTON, ALLEN COUNTY, OHIO

DEDICATOR'S LANDS

Being lands situate in the northeast quarter of Section 12, Township-2-South, Range-8-East, abstracted as part of Richland Township, but now within the corporate limits of the Village of Bluffton, Allen County, Ohio, also being all those lands now in the name of Degen Excavating Co., Inc., successor by merger to D.K.T. Development Company (Deed Volume 709, Page 641) and known as Allen County Tax Map Parcel No. 28-1208-04-001, more particularly described as follows:

BEGINNING at a monument box (found) at the southeast corner of the northeast quarter of said Section 12;

thence westerly with the south line of said northeast quarter at N 84°29'47"W, 2370.71 feet;

thence northerly with the east line of lands in the name of Bluffton Stone Company (Deed Volume 318, Page 36, and Deed Volume 391, Page 308) at N 11°14'18"E, 147.77 feet [at 63.14 feet, this course crosses the north right-of-way line of Interstate Route 75 (Deed Volume 337, Page 320)];

thence generally northeasterly with the southeast lines of a 1.498-acre parcel in the name of the Village of Bluffton (Deed Volume 729, Page 434) on two courses as follows:
(one) N 67°54'50"E, 224.54 feet; and
(two) N 39°02'57"E, 50.41 feet to the westernmost corner of lands in the name of Degen Excavating Company, Inc. (Deed Volume 831, Page 217) which either are existing boundaries of or are future boundaries of various phases of Bluffton Meadows Condominiums;

thence with the boundaries of said Bluffton Meadows Condominiums on four courses as follows:

- (one) southeasterly at S 41°57'03"E, 90.00 feet;
- (two) east-northeasterly at N 64°42'57"E, 310.00 feet;
- (three) northerly at N 03°31'51"E, 237.82 feet; and
- (four) northeasterly at N 50°15'10"E, 178.52 feet to the south line of College Avenue;

thence generally easterly with the curving south line of College Avenue (not tangent to previous course; concave northerly) an arc distance of 933.45 feet thru a radius of 847.18 feet (chord bears S 89°19'06"E, 886.94 feet) to a point of tangency in said south line;

thence east-northeasterly with said south line of College Avenue at N 59°06'59"E, 190.00 feet to the northwest corner of Swiss Park No. 6 Subdivision (Plat Book 22, Page 89);

thence south-southeasterly with the west lines of Swiss Park No. 6 Subdivision on two courses as follows:

- (one) S 30°53'01"E, 120.00 feet; and
- (two) S 21°28'17"E, 690.29 feet to the southwest corner of Swiss Park No. 6 Subdivision, which point is also in said north line of Interstate Route 75;

thence easterly with the curving south line of Swiss Park No. 6 Subdivision, which line is also said north right-of-way line of Interstate Route 75 (not tangent to previous course; concave northerly) an arc distance of 150.00 feet thru a radius of 3801.53 feet (chord bears N 81°50'51"E, 149.99 feet) to the southeast corner of Swiss Park No. 6 Subdivision, which point by record is 95.00 feet Left of Station 12+24.66 of the centerline of Hancock Road;

thence northerly with the east line of Swiss Park No. 6 Subdivision, being also the west right-of-way line of Hancock Road (Deed Volume 444, Page 571) on two courses as follows:

- (one) N 04°17'38"E, 874.74 feet; and
- (two) N 09°01'48"E, 26.55 feet to the northeast corner of Swiss Park No. 6 Subdivision, which point is also in the south line of College Avenue;

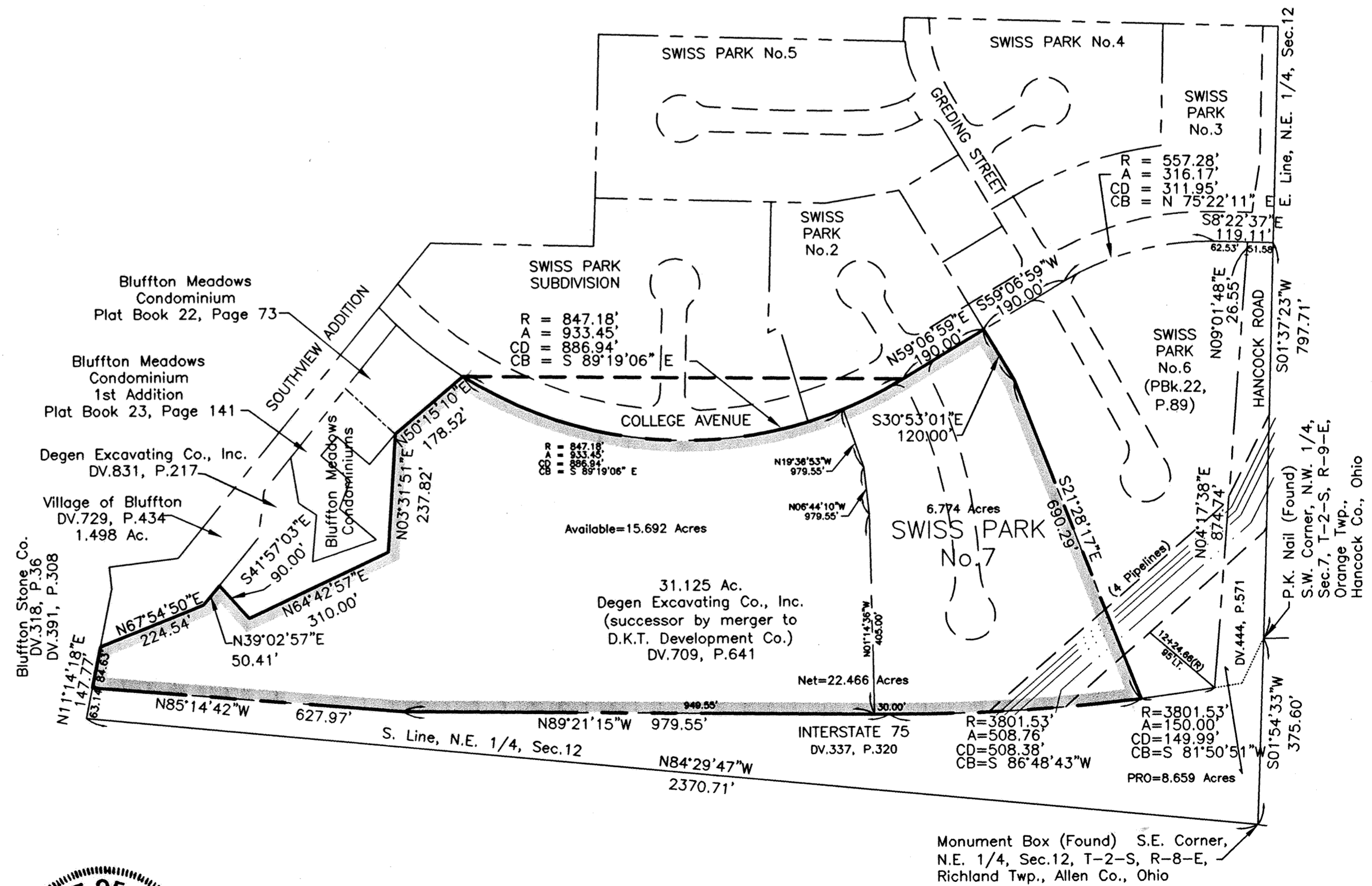
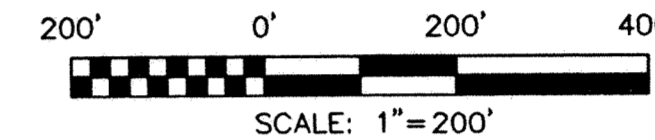
thence easterly with said south line of College Avenue at S 88°22'37"E, 51.58 feet to a P.K. nail (set 6/94) in the legal centerline of Hancock Road, which line is also the east line of the northeast quarter of said Section 12;

thence southerly with said centerline of Hancock Road at S 01°37'23"W, 797.71 feet to a P.K. nail (found) at the southwest corner of the northwest quarter of Section 7, Township-2-South, Range-9-East;

thence southerly continuing with said centerline of Hancock Road at S 01°54'33"W, 375.60 feet to the POINT OF BEGINNING.

These lands contain a gross area of 31.125 acres, of which the present rights-of-way of Interstate Route 75 and Hancock Road occupy 8.659 acres, leaving a net area of 22.466 acres, subject to all legal easements or other restrictions of record.

This description is based on surveying work performed by Kohli & Kalher Associates, Inc., thru October 31, 2001. Bearings are based on the record bearings of the adjacent Swiss Park No. 6 Subdivision.



Monument Box (Found) S.E. Corner,
N.E. 1/4, Sec.12, T-2-S, R-8-E,
Richland Twp., Allen Co., Ohio



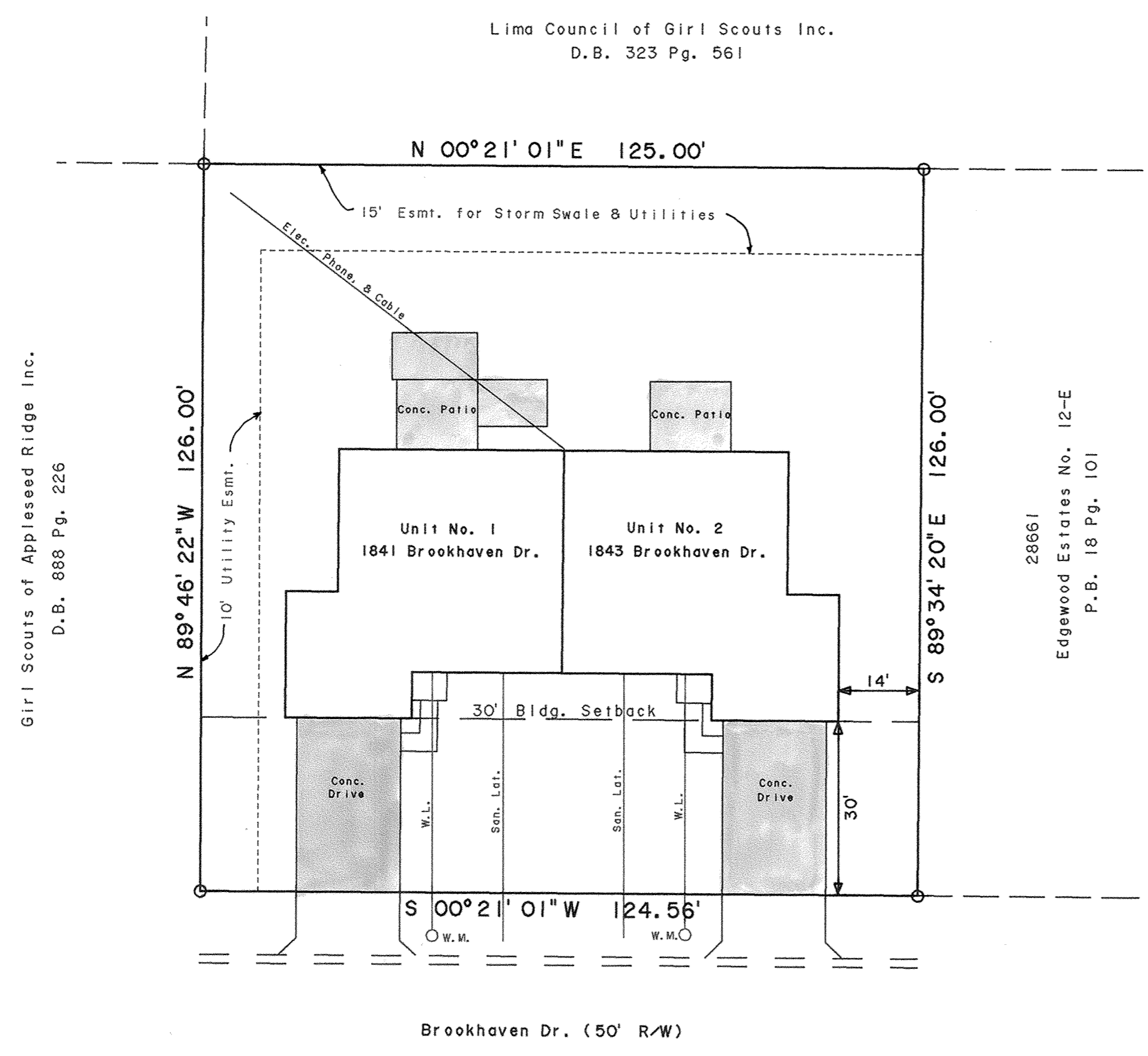
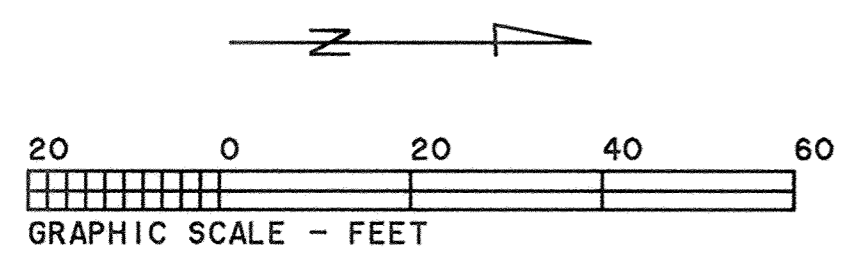
Michael G. Buettner
Michael G. Buettner
Ohio Registered Surveyor No. 6881
Nov. 8, 2001

REVIEWED
MICHAEL G. BUETTNER
ALLEN COUNTY ENGINEERS
DATE: 11/5/02

BROOKHAVEN CONDOMINIUM NO. 37

LOT NO. 28660

EDGEWOOD ESTATES NO. 12-E



BROOKHAVEN CONDOMINIUM NO. 37 consists of Lot No. 28660 in Edgewood Estates No. 12-E as recorded in Plat Book 18 on Page 101 in the Allen County Recorder's Office, Allen County, Ohio.

This set of drawings attached hereto consisting of a Plat Plan of **BROOKHAVEN CONDOMINIUM NO. 37**, one page of floor plan, one page of elevation views of the building and one page showing the survey of the dedicator's land, show insofar as graphically possible (1) the particulars of the building in the condominium, including but not limited to the layout, location designation and dimensions of each of the units therein; and (2) the layout, location and dimensions of the common areas and facilities and limited common areas and facilities. The undersigned being a Professional Surveyor and Professional Engineer hereby certifies that said drawings show the building as constructed, as graphically possible.

Charles R. Follrod
Professional Surveyor No. 7145
Charles R. Follrod, P.S.
R & A Engineers Inc.

Charles R. Follrod
Professional Engineer No. 51318
Charles R. Follrod, P.E.
R & A Engineers Inc.

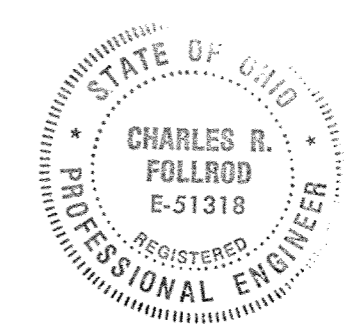
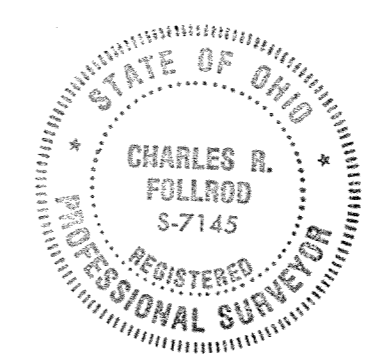
No. 200207991
Filed for record this 11th day of April, 2002 at 2:26
o'clock P.M. in the office of the Allen County Recorder and recorded in Plat Book
27, on Page 163.

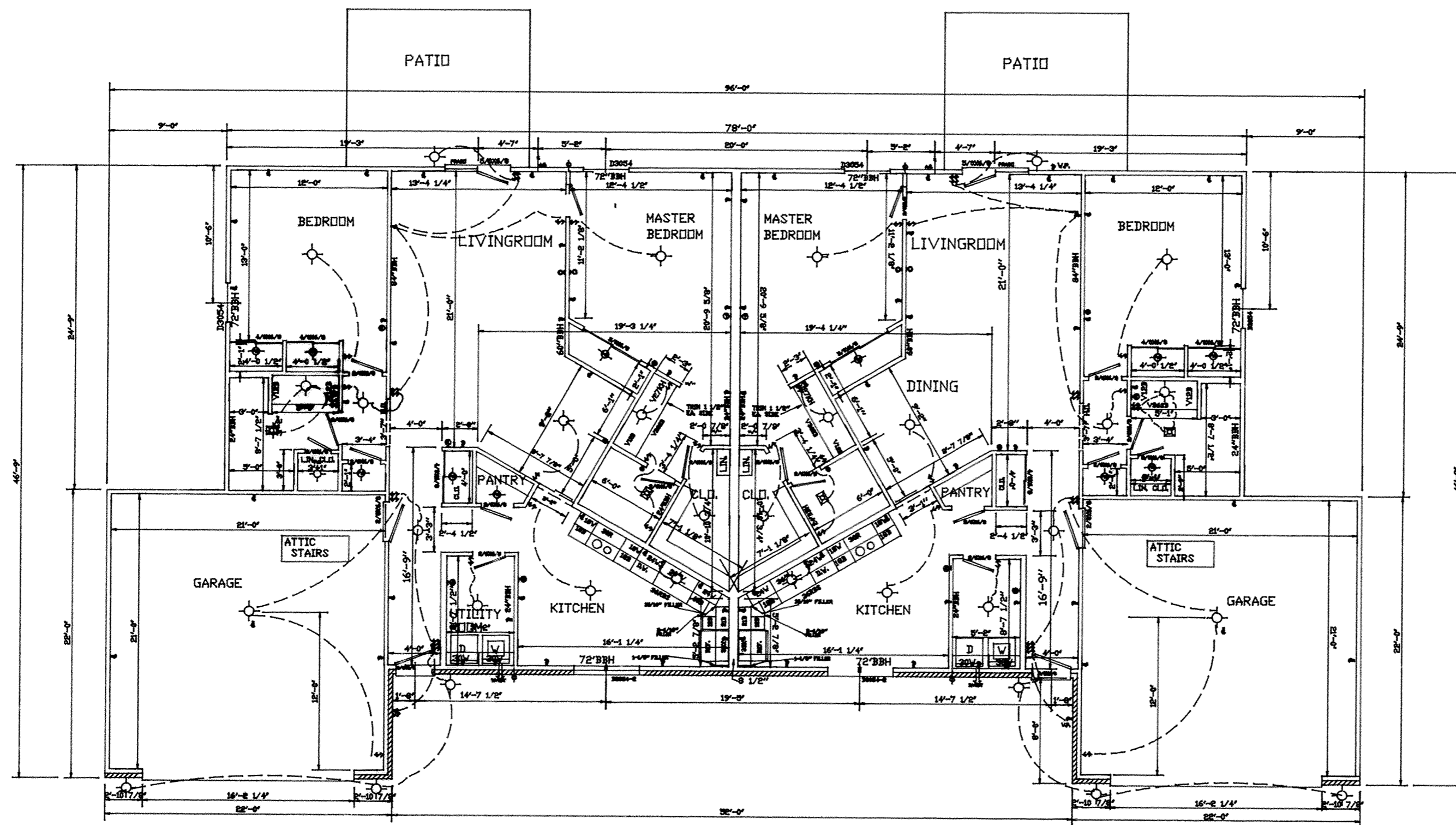
Fee: \$82.80

Edward P. Kish Jr.
RECORDER, Allen County, Ohio

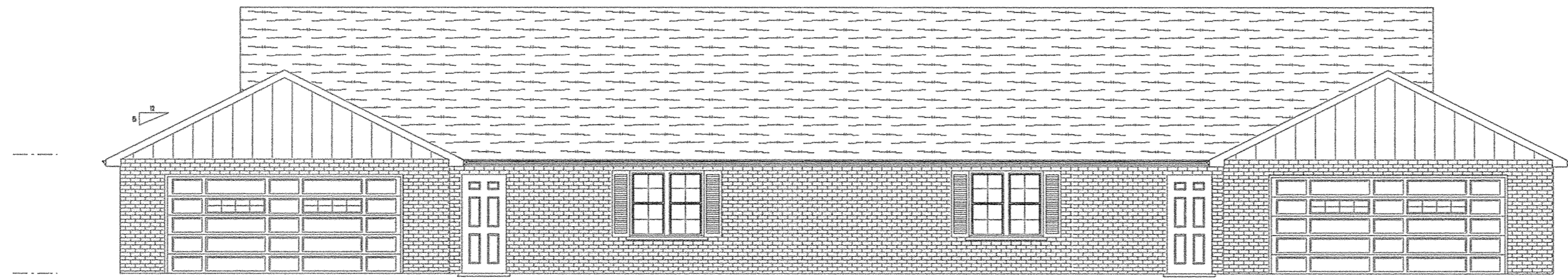
For DECLARATIONS see Deed Volume 895 Page 199

- - Found #5 Rebar
- - Limited Common Area





UNIT LIVING AREA: 1342.2 SQ. FT.
GARAGE: 470.3 SQ. FT.
TOTAL: 1812.5 SQ. FT.
BUILDING TOTAL: 3625.0 SQ. FT.



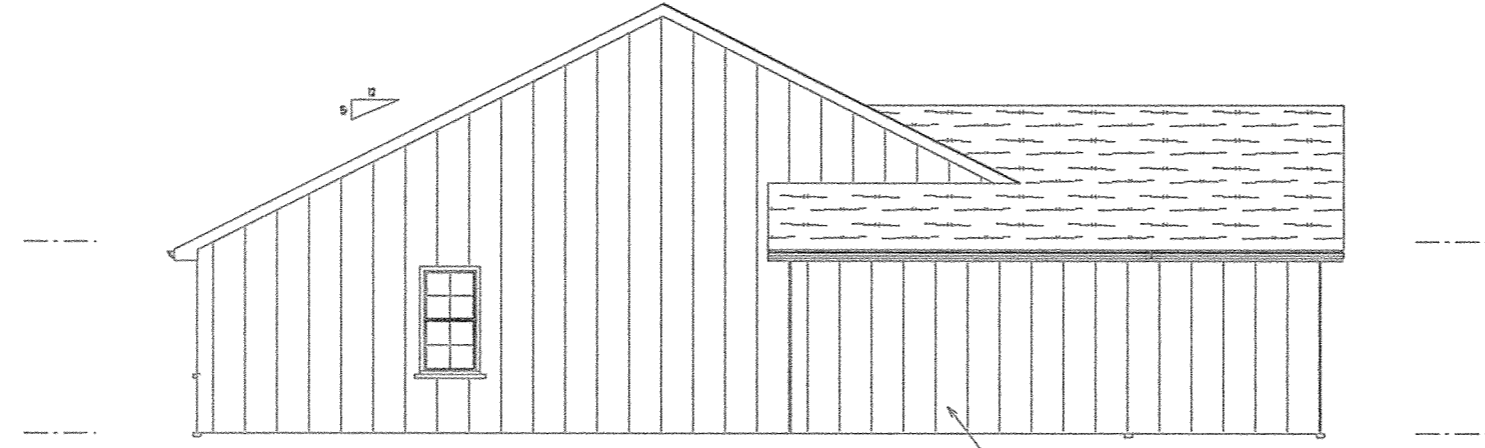
FRONT ELEVATION

Elev. = 116.54

Elev. = 113.05

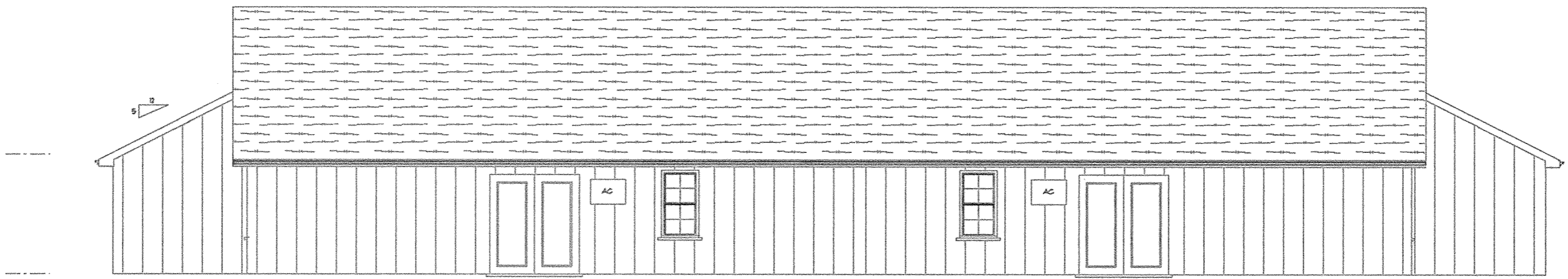
Elev. = 108.41

Fin. Flr. Elev. = 100.41

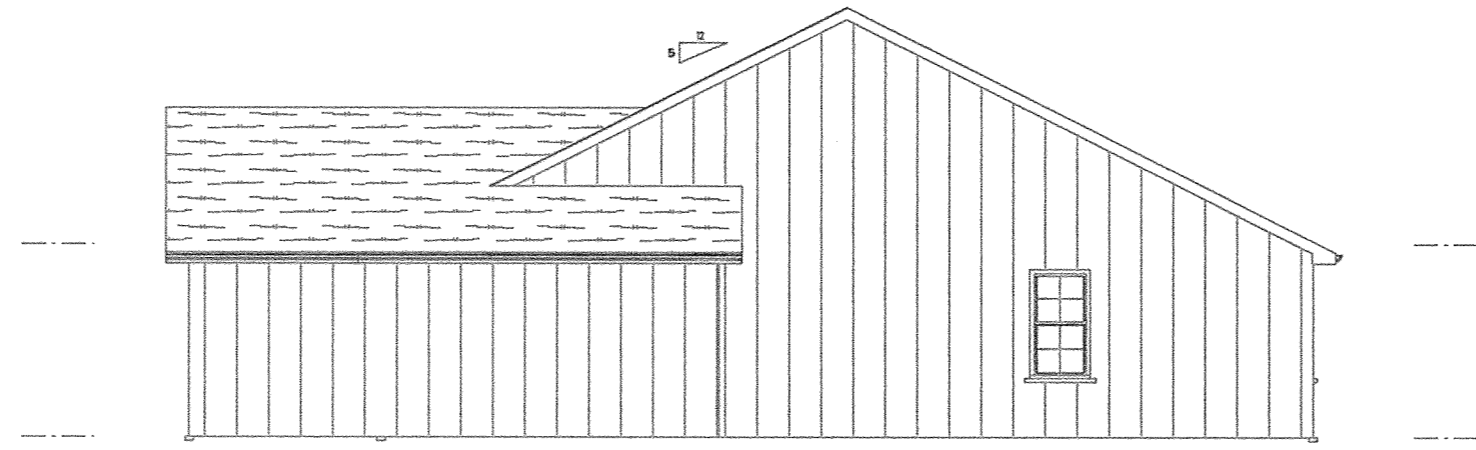


LEFT ELEVATION

Rough Sawn Cedar Siding (top.)



REAR ELEVATION

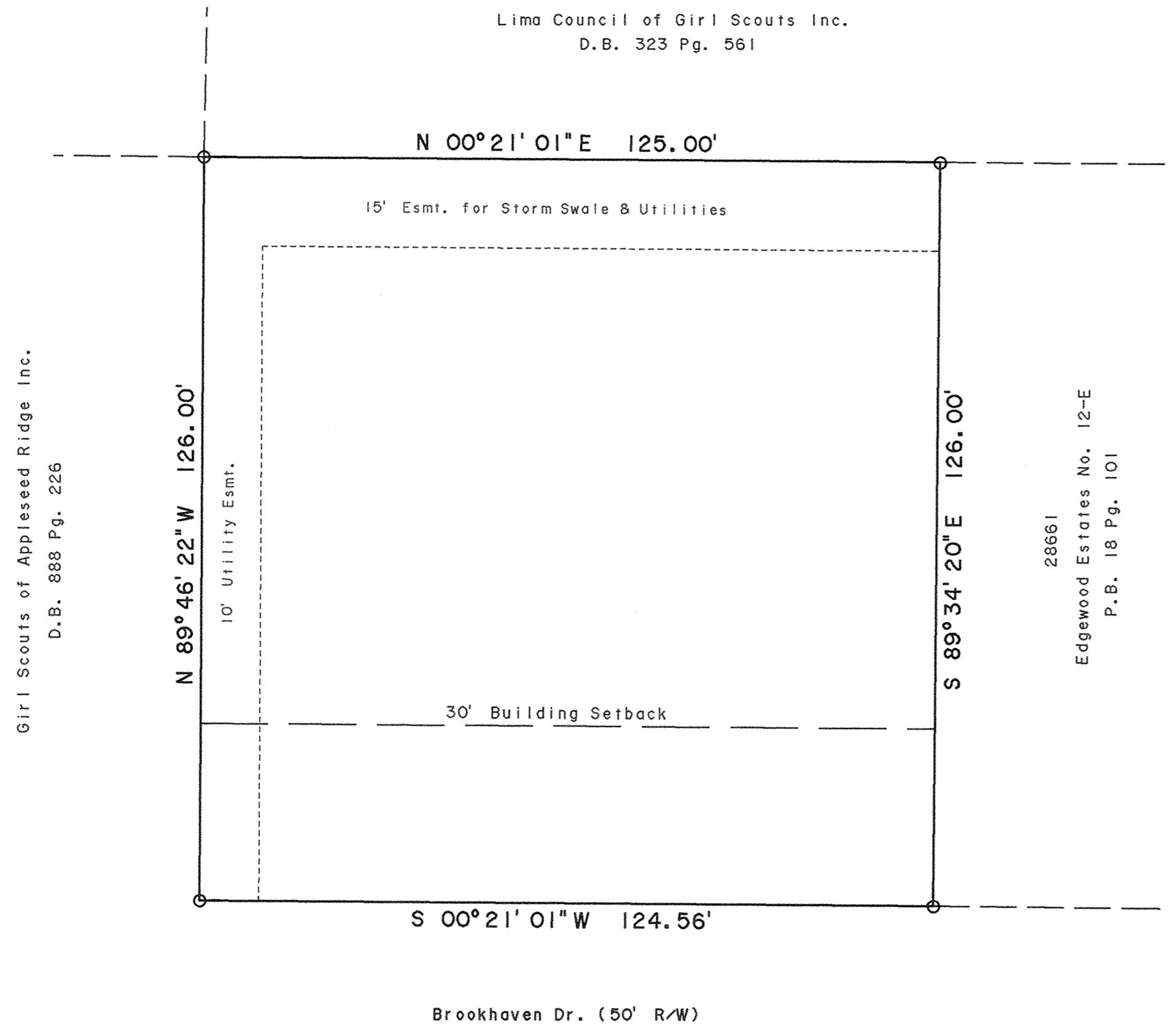
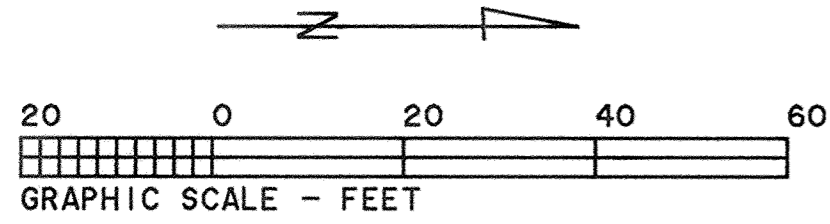


RIGHT ELEVATION

B.M. - Top of Steamer Nozzle on Fire Hydrant Located In Front of 1842 Brookhaven Dr. Elev. = 100.00

BROOKHAVEN CONDOMINIUM NO. 37

SURVEY OF DEDICATOR'S LAND



DESCRIPTION

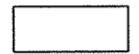
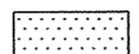
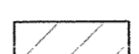
Being all of Lot No. 28660 in Edgewood Estates No. 12-E in the SE 1/4 of Section 23, T3S, R6E, American Township, Allen County, Ohio as shown on the recorded plat in Plat Book 18, Page 101 in the Allen County Recorder's Office.

REVIEWED BY
Michael L. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 4-11-02

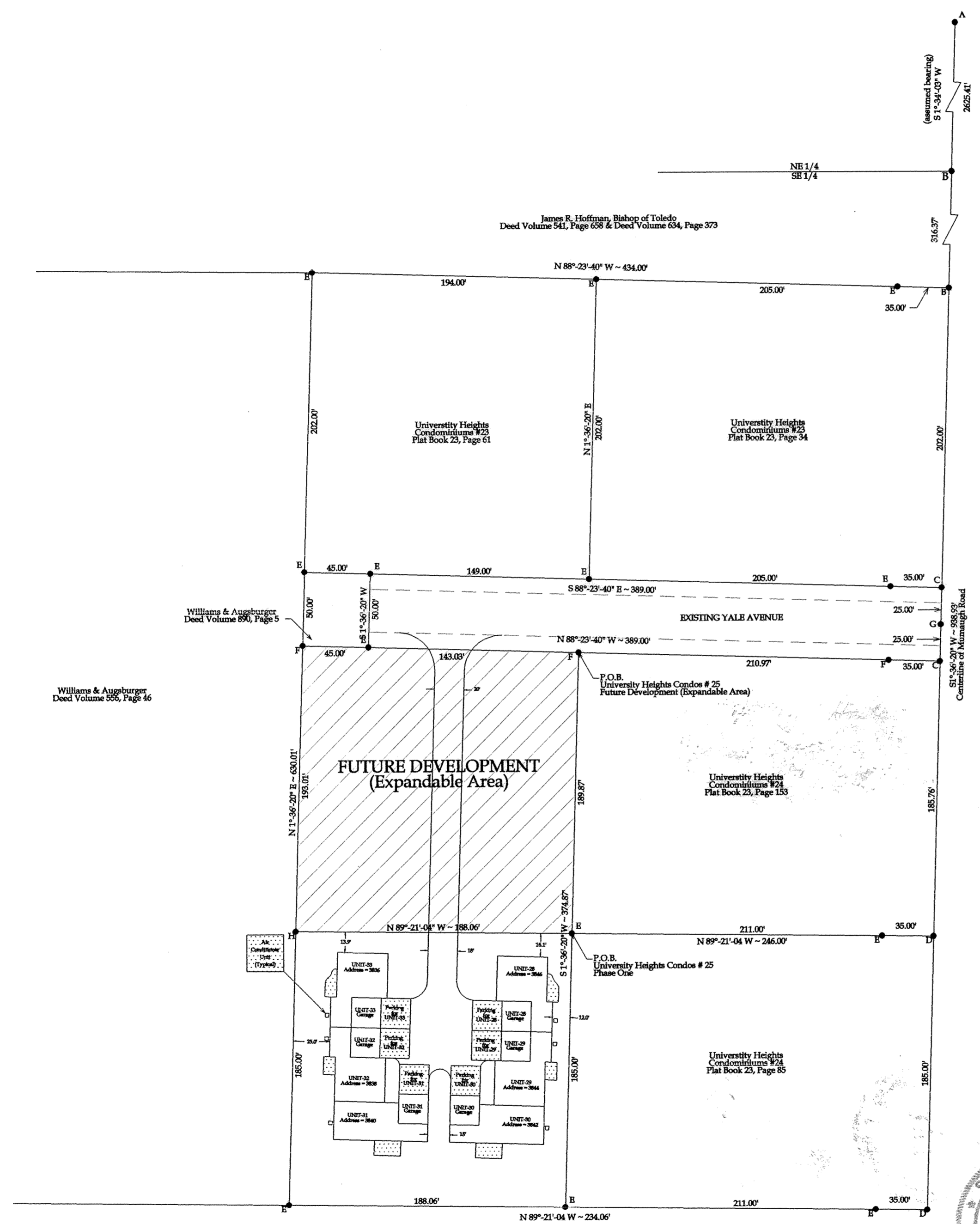
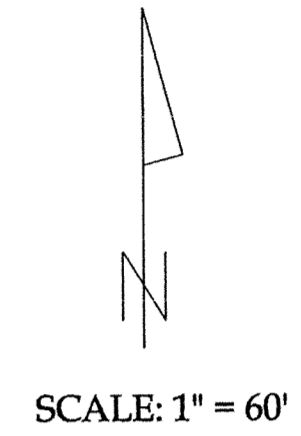
○ - Found #5 Rebar

AREA DELINEATION SHEET UNIVERSITY HEIGHTS CONDOMINIUMS #25 PHASE ONE

LEGEND

-  = Common Area
-  = Limited Common Area
-  = Future Development (Expandable Area)

- A = Monument Box found at the NE corner of Section 34
- B = Railroad Spike found
- C = PK Nail Found
- D = MAG Nail found
- E = 1/2" rebar found
- F = #5 rebar found
- G = Railroad Spike found at the intersection of the centerlines of Mumaugh Road and Yale Avenue
- H = #5 rebar set




Utility Easements:

There is hereby created upon, over and under all of the common area of the condominium property, an easement for public improvements and underground utility facilities as set forth in Ohio Revised Code Section 153.64.

CERTIFICATION

I, Brad J. Core, P.E., P.S., do hereby certify that this sheet correctly represents the location and configuration of the improvements within the boundaries of University Heights Condominiums #25 Phase One as they existed on the date shown on this drawing.

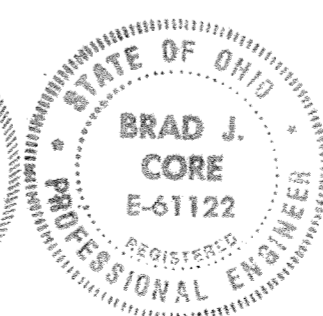

Brad J. Core, P.E., P.S.

Notes: Units 28, 29, & 30 make up Building No. 9
Units 31, 32, & 33 make up Building No. 10

Building No. 1 through Building No. 8 are not used due to the fact that they were used in previous plats

Units 1 through 24 are not used due to the fact that they were used in previous plats

Units 25 through 27 are not used due to the fact that they will be used in University Heights Condominium #25, Phase Two in the future.



ENGINEER/SURVEYOR:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

REVISED	AREA DELINEATION SHEET		
	UNIVERSITY HEIGHTS CONDOMINIUMS #25 PHASE ONE		
	S.E.1/4, SECTION 34, T33, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO		
DATE	5-1-2002	DRAWN BY	Z.J.G.
CHECKED BY		CONCURRED BY	B.J.C.

Williams & Augsburgers
Deed Volume 558, Page 46

Williams & Augsburgers
Deed Volume 890, Page 5

James R. Hoffman, Bishop of Toledo
Deed Volume 541, Page 638 & Deed Volume 634, Page 373

University Heights
Condominiums #23
Plat Book 23, Page 61

University Heights
Condominiums #23
Plat Book 23, Page 34

P.O.B.
University Heights Condos # 25
Future Development (Expandable Area)

University Heights
Condominiums #24
Plat Book 23, Page 153

P.O.B.
University Heights Condos # 25
Phase One

University Heights
Condominiums #24
Plat Book 23, Page 85

Hampton Green Apartments
Deed Volume 556, Page 46

University Heights Condominiums #25 Phase One

University Heights Condominiums #25 Future Development (Expandable Area)

Being a part of Parcel # 37-3409-01-002.002 as described in Deed Volume 890, Page 3 situated in the SE 1/4 of Section 34, T3S, R7E, Bath Township, Allen County, Ohio, more particularly described as follows:

Being a part of Parcel # 37-3409-01-002.002 as described in Deed Volume 890, Page 3 situated in the SE 1/4 of Section 34, T3S, R7E, Bath Township, Allen County, Ohio, more particularly described as follows:

Commencing at a monument box found at the NE corner of Section 34 (intersection of the centerlines of Reservoir Road and Mumaugh Road; thence S 1°-34'-03" W (assumed bearing) on the centerline of Mumaugh Road and the east line of the NE 1/4 of Section 34, 2,625.41' to an existing Railroad Spike at the NE corner of the SE 1/4 of Section 34, thence S 1°-36'-20" W, on the centerline of Mumaugh Road and the east line of the SE 1/4 of Section 34, 568.37' to an existing PK Nail, thence N 88°-23'-40" W on the South line of Yale Avenue, 245.97' to an existing #5 rebar, thence S 1°-36'-20" W, 189.87' to an existing 1/2" rebar at the POINT OF BEGINNING, thence the following courses:

Commencing at a monument box found at the NE corner of Section 34 (intersection of the centerlines of Reservoir Road and Mumaugh Road; thence S 1°-34'-03" W (assumed bearing) on the centerline of Mumaugh Road and the east line of the NE 1/4 of Section 34, 2,625.41' to an existing Railroad Spike at the NE corner of the SE 1/4 of Section 34, thence S 1°-36'-20" W, on the centerline of Mumaugh Road and the east line of the SE 1/4 of Section 34, 568.37' to an existing PK Nail, thence N 88°-23'-40" W on the South line of Yale Avenue, 245.97' to an existing #5 rebar at the POINT OF BEGINNING, thence the following courses:

1. Continue S 1°-36'-20" W, 185.00' to an existing 1/2" rebar;
2. N 89°-21'-04" W, 188.06' to an existing 1/2" rebar;
3. N 1°-36'-20" E, 185.00' to a set #5 rebar;
4. S 89°-21'-04" E, 188.06' to the POINT OF BEGINNING.

1. S 1°-36'-20" W, 189.87' to an existing 1/2" rebar;
2. N 89°-21'-04" W, 188.06' to a SET #5 rebar;
3. N 1°-36'-20" E, 193.01' to a existing #5 rebar on the South line of Yale Avenue;
4. S 88°-23'-40" E, 188.03' to the POINT OF BEGINNING.

The above-described parcel contains 0.799 acres, more or less, of which 0.000 acres is occupied by road right-of-way. This parcel is subject to all legal highways and easements of record.

The above-described parcel contains 0.826 acres, more or less, of which 0.000 acres is occupied by road right-of-way. This parcel is subject to all legal highways and easements of record.

The system of bearings for this legal description assumes the east line of the NE 1/4 of Section 34, also being the centerline of Mumaugh Road, as S 1°-34'-03" W. This legal description and accompanying plat represent an actual boundary survey completed under the direct supervision of Brad J. Core, P.S. #8004 on May 1, 2002. All markers called for above are in place.

The system of bearings for this legal description assumes the east line of the NE 1/4 of Section 34, also being the centerline of Mumaugh Road, as S 1°-34'-03" W. This legal description and accompanying plat represent an actual boundary survey completed under the direct supervision of Brad J. Core, P.S. #8004 on May 1, 2002. All markers called for above are in place.

Michael L. Howbert
MICHAEL L. HOWBERT, P.S.
ALLEN COUNTY ENGINEER
DATE: 5-10-02

CERTIFICATION

CERTIFICATION

I, Brad J. Core, P.E., P.S., do hereby certify that this description correctly represents the location of the boundary of UNIVERSITY HEIGHTS CONDOMINIUMS #25

I, Brad J. Core, P.E., P.S., do hereby certify that this description correctly represents the location of the boundary of UNIVERSITY HEIGHTS CONDOMINIUMS #25 Future Development (Expandable Area).

Brad J. Core
Brad J. Core, P.E., P.S.

Brad J. Core
Brad J. Core, P.E., P.S.

COUNTY RECORDERS CERTIFICATE

No. 200210138

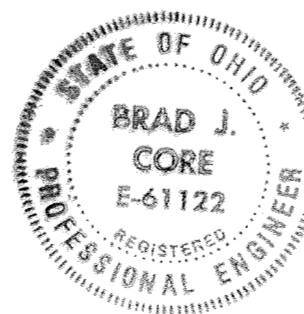
Filed for record in Allen County, Ohio Recorders Office this 10th day of MAY, 2002 at 9:55 O'Clock A.M. and recorded in Allen County, Ohio.

Plat Book 24 on Page 167.

Deed Vol. 896 Page 379.

Fee \$ 144.90

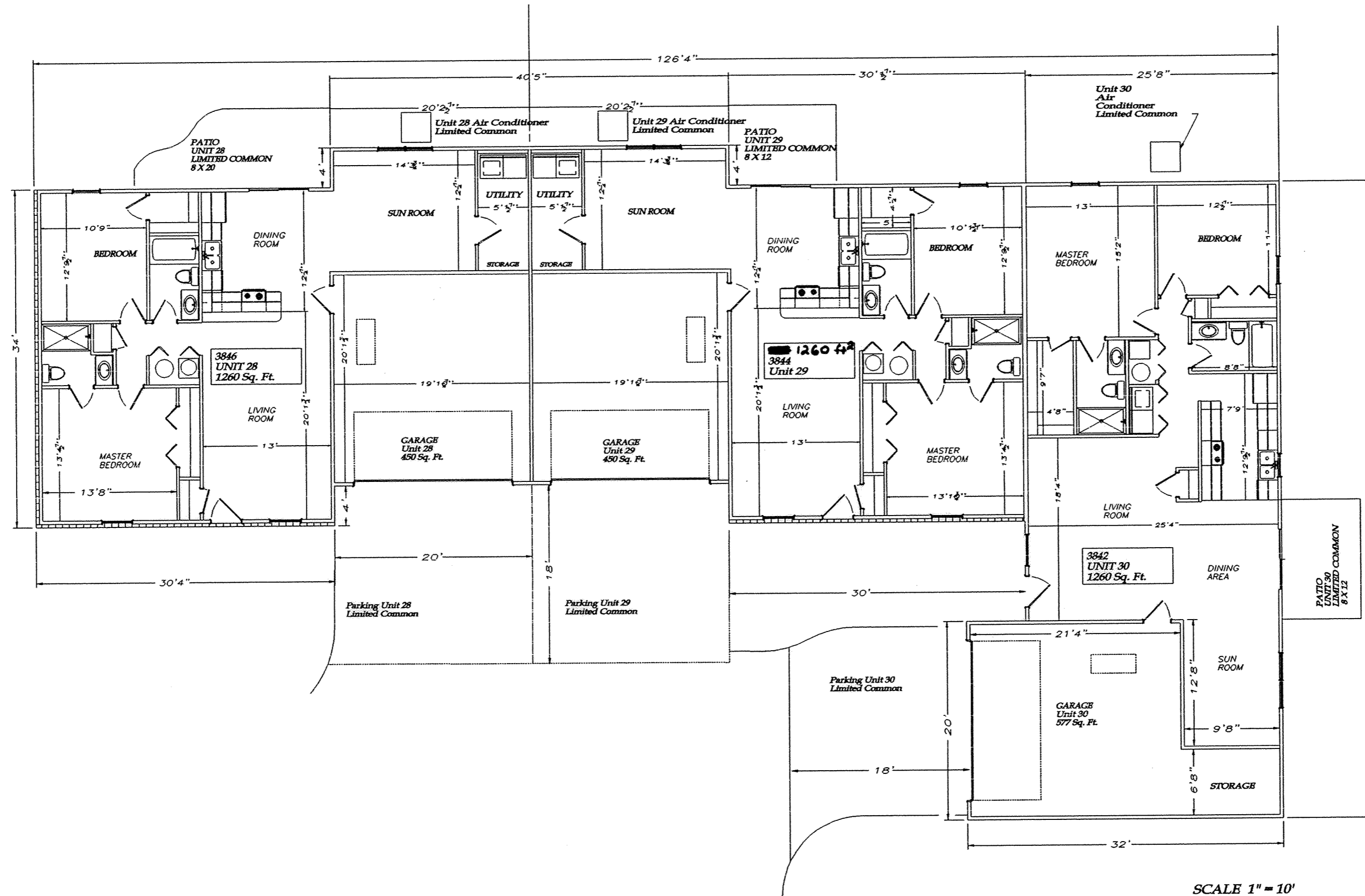
Edward P. Kirk Recorder by asp



ENGINEER/SURVEYOR:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

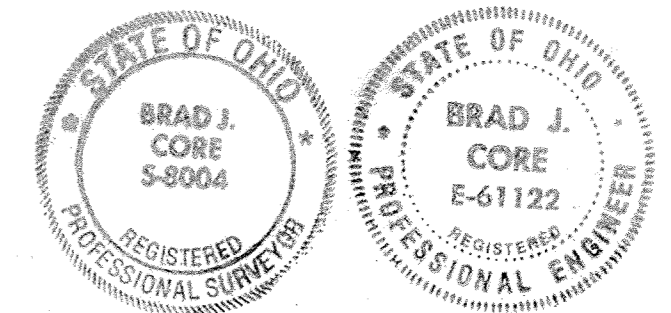
REVISED	LEGAL DESCRIPTIONS	
	UNIVERSITY HEIGHTS CONDOMINIUMS #25 PHASE ONE	
	SE 1/4 SECTION 34, T3S, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO	
DATE	DRAWN BY	CHECKED BY
5-1-2002	Z.J.G.	B.J.C.

University Heights Condominiums No. 25 Phase One



SCALE 1" = 10'

Floor Plan Layout Building No. 9

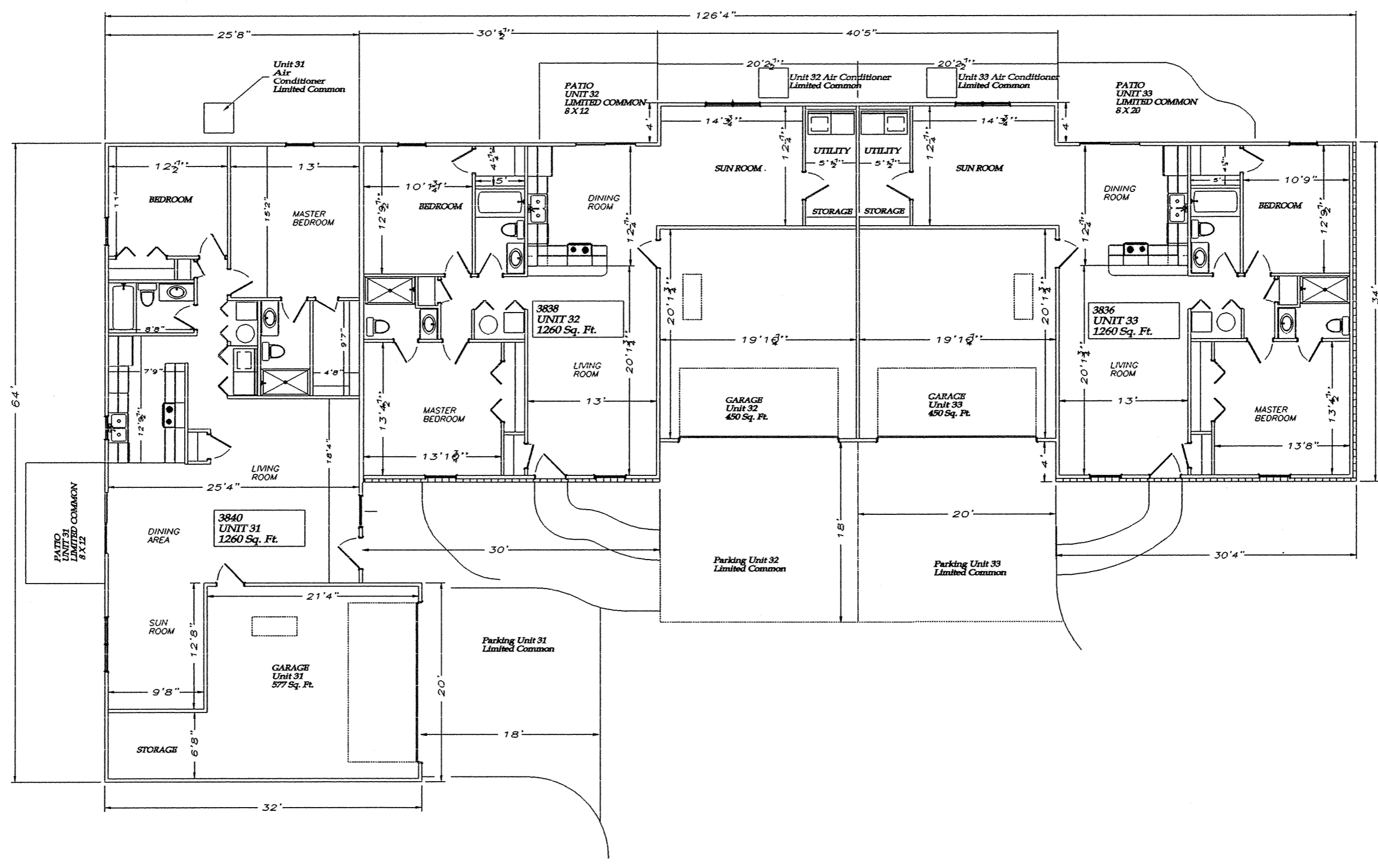


Brad J. Core

ENGINEER:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

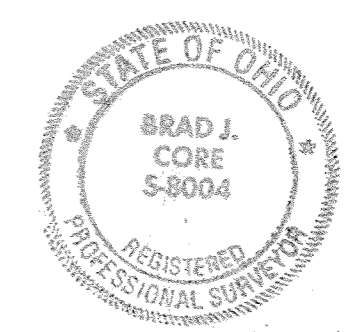
REVISED	FLOOR PLAN LAYOUT		
5/9/02	UNIVERSITY HEIGHTS CONDOMINIUMS #25 PHASE ONE		
	S.R.1/4, SECTION 34, T3S, R7E BATH TOWNSHIP, ALLEN COUNTY, OHIO		
	5-1-2002	Z.J.G.	B.J.C.

University Heights Condominiums No. 25 Phase One



SCALE 1" = 10'

Floor Plan Layout Building No. 10



Brad J. Core

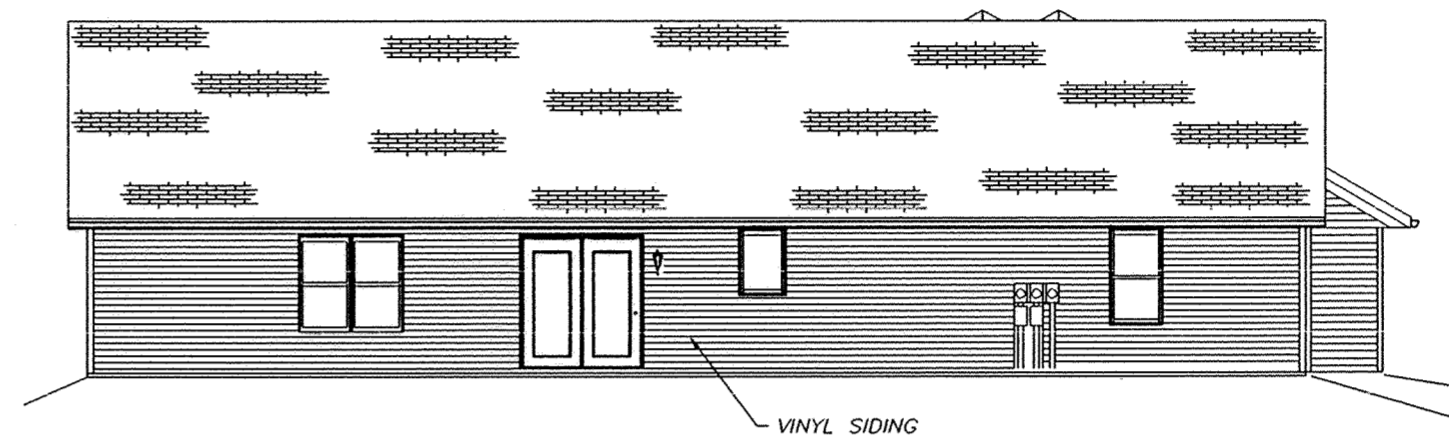
ENGINEER:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

REVISED	FLOOR PLAN LAYOUT UNIVERSITY HEIGHTS CONDOMINIUMS #25 PHASE ONE	
	S.E. 1/4 SECTION 34, T38, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO	
DATE	DRAWN BY	CHECKED BY
5-1-2002	Z.J.G.	B.J.C.

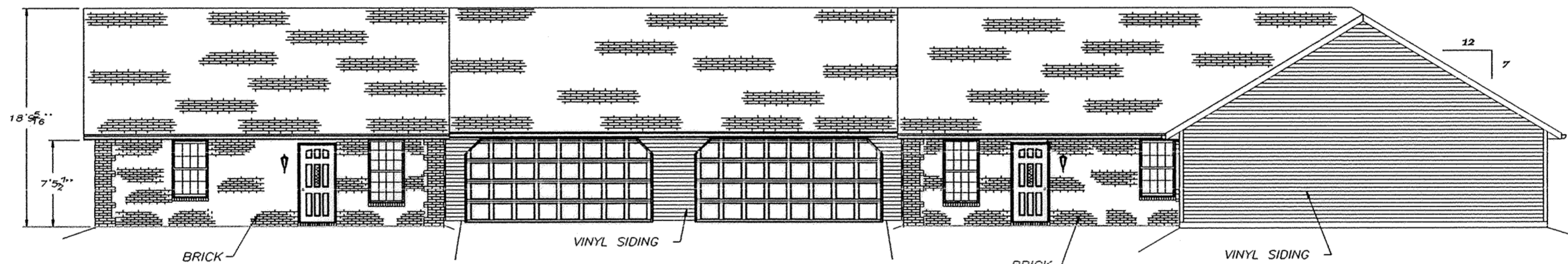
University Heights Condominiums No. 25 Phase One



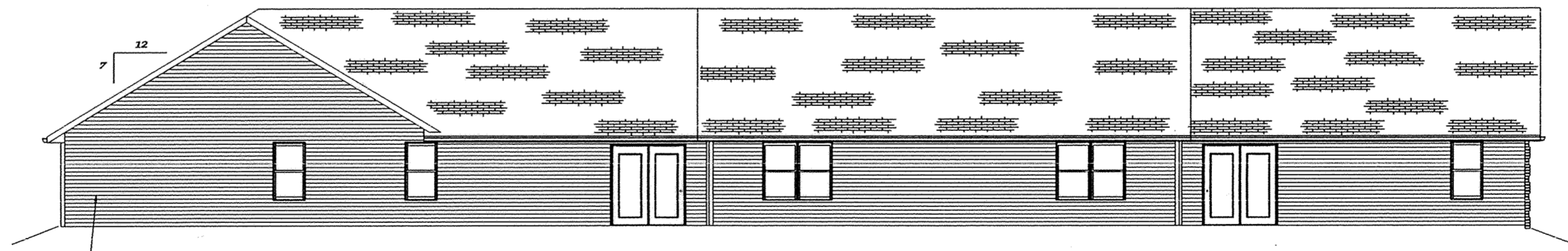
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

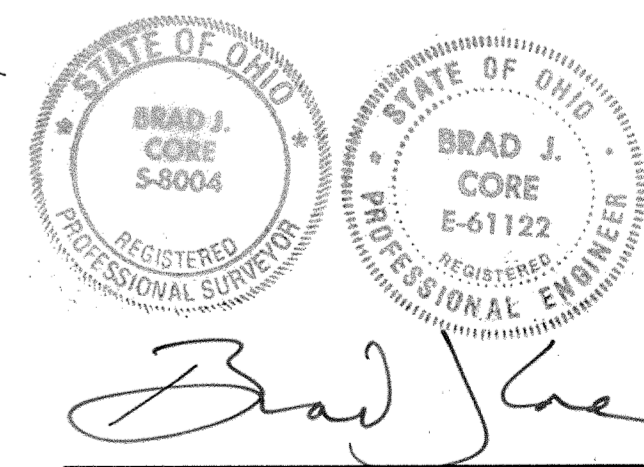


LEFT ELEVATION

Scale: 1" = 10'

Elevations Building No. 9

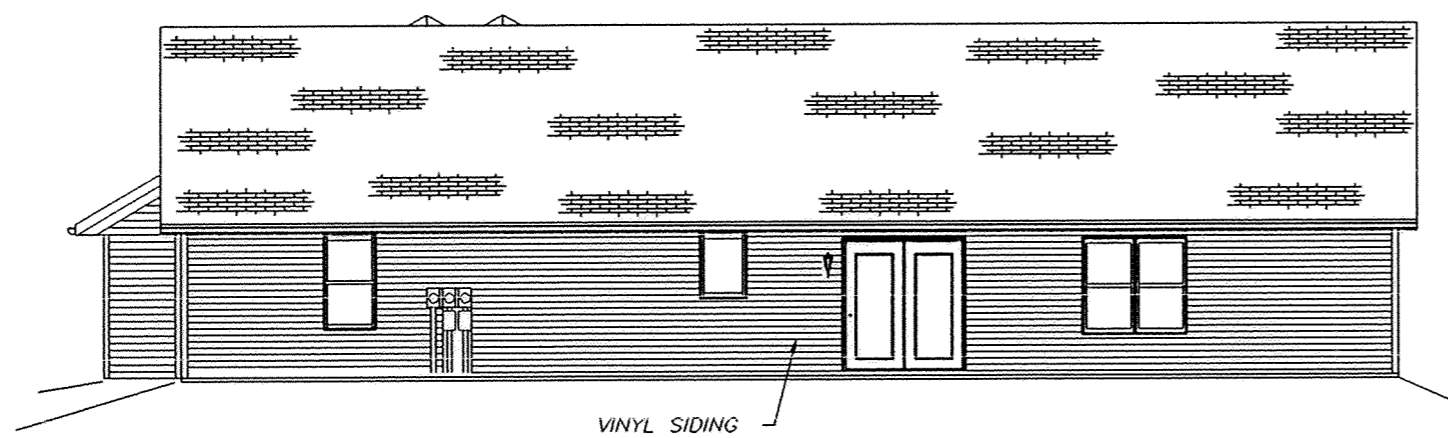
ENGINEER:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163



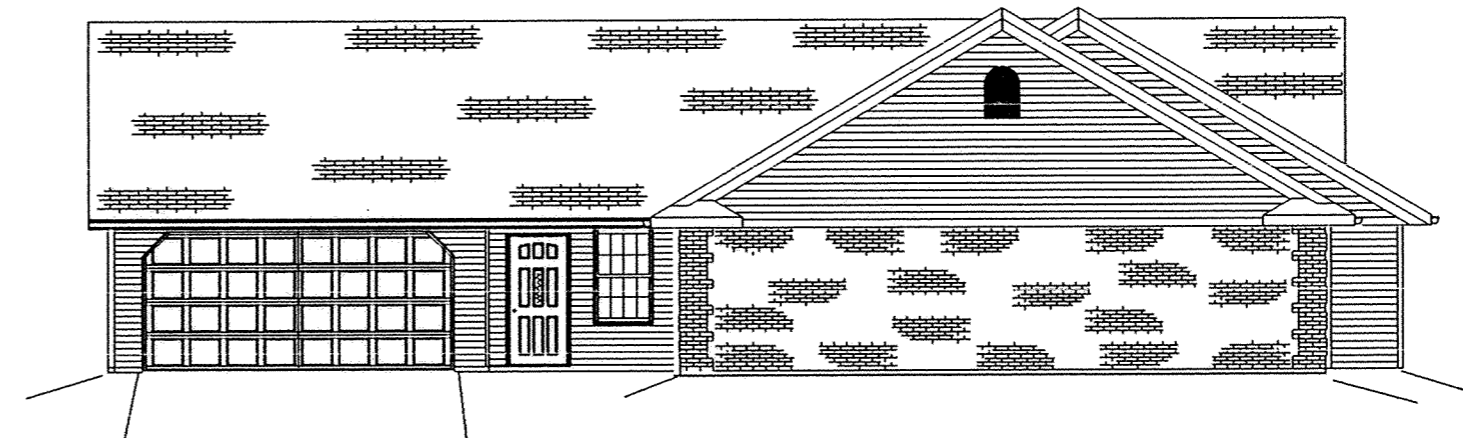
REVISED	ELEVATIONS	
	UNIVERSITY HEIGHTS CONDOMINIUMS #25 PHASE ONE	
	S.E.1/4, SECTION 34, T3S, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO	
	DATE: 5-1-2002	CHECKED BY: B.J.C.

University Heights Condominiums No. 25 Phase One

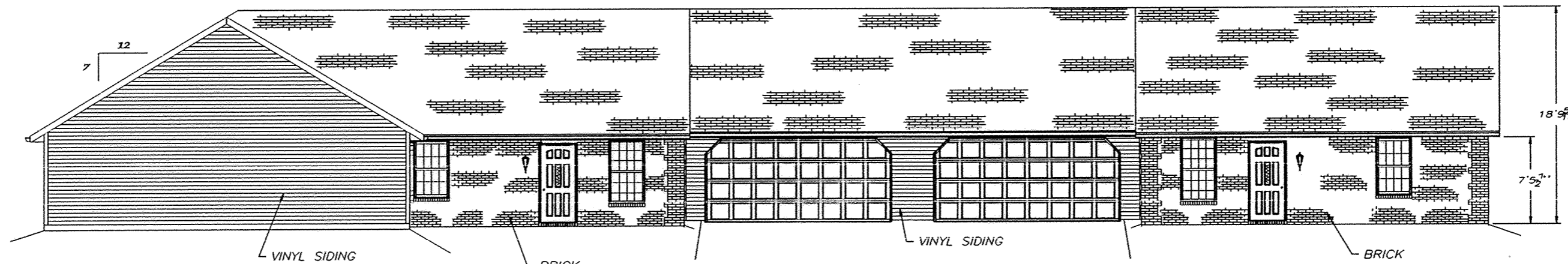
6
7



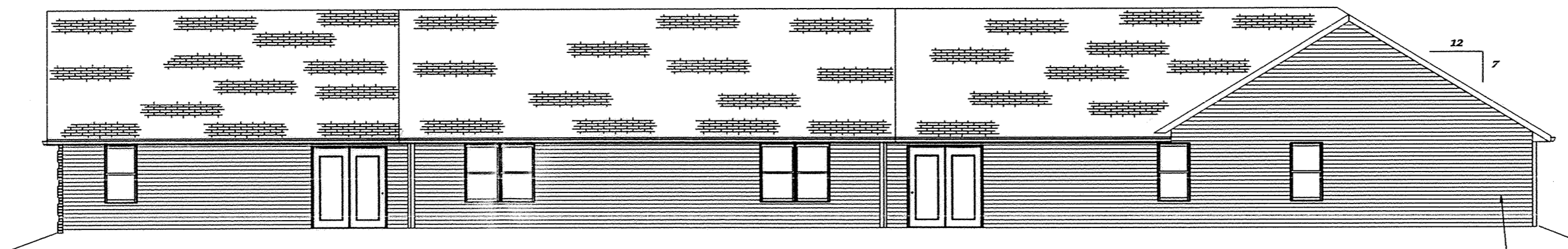
REAR ELEVATION



FRONT ELEVATION



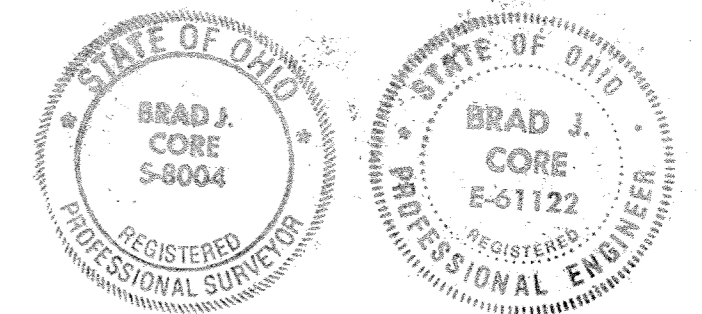
LEFT ELEVATION



RIGHT ELEVATION

Scale: 1" = 10'

Elevations Building No. 10



Brad J. Core

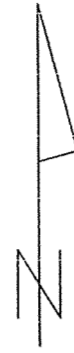
ENGINEER:
CORE CONSULTING
A Division of Materials Testing, Inc.
1660 S. Defiance Trail
Spencerville, Ohio 45887
(419) 647-6163

REVISED	ELEVATIONS		
	UNIVERSITY HEIGHTS CONDOMINIUMS #25 PHASE ONE		
	S.E. 1/4 SECTION 34, T3S, R7E BATH TOWNSHIP, ALLEN COUNTY, OHIO		
DATE	DRAWN BY	CHECKED BY	DATE
5-1-2002	Z.J.G.	B.J.C.	

LEGEND

- A = Monument Box found at the NE corner of Section 34
- B = Railroad Spike found
- C = PK Nail Found
- D = MAG Nail found
- E = 1/2" rebar found
- F = #5 rebar found
- G = Railroad Spike found at the intersection of the centerlines of Mumaugh Road and Yale Avenue
- H = #5 rebar set

SCALE: 1" = 60'



PLAT OF DEDICATOR'S LAND FOR UNIVERSITY HEIGHTS CONDOMINIUMS #25

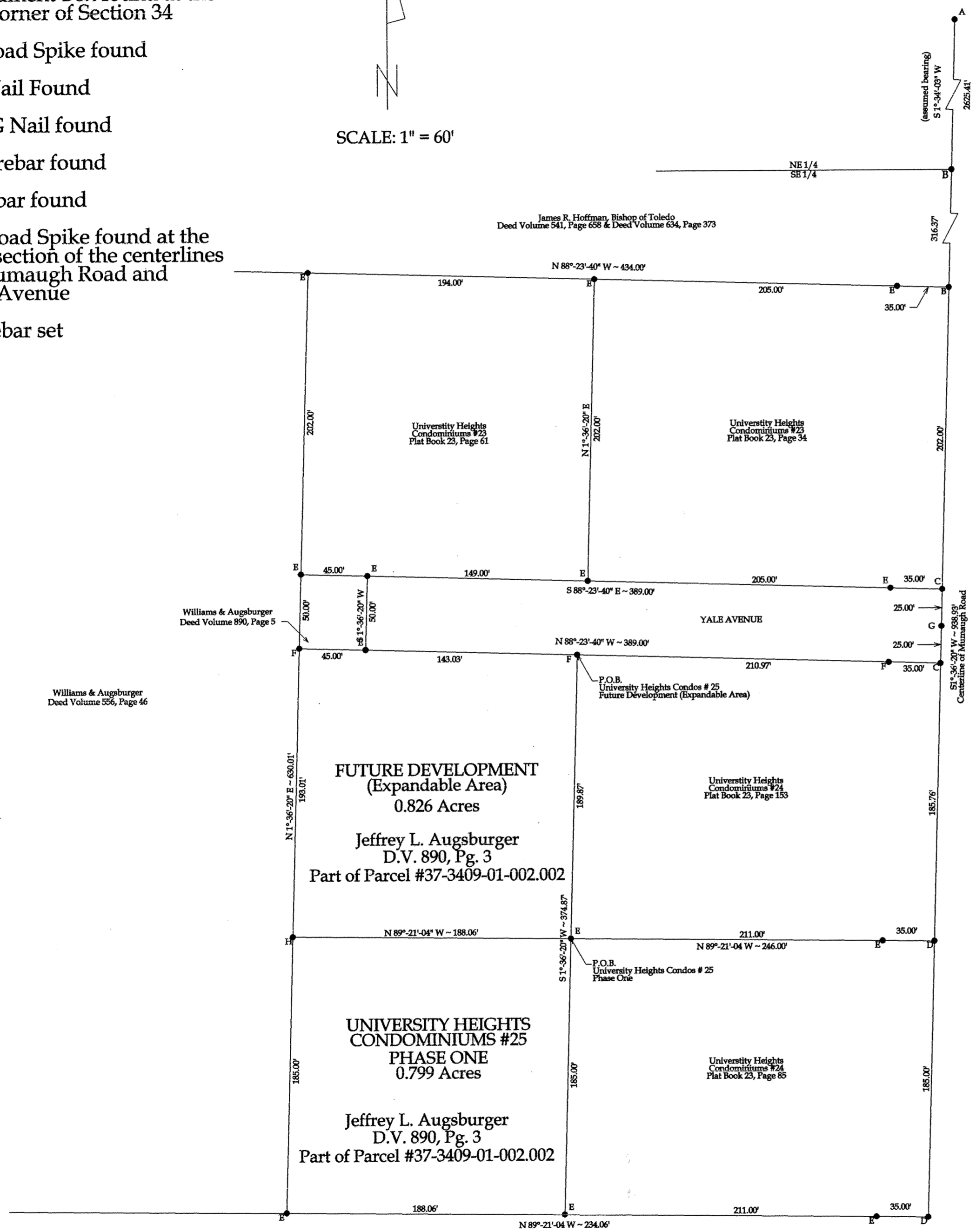
Being a part of Parcel # 37-3409-01-002.002 as described in Deed Volume 890, Page 3 situated in the SE 1/4 of Section 34, T3S, R7E, Bath Township, Allen County, Ohio, more particularly described as follows:

Commencing at a monument box found at the NE corner of Section 34 (intersection of the centerlines of Reservoir Road and Mumaugh Road; thence S 1°-34'-03" W (assumed bearing) on the centerline of Mumaugh Road and the east line of the NE 1/4 of Section 34, 2,625.41' to an existing Railroad Spike at the NE corner of the SE 1/4 of Section 34, thence S 1°-36'-20" W, on the centerline of Mumaugh Road and the east line of the SE 1/4 of Section 34, 568.37' to an existing PK Nail, thence N 88°-23'-40" W on the South line of Yale Avenue, 245.97' to an existing #5 rebar at the POINT OF BEGINNING, thence the following courses:

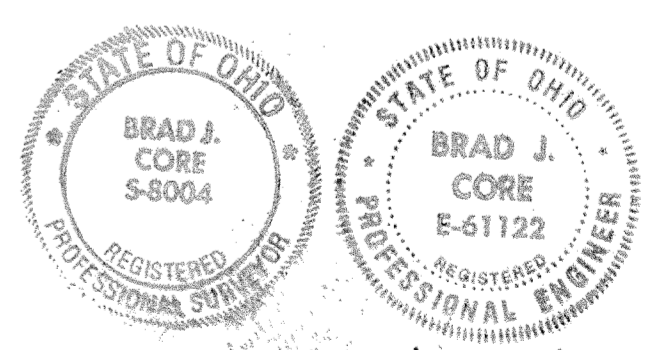
1. S 1°-36'-20" W, 374.87' to an existing 1/2" rebar, passing an existing 1/2" rebar at 189.87';
2. N 89°-21'-04" W, 188.06' to an existing 1/2" rebar;
3. N 1°-36'-20" E, 378.01' to an existing #5 rebar, passing a set #5 rebar at 185.00';
4. S 88°-23'-40" E, 188.03' to the POINT OF BEGINNING, passing an existing 1/2" rebar at 45.00'.

The above-described parcel contains 1.625 acres, more or less, of which 0.000 acres is occupied by road right-of-way. This parcel is subject to all legal highways and easements of record.

The system of bearings for this legal description assumes the east line of the NE 1/4 of Section 34, also being the centerline of Mumaugh Road, as S 1°-34'-03" W. This legal description and accompanying plat represent an actual boundary survey completed under the direct supervision of Brad J. Core, P.S. #8004 on August 30, 2001. All markers called for above are in place.



REVIEWED BY:
Michael L. Howbert
 MICHAEL L. HOWBERT, P.S.
 ALLEN COUNTY ENGINEER
 DATE: 5-10-02



Brad J. Core

ENGINEER/SURVEYOR:
 CORE CONSULTING
 A Division of Materials Testing, Inc.
 1660 S. Defiance Trail
 Spencerville, Ohio 45887
 (419) 647-6163

REVISED	DEDICATOR'S PLAT	
	UNIVERSITY HEIGHTS CONDOMINIUMS #25 PHASE ONE	
	S.E. 1/4, SECTION 34, T3S, R7E, BATH TOWNSHIP, ALLEN COUNTY, OHIO	
DATE	DRAWN	CHECKED
5-1-2002	Z.J.G.	B.J.C.

Hampton Green Apartments Deed Volume 556, Page 46

Williams & Augsburger Deed Volume 526, Page 46

Williams & Augsburger Deed Volume 890, Page 5

James R. Hoffman, Bishop of Toledo Deed Volume 541, Page 638 & Deed Volume 634, Page 373

University Heights Condominiums #23 Plat Book 23, Page 61

University Heights Condominiums #23 Plat Book 23, Page 34

University Heights Condominiums #24 Plat Book 23, Page 153

University Heights Condominiums #24 Plat Book 23, Page 85

Plat Book 24

Pages 174 - 178

Not being used.

Plat Book 24

Pages 174 - 178

Not being used.

Plat Book 24

Pages 174 - 178

Not being used.

Plat Book 24

Pages 174 - 178

Not being used.

Plat Book 24

Pages 174 - 178

Not being used.

AMENDED PLAT OF VILLA COMMUNITY AT THE OUTER BANKS
 CONDOMINIUMS PHASE 1
 LOTS NO. 29423, 29424 AND 29425
 JEFF CIMINILLO SUBDIVISION
 PLAT BOOK 24, PAGE 22
 IN THE S.W.1/4 OF SECTION 34
 T3S-R6E, AMERICAN TOWNSHIP
 ALLEN COUNTY, OHIO

TAX PARCELS #36-3410-02-017.000
 #36-3410-02-018.000
 #36-3410-02-019.000

BBA BUILDERS, INC.
 D.V.886, Pg.859

DESCRIPTION
 VILLA COMMUNITY AT THE OUTER BANKS
 PHASE 1
 0.784 ACRES

Being Lots 29423, 29424 and 29425 in the Jeff Ciminillo Subdivision (Plat Book 24, Page 22) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the west line of the Jeff Ciminillo Subdivision marking the southwest corner of Lot 29423 in said Subdivision -
 Thence North 00°-09'-37" East (bearing base) on and along the west line of Lots 29423, 29424 and 29425 in said Subdivision for a distance of 240.00 feet to a 5/8-inch iron pin found marking the northwest corner of Lot 29425, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
 Thence South 89°-41'-59" East on and along the north line of said Lot for a distance of 143.34 feet to a 5/8-inch iron pin set on the west line of Westerly Drive marking the northeast corner of said Lot 29425 -
 Thence South 00°-38'-17" West on and along said west line of Westerly Drive and the east line of Lots 29425, 29424 and 29423 for a distance of 240.00 feet to a 5/8-inch iron pin found marking the southeast corner of said Lot 29423, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
 Thence North 89°-41'-59" West on and along the south line of said Lot 29423 for a distance of 141.33 feet to the **place of beginning**.
 Containing in all 34,160 square feet or 0.784 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on a field survey performed on December 19, 2001, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

CERTIFICATION

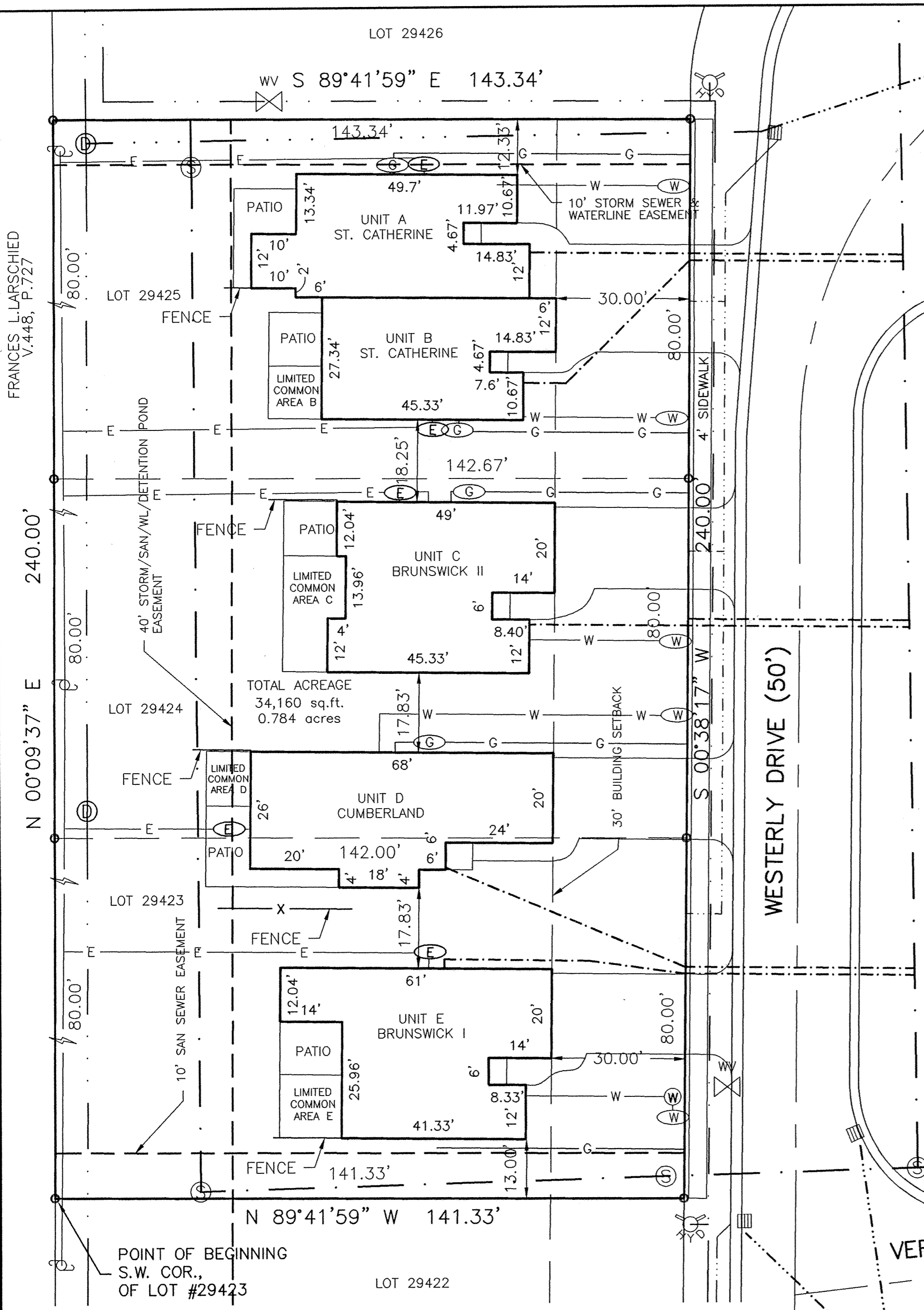
I, James D. Sheldon, Registered Engineer No. 24779, State of Ohio, and Registered Surveyor No. 4569, State of Ohio, do hereby certify that the drawings herein, consisting of sheets numbered 1 through 6, correctly represent the location, dimensions and configurations of Villa Community at the Outer Banks Condominiums Phase I as they existed on the date shown.

Date: 6 Jun 2002 *James D. Sheldon*
 James D. Sheldon, P. E., P. S.

COUNTY RECORDER'S CERTIFICATION

NO. 200212738
 FILED FOR RECORD IN THE ALLEN COUNTY, OHIO, RECORDER'S OFFICE THIS 13th DAY OF June, 2002, AT 9:20 O'CLOCK A. M. AND RECORDED IN ALLEN COUNTY PLAT BOOK 24 ON PAGE 179.
 FEE: \$ 124.20
 DECLARATION: D.V. 897 PAGE 760.

BY: Edward P. Kish
 RECORDER OF ALLEN COUNTY, OHIO



TOTAL ACREAGE
 34,160 sq.ft.
 0.784 acres

FRANCES L. LARSCHIED
 V.448, P.727

SHELDON ENGINEERING & SURVEYING, INC.
 LIMA, OHIO

NO.	DATE	DESCRIPTION	BY
1	12/13/01	DRAFT	RB
2	01/02/02	REVISED PL./SIGN.	RB
3	05/22/02	REVISED BUILDING DIM./ PATIO	RB

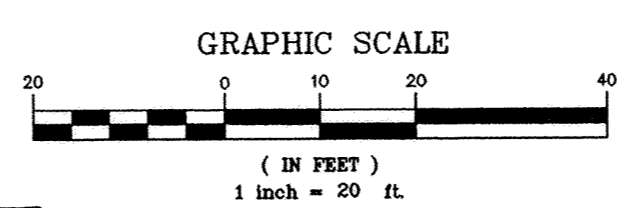
PROJECT NO. 22201
 SCALE: 1" = 20'

THIS PLAT REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON DECEMBER 19, 2001.
 REFERENCES: DEED RECORDS, TAX MAP & OFFICE RECORDS.

PREPARED BY:
 SHELDON ENGINEERING & SURVEYING, INC.
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E., P.S.

Date: 6 Jun 2002 *James D. Sheldon*

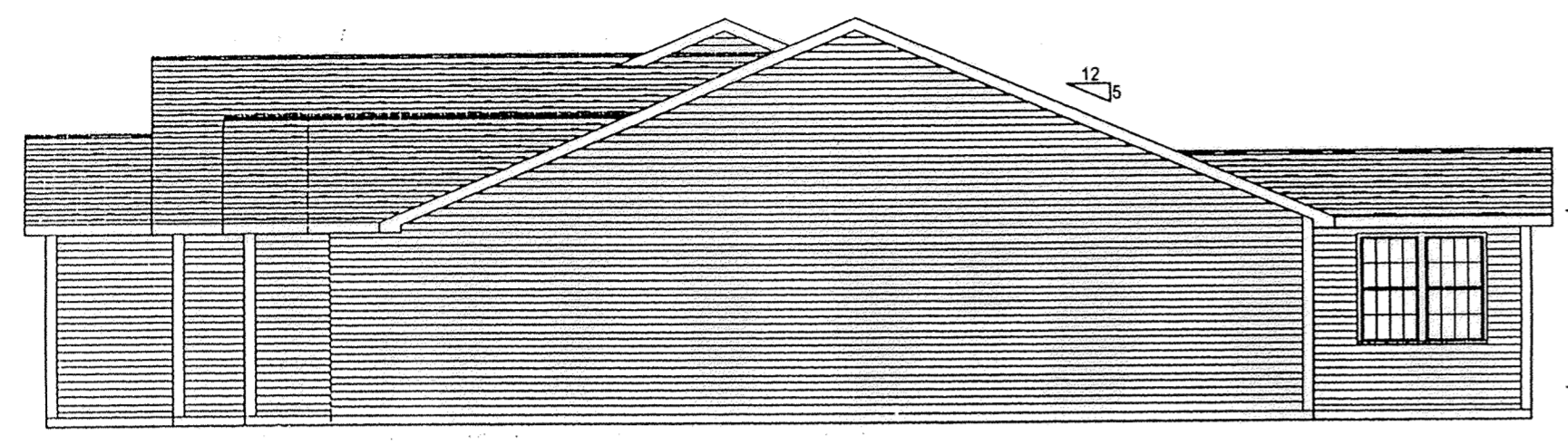
JAMES D. SHELDON, P.E., P.S.
 Registered Surveyor # 4569
 Registered Engineer # 24779



LEGEND

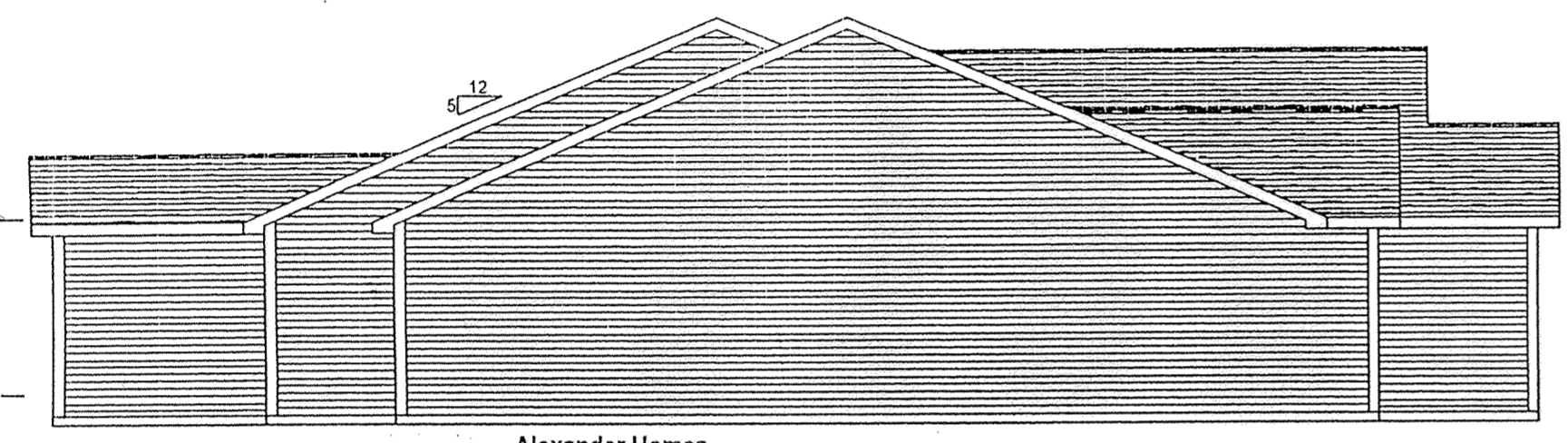
○	5/8" X 30" IRON PIN FOUND AND CAPPED WITH A MARKER STAMPED "SHELDON E & S / LIMA, OH"	Ⓜ	WATER VALVE
Ⓜ	UTILITY POLE	ⓔ	ELECTRICAL METER
⚡	INDICATES MAIN ELECTRIC LINES	ⓖ	GAS METER
WV	WATER VALVE	ⓓ	STORM MANHOLE
Ⓜ	FIRE HYDRANT	Ⓢ	SAN MANHOLE
Ⓜ	CATCH BASIN	— E —	ELECTRIC LINE
Ⓜ	WATER VALVE & METER	- - - - -	SAN SEWER LATERAL
		— W —	WATERLINE
		— G —	GAS LINE
		— S —	STORM SEWER
		— S —	SAN SEWER
		— W —	MAIN WATERLINE

UNIT " A & B " - FLOOR PLAN AND BUILDING ELEVATION PLAN



854.I3

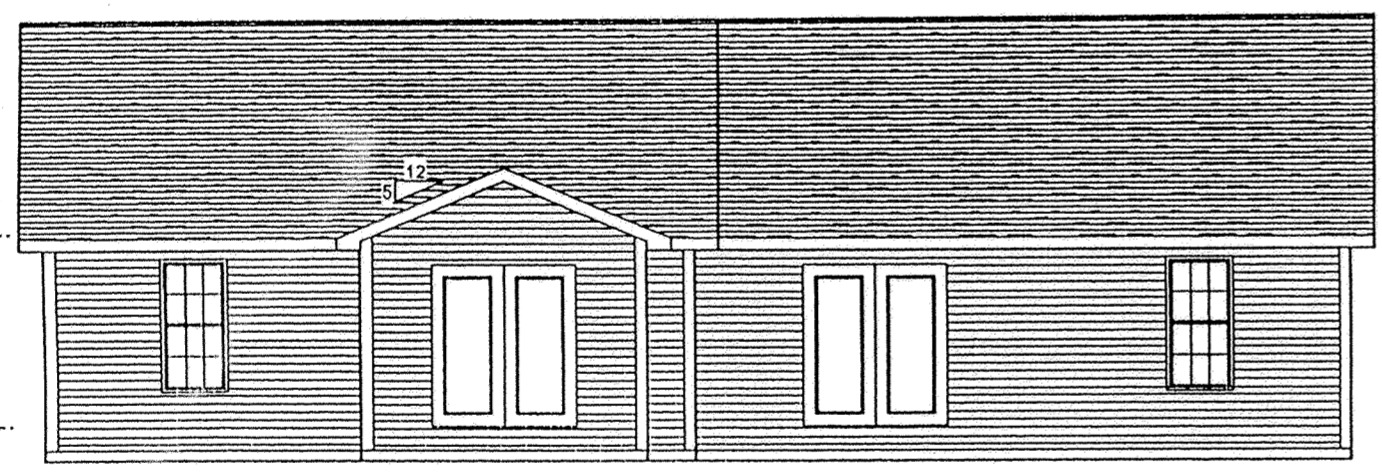
846.05



854.I3

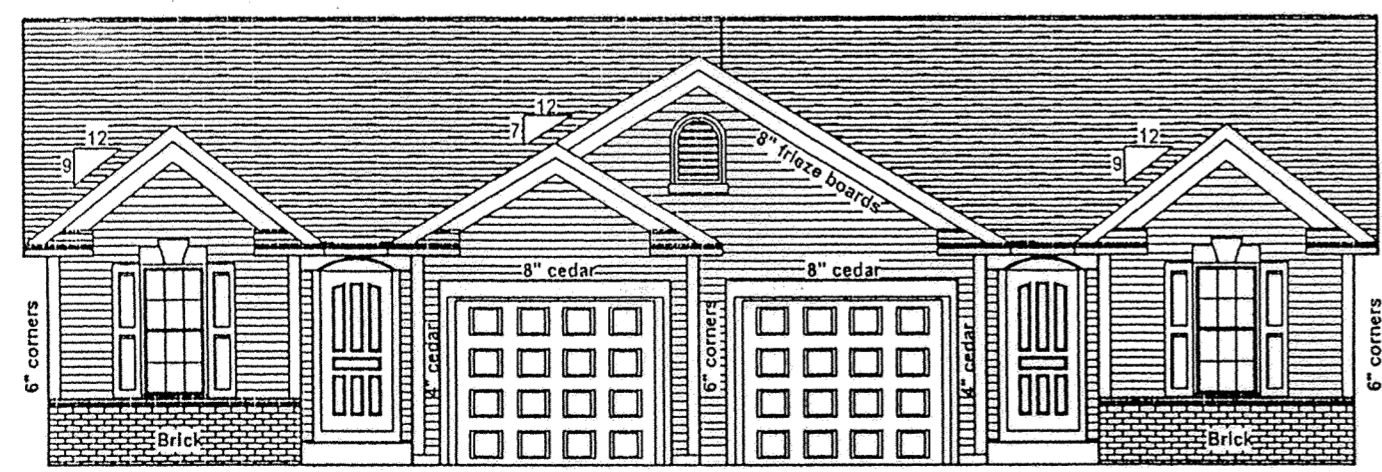
846.05

Alexander Homes
Plan:
Client:
Drawing: Left & Right
April 17, 2002



854.I3

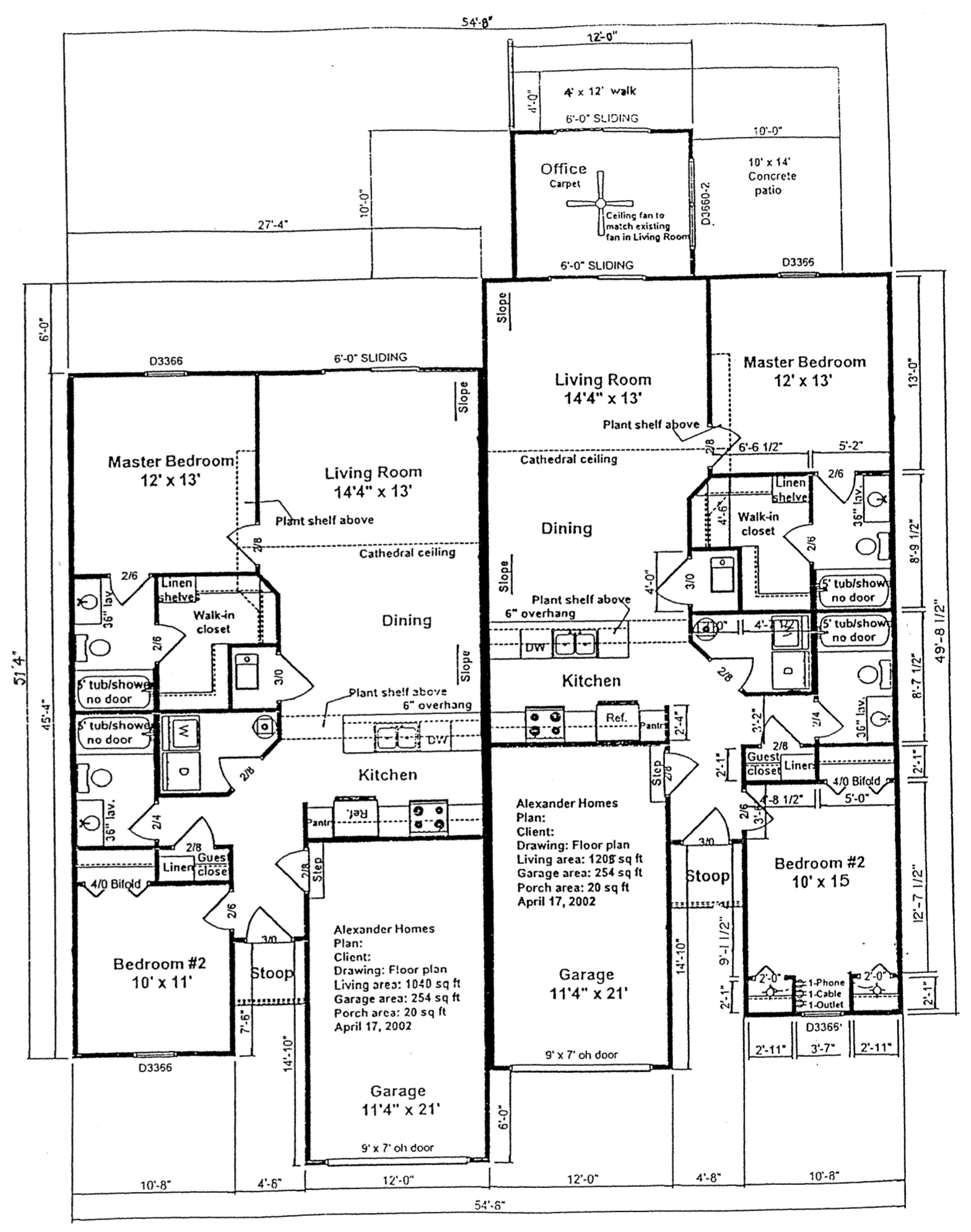
846.05



854.I3

846.05

Alexander Homes
Plan:
Client:
Drawing: Front & Rear
April 17, 2002



UNIT "B"

UNIT "A"

SHEET 2 OF 6

SHELDON ENGINEERING & SURVEYING, INC.
LIMA, OHIO

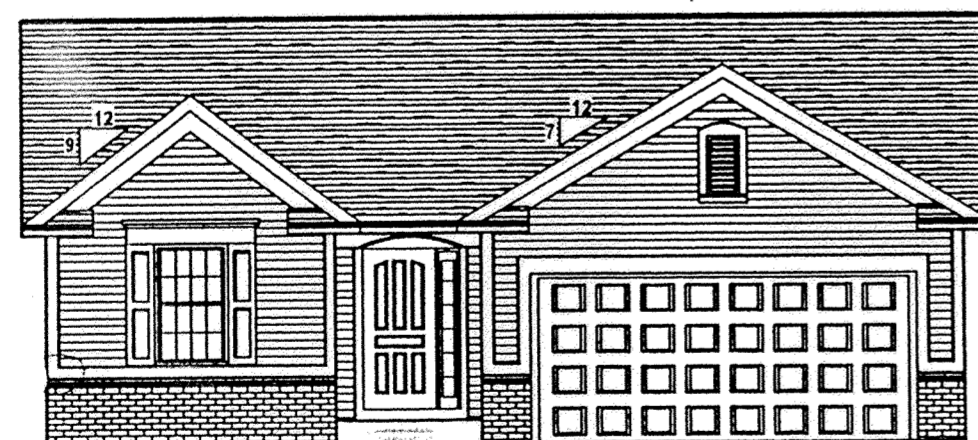
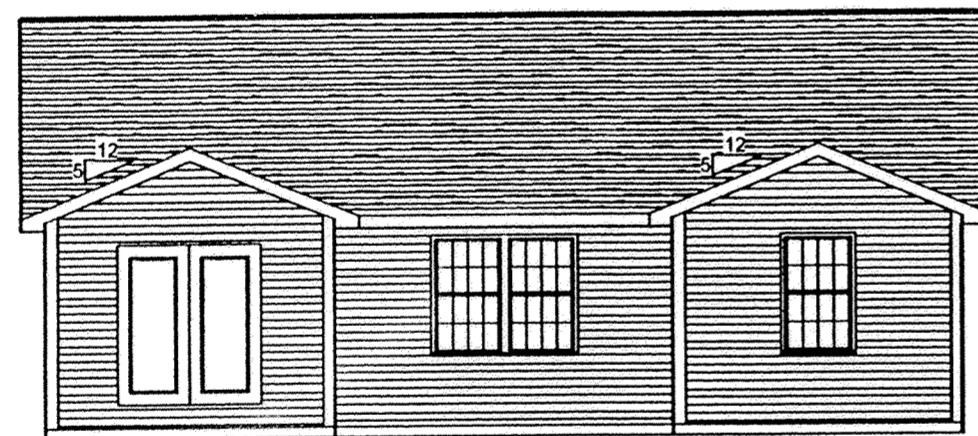
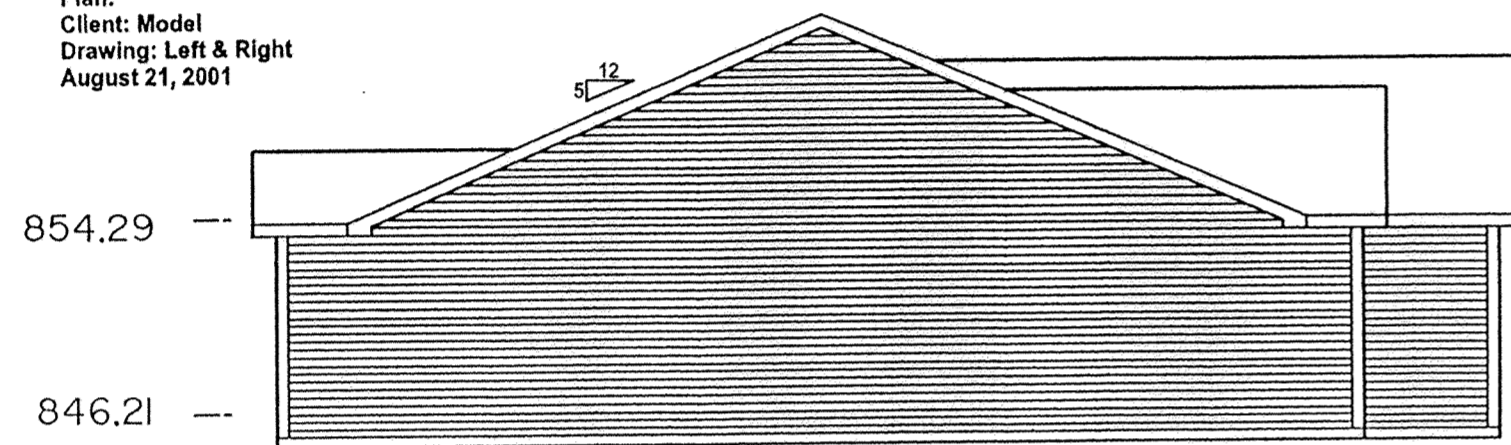
DATE	NO.	JOB
APPROVED	22201	

MAY 31, 2002

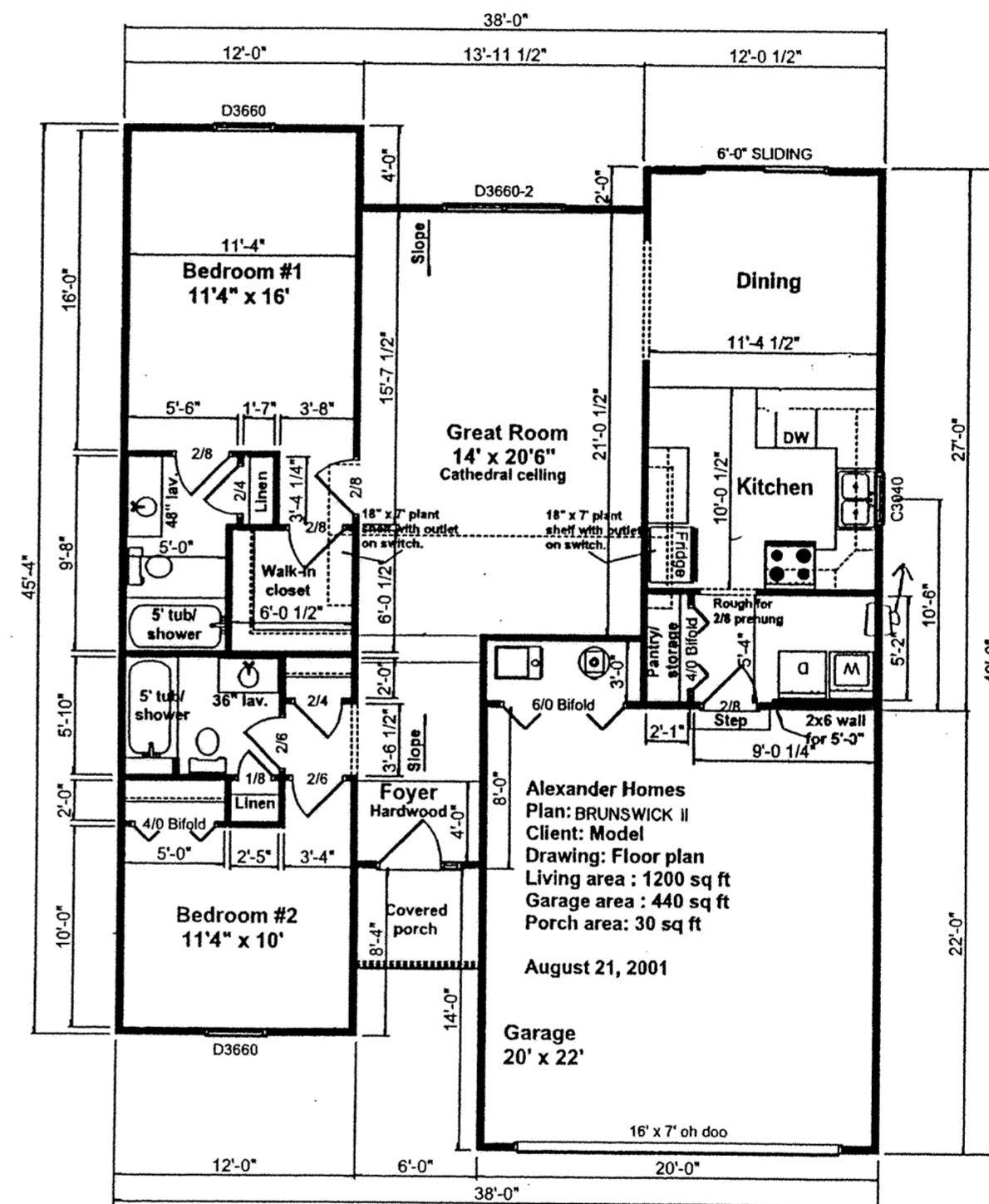
UNIT " C " - FLOOR PLAN AND BUILDING ELEVATION PLAN



Alexander Homes
 Plan:
 Client: Model
 Drawing: Left & Right
 August 21, 2001



Alexander Homes
 Plan:
 Client: Model
 Drawing: Front & Rear
 August 21, 2001



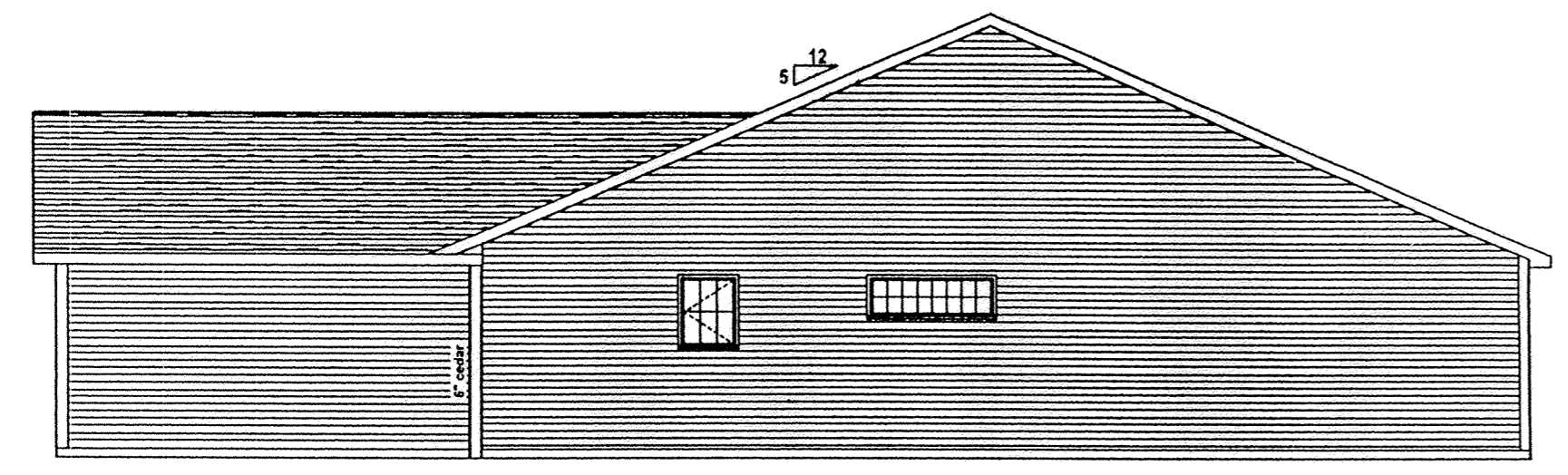
Alexander Homes
 Plan: BRUNSWICK II
 Client: Model
 Drawing: Floor plan
 Living area : 1200 sq ft
 Garage area : 440 sq ft
 Porch area : 30 sq ft
 August 21, 2001

SHELDON ENGINEERING & SURVEYING, INC.

LIMA, OHIO

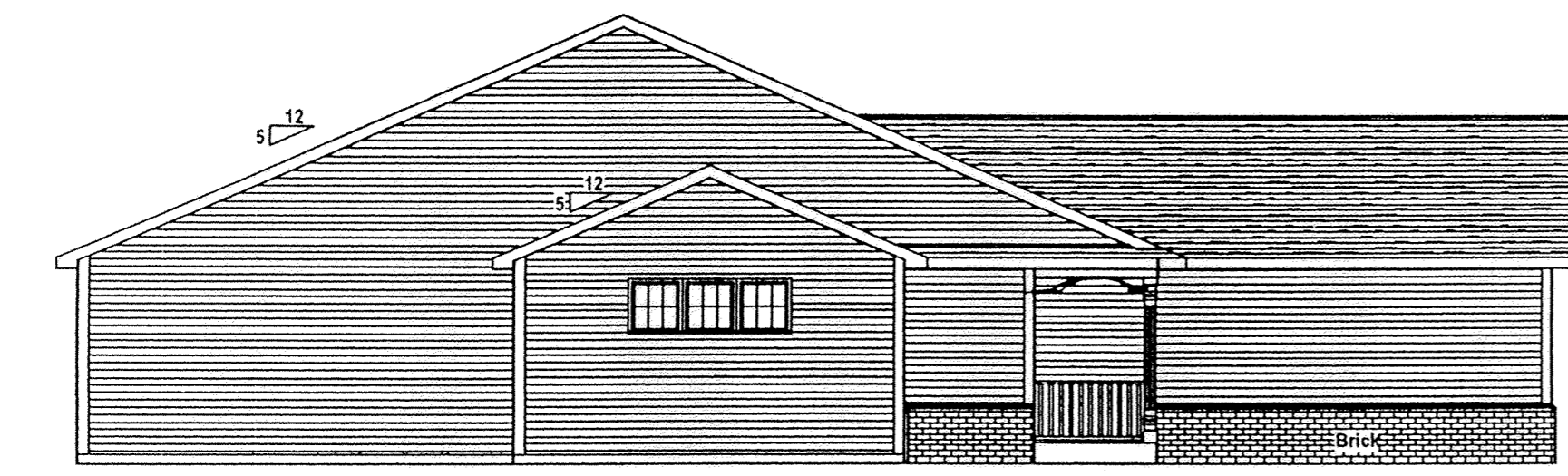
DATE	NO.	22201
REVISION	NO.	
APPROVAL	SCALE	NONE

UNIT "D" - FLOOR PLAN AND BUILDING ELEVATION PLAN



854.18

846.10



854.18

846.10

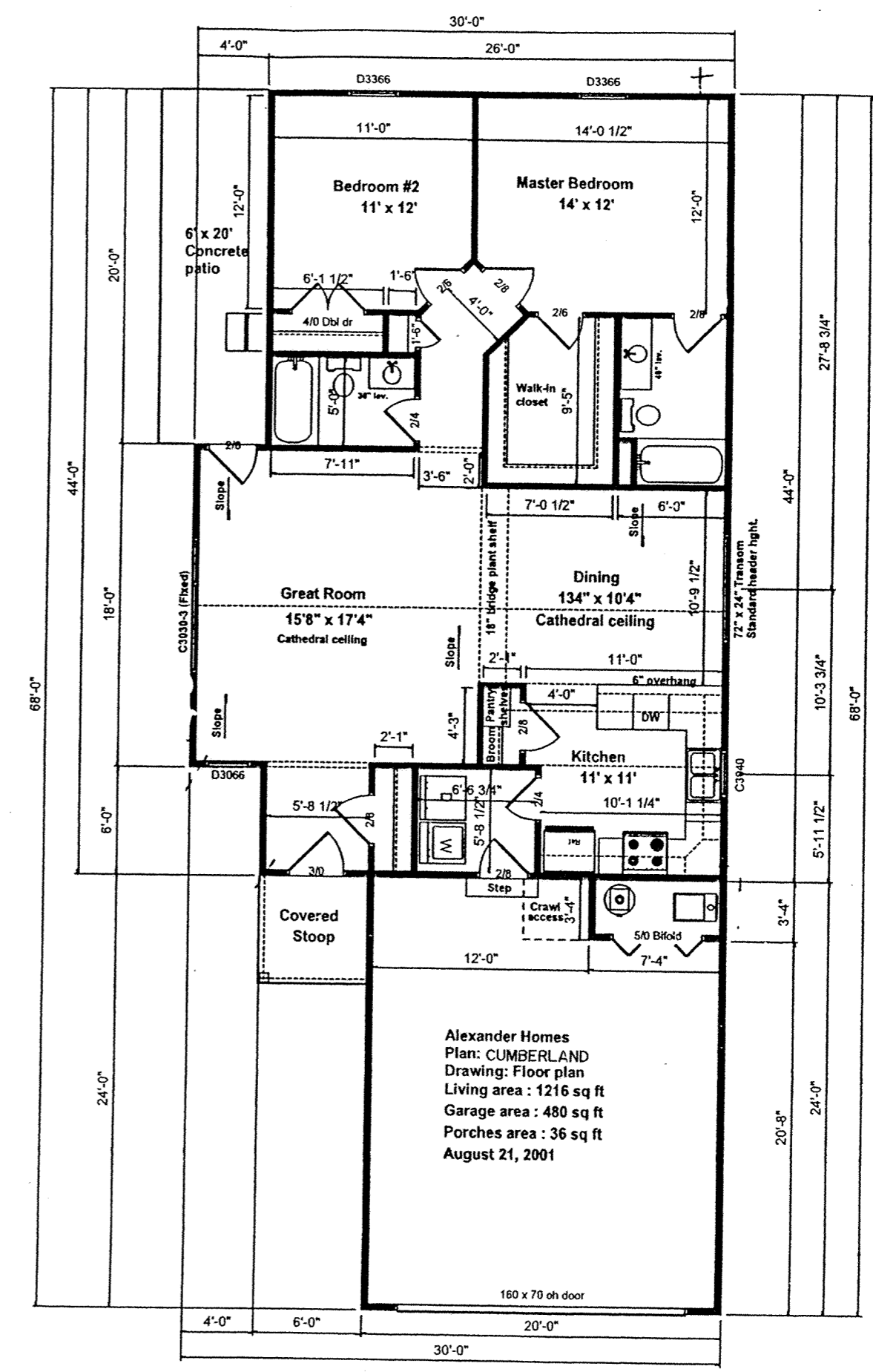


854.18

846.10



Alexander Homes
 Plan:
 Client:
 Drawing: Elevations
 August 21, 2001



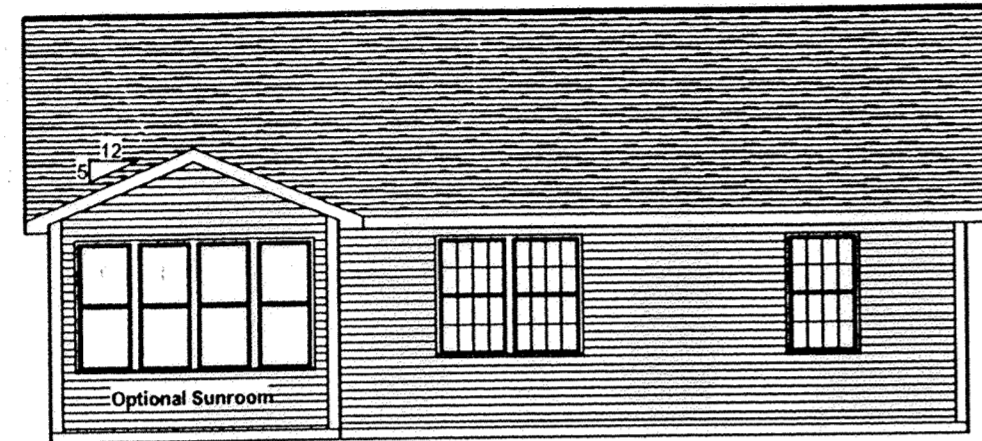
Alexander Homes
 Plan: CUMBERLAND
 Drawing: Floor plan
 Living area : 1216 sq ft
 Garage area : 480 sq ft
 Porches area : 36 sq ft
 August 21, 2001

SHELDON ENGINEERING & SURVEYING, INC.

LIMA, OHIO

DATE	NO.	22201
REVISION	NO.	
APPROVED	DATE	

UNIT " E " - FLOOR PLAN AND BUILDING ELEVATION PLAN



854.54

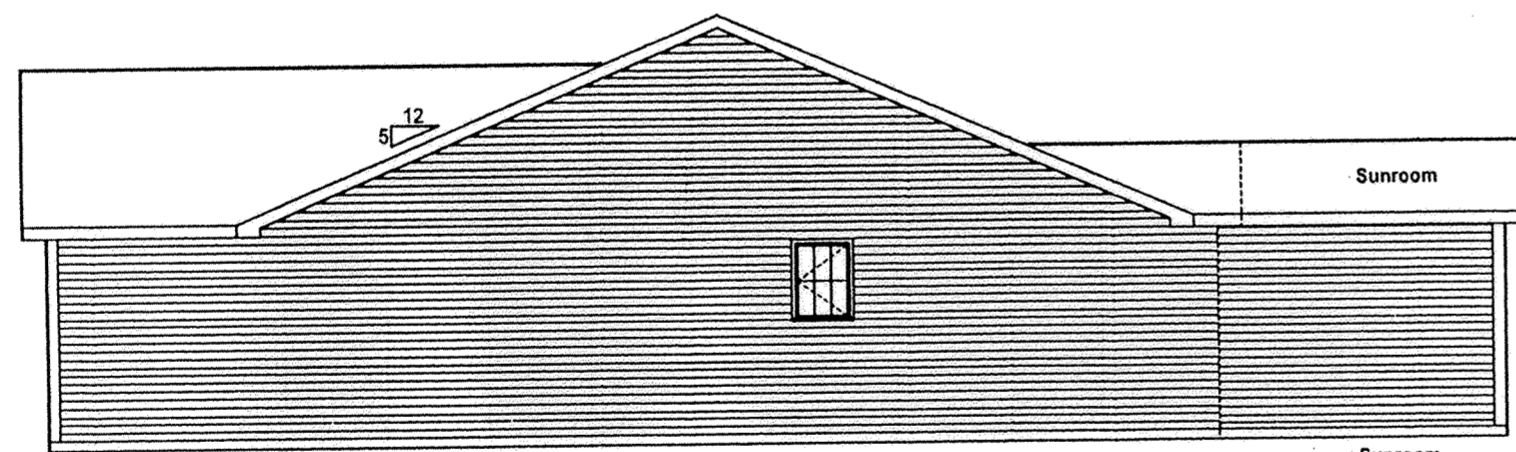
846.46



854.54

846.46

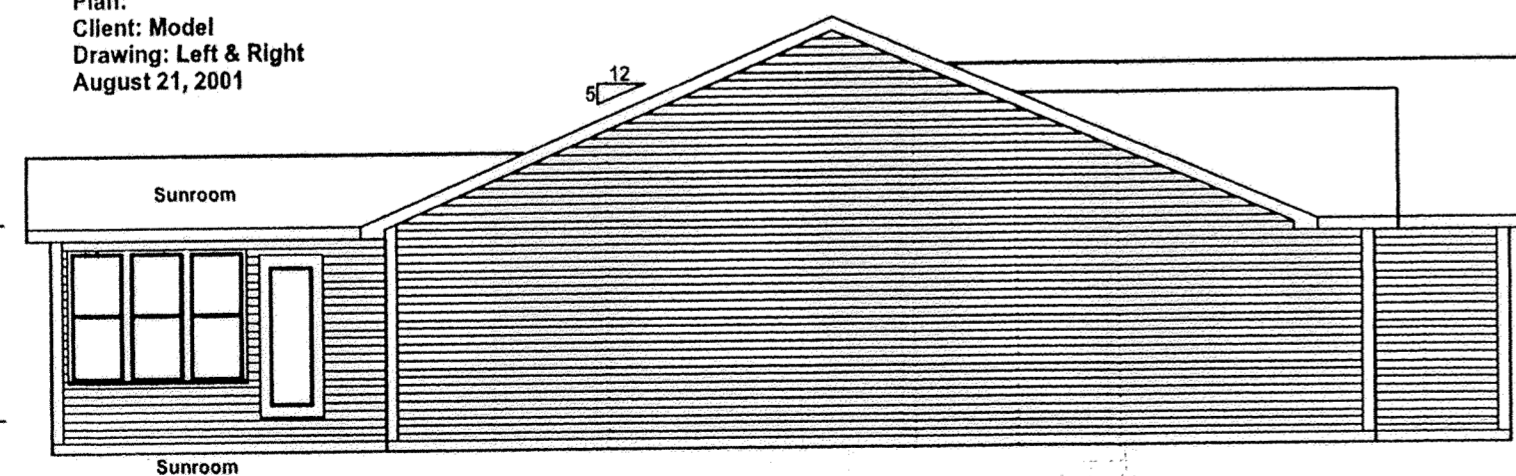
Alexander Homes
Plan:
Client: Model
Drawing: Front & Rear
August 21, 2001



854.54

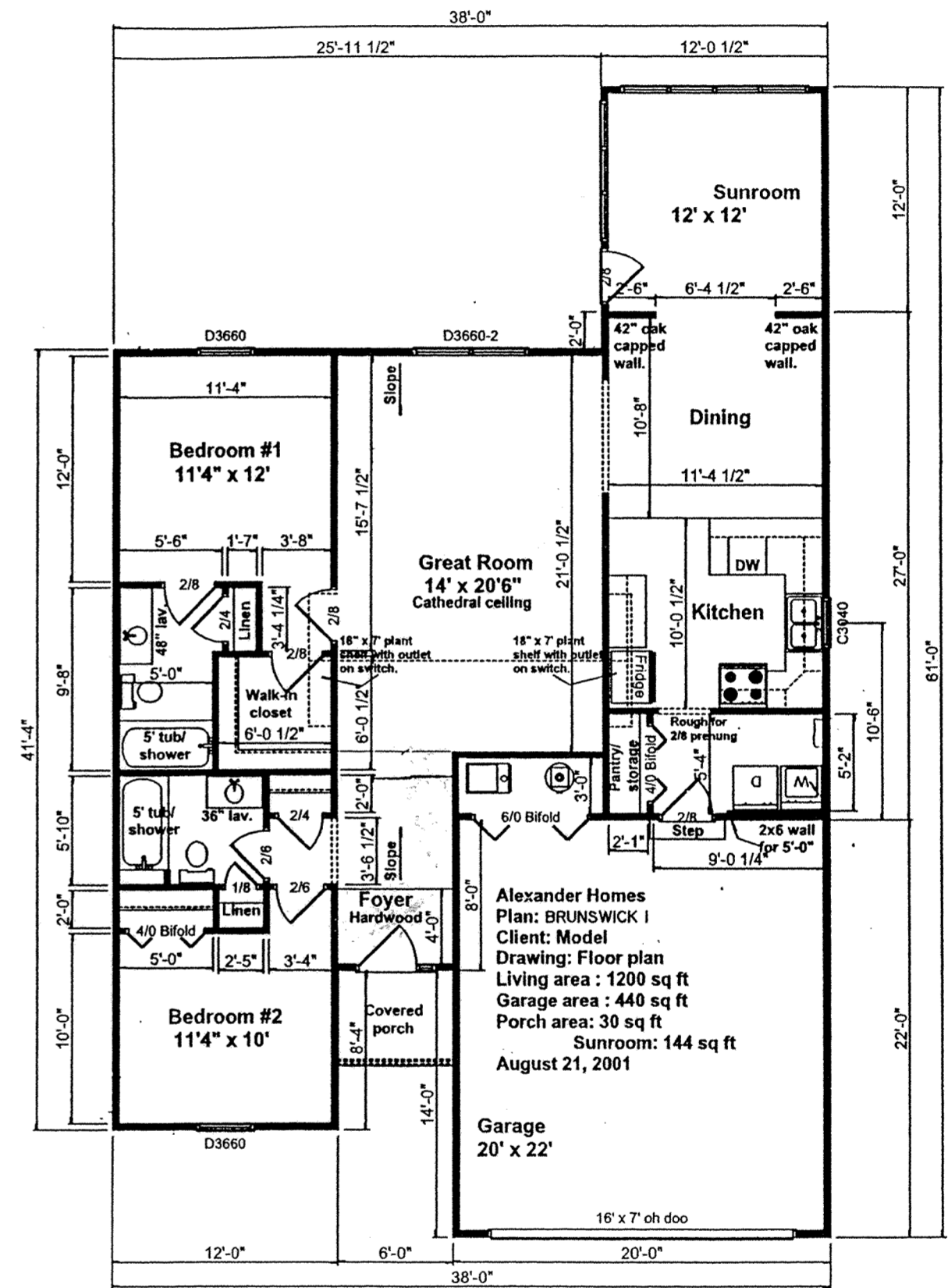
846.46

Alexander Homes
Plan:
Client: Model
Drawing: Left & Right
August 21, 2001



854.54

846.46



Alexander Homes
Plan: BRUNSWICK I
Client: Model
Drawing: Floor plan
Living area : 1200 sq ft
Garage area : 440 sq ft
Porch area : 30 sq ft
Sunroom: 144 sq ft
August 21, 2001

SHELDON ENGINEERING & SURVEYING, INC.

LIMA, OHIO

DATE	BY	FOR	22201
REVISION	SS	NO.	
APPROVED	SS	SCALE	NONE

DEDICATOR'S LAND
VILLA COMMUNITY AT THE OUTER BANKS
CONDONIMIUMS PHASE 1

LOTS NO. 29423, 29424 AND 29425
JEFF CIMINILLO SUBDIVISION
PLAT BOOK 24, PAGE 22
IN THE S.W.1/4 OF SECTION 34
T3S-R6E, AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO

TAX PARCELS #36-3410-02-017.000
#36-3410-02-018.000
#36-3410-02-019.000
BBA BUILDERS, INC.
D.V.886, Pg.859

DEDICATOR'S LAND
VILLA COMMUNITY AT THE OUTER BANKS
PHASE 1
0.784 ACRES

REVIEWED BY:
M. Hulse
ALLEN COUNTY ENGINEER'S
DATE 6/13/02

Being Lots 29423, 29424 and 29425 in the Jeff Ciminillo Subdivision (Plat Book 24, Page 22) situated in the Southwest Quarter of Section 34, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and being more particularly described as follows:

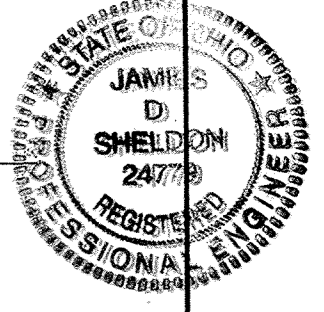
BEGINNING FOR THE SAME at a 5/8-inch iron pin found on the west line of the Jeff Ciminillo Subdivision marking the southwest corner of Lot 29423 in said Subdivision -
Thence North 00°-09'-37" East (bearing base) on and along the west line of Lots 29423, 29424 and 29425 in said Subdivision for a distance of 240.00 feet to a 5/8-inch iron pin found marking the northwest corner of Lot 29425, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
Thence South 89°-41'-59" East on and along the north line of said Lot for a distance of 143.34 feet to a 5/8-inch iron pin set on the west line of Westerly Drive marking the northeast corner of said Lot 29425 -
Thence South 00°-38'-17" West on and along said west line of Westerly Drive and the east line of Lots 29425, 29424 and 29423 for a distance of 240.00 feet to a 5/8-inch iron pin found marking the southeast corner of said Lot 29423, passing at 80.00 feet and at 160.00 feet 5/8-inch iron pins found -
Thence North 89°-41'-59" West on and along the south line of said Lot 29423 for a distance of 141.33 feet to the place of beginning.
Containing in all 34,160 square feet or 0.784 acres of land subject, however, to all legal easements and rights of way.

The foregoing description is based on a field survey performed on December 19, 2001, under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569).

Date: 6 JUN 2002



James D. Sheldon
James D. Sheldon, P.E., P.S.
Registered Surveyor #4569



OWNERS' DEDICATION AND ACKNOWLEDGMENT

THE UNDERSIGNED, BEING THE OWNER OF THE LAND PLATTED HEREIN, DOES HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

BBA BUILDERS, INC.

WITNESS _____ BY: _____
PRESIDENT

ACKNOWLEDGMENT

STATE OF OHIO)
COUNTY OF ALLEN) SS:

BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 2002, PERSONALLY CAME THE SAID _____ TO ME KNOWN, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE HIS VOLUNTARY ACT AND DEED.

NOTARY PUBLIC IN AND FOR THE STATE OF OHIO

MY COMMISSION EXPIRES _____

SHEET 6 OF 6

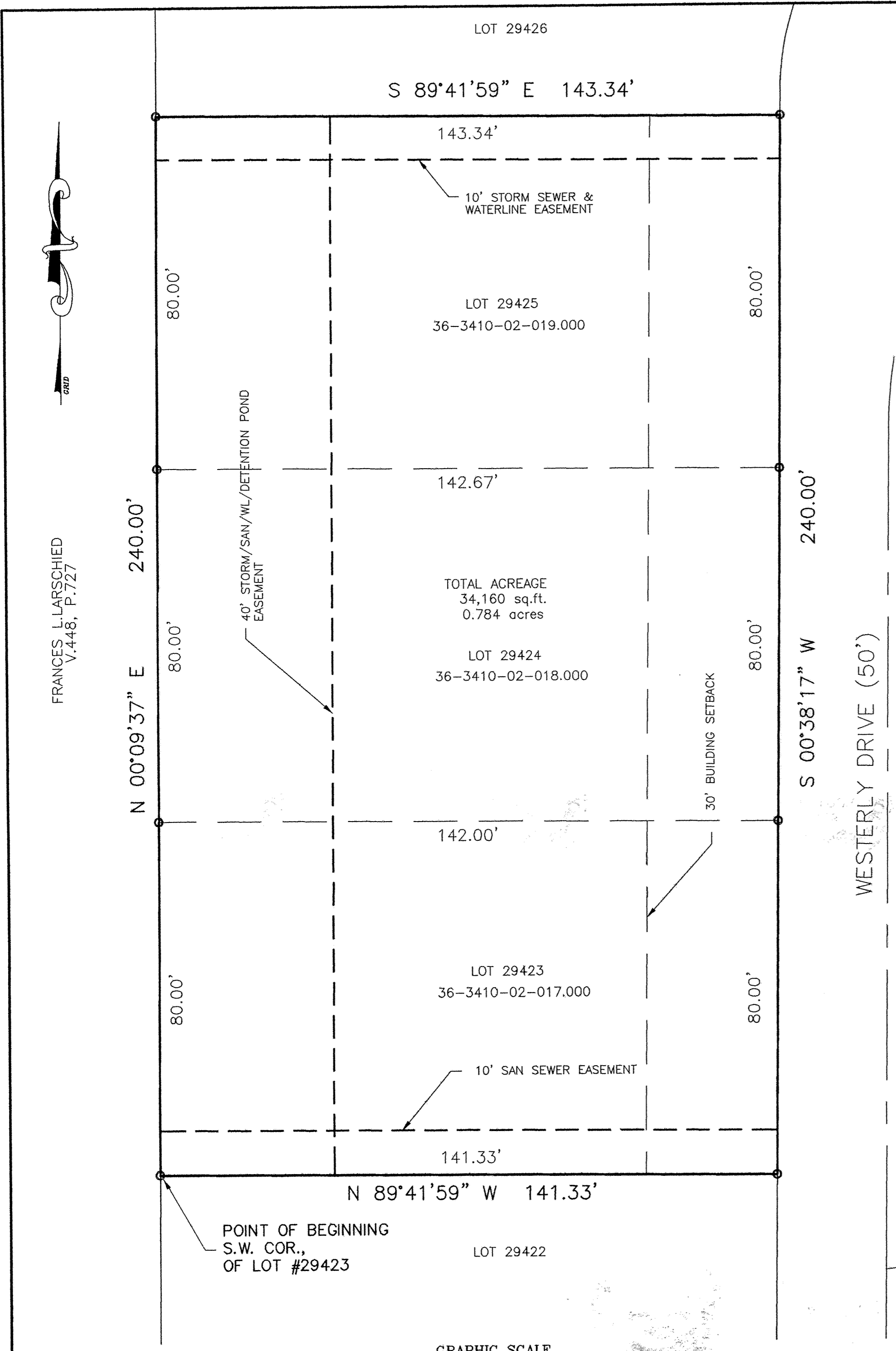
SHELDON ENGINEERING & SURVEYING, INC.



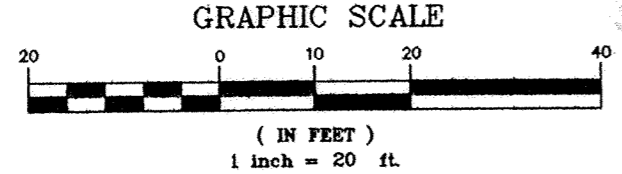
LIMA, OHIO

NO.	DATE	DESCRIPTION	BY
1	11/26/01	DRAFT	RB
2	12/28/01	REVISED PL	RB

PREPARED BY:
SHELDON ENGINEERING & SURVEYING, INC.
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E., P.S.



FRANCES L. LARSCHIED
V.448, P.727



LEGEND

○ 5/8" X 30" IRON PIN FOUND AND CAPPED WITH A MARKER STAMPED 'SHELDON E & S / LIMA, OH'

THIS PLAT REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON DECEMBER 19, 2001. REFERENCES: DEED RECORDS, TAX MAP & OFFICE RECORDS.

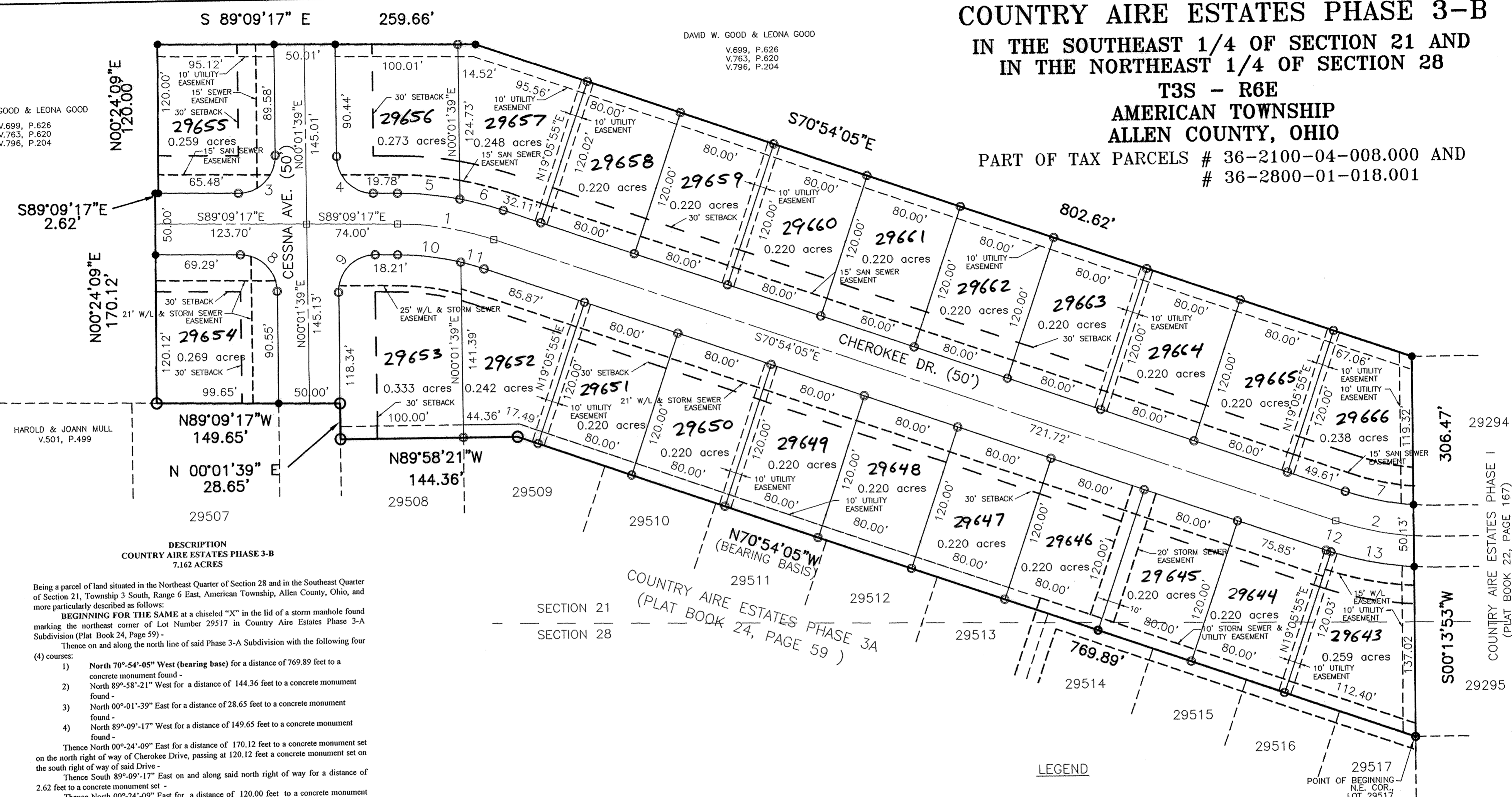
NO. DATE DESCRIPTION BY APPROVED

COUNTRY AIRE ESTATES PHASE 3-B
IN THE SOUTHEAST 1/4 OF SECTION 21 AND
IN THE NORTHEAST 1/4 OF SECTION 28
T3S - R6E
AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO

PART OF TAX PARCELS # 36-2100-04-008.000 AND
 # 36-2800-01-018.001

DAVID W. GOOD & LEONA GOOD
 V.699, P.626
 V.763, P.620
 V.796, P.204

DAVID W. GOOD & LEONA GOOD
 V.699, P.626
 V.763, P.620
 V.796, P.204



DESCRIPTION
COUNTRY AIRE ESTATES PHASE 3-B
7.162 ACRES

Being a parcel of land situated in the Northeast Quarter of Section 28 and in the Southeast Quarter of Section 21, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and more particularly described as follows:
BEGINNING FOR THE SAME at a chiseled "X" in the lid of a storm manhole found marking the northeast corner of Lot Number 29517 in Country Aire Estates Phase 3-A Subdivision (Plat Book 24, Page 59) -
 Thence on and along the north line of said Phase 3-A Subdivision with the following four (4) courses:

- 1) North 70°-54'-05" West (bearing base) for a distance of 769.89 feet to a concrete monument found -
- 2) North 89°-58'-21" West for a distance of 144.36 feet to a concrete monument found -
- 3) North 00°-01'-39" East for a distance of 28.65 feet to a concrete monument found -
- 4) North 89°-09'-17" West for a distance of 149.65 feet to a concrete monument found -

Thence North 00°-24'-09" East for a distance of 170.12 feet to a concrete monument set on the north right of way of Cherokee Drive, passing at 120.12 feet a concrete monument set on the south right of way of said Drive -

Thence South 89°-09'-17" East on and along said north right of way for a distance of 2.62 feet to a concrete monument set -

Thence North 00°-24'-09" East for a distance of 120.00 feet to a concrete monument set -

Thence South 89°-09'-17" East for a distance of 259.66 feet to a concrete monument set, passing at 95.12 feet and at 145.13 feet concrete monuments set on the west and east rights of way of Cessna Avenue -

Thence South 70°-54'-05" East for a distance of 802.62 feet to a concrete monument set on the west line of Country Aire Estates Phase 1 Subdivision (Plat Book 22, Page 167) marking the northwest corner of Lot 29294 in said Subdivision -

Thence South 00°-13'-53" West on and along the west line of said Phase 1 Subdivision for a distance of 306.47 feet to the **place of beginning**, passing at 119.32 feet and at 169.45 feet concrete monuments set on the north and south rights of way of Cherokee Drive.

The foregoing description is based on a current field survey performed under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569) and the tract as described contains in all 7.162 acres of land, of which 6.870 acres are in Section 21 and 0.292 acres are in Section 28.

NOTE: All concrete monuments found or set contain an imbedded 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.
 James D. Sheldon, P.E., P.S.
 Registered Surveyor #4569
 May 23, 2001



ZONING : R-1 RESIDENTIAL DISTRICT

NOTE: ALL UTILITY EASEMENTS ALONG INTERIOR LOT LINES ARE CENTERED AROUND SAID LOT LINES WITH AN EQUAL SPLIT ON EACH SIDE OF THE LOT LINES, UNLESS OTHERWISE SHOWN.

DEVELOPER : DAVE AND RICK GOOD
 4075 NORTH GRUBB ROAD
 DELPHOS, OHIO 45833
 TEL 419-339-3099

PREPARED BY:
 SHELDON ENGINEERING & SURVEYING
 1280 N. COLE ST. LIMA, OHIO 45801
 TELE: (419) 228-4421
 JAMES D. SHELDON, P.E. & P.S.

AREA IN RIGHT OF WAY = 1.515 Ac.
 AREA IN RESIDENTIAL LOT = 5.647 Ac.
 TOTAL AREA = 7.162 Ac.

GRAPHIC SCALE



(IN FEET)
 1 inch = 60 ft.

LEGEND

- - BRONZE SURVEYORS MARKER (UNLESS OTHERWISE STATED)
- - CONCRETE MONUMENT W/ 5/8" IRON PIN W/ " SHELDON E & S LIMA, OH " CAP SET
- - CONCRETE MONUMENT W/ 5/8" IRON PIN W/ " SHELDON E & S LIMA, OH " CAP FOUND
- - 5/8" IRON PIN W/ CAP MARKED " SHELDON E & S LIMA, OH " SET
- ⊗ - "X" IN STORM MANHOLE FOUND

CURVE TABLE

STREET	CURVE	LENGTH	RADIUS	TANGENT	BEARING	CHORD	DELTA
CHEROKEE DR.	1	79.65	250.00	40.16	N 80°01'41" W	79.31	18°15'12"
	2	64.86	250.00	32.62	S 78°20'03" E	64.68	14°51'56"
	3	47.55	30.00	30.43	N 45°26'11" E	42.73	90°49'04"
	4	46.70	30.00	29.57	S 44°33'49" E	42.12	89°10'56"
	5	51.01	275.00	25.58	N 83°50'25" W	50.94	10°37'44"
	6	36.60	275.00	18.32	N 74°42'49" W	36.57	07°37'28"
	7	56.63	225.00	28.46	S 78°06'41" E	56.48	14°25'13"
	8	46.70	30.00	29.57	N 44°33'49" W	42.12	89°10'56"
	9	47.55	30.00	30.43	S 45°26'11" W	42.73	90°49'04"
	10	51.91	225.00	26.07	N 82°32'42" W	51.80	13°13'10"
	11	19.77	225.00	9.89	N 73°25'06" W	19.76	05°02'02"
	12	4.15	275.00	2.07	S 71°20'01" E	4.15	00°51'53"
	13	68.95	275.00	34.66	S 78°56'55" E	68.77	14°21'55"

DRAINAGE MAINTENANCE ASSESSMENT

ALL FEE HOLDERS AND ALL RECEIVING TITLE TO THE FEE THROUGH THEM ARE SUBJECT TO PAYMENT OF DRAINAGE MAINTENANCE FEES ASSESSED OR TO BE ASSESSED BY THE COUNTY PURSUANT TO OHIO REVISED CODE SECTIONS 6131 AND 6137. A SPECIFIC AND DISTINCT DITCH MAINTENANCE FUND SHALL BE CREATED AS PER THE REFERENCED SECTIONS OF THE OHIO REVISED CODE FOR THIS PROJECT.

OWNERS' DEDICATION AND ACKNOWLEDGMENT

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LAND PLATTED HEREIN, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT, AND DEDICATE THE STREETS AS SHOWN THEREON, COMPRISING A TOTAL OF 1.515 ACRES, TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, STORM SEWER, OPEN DITCH, SANITARY SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

THIS PLAT IS SUBJECT TO THE COVENANTS AND RESTRICTIONS AS SET FORTH ON SHEET 4 HEREOF.

John Baur
WITNESS
Edin J. Good
WITNESS

David W. Good
DAVID W. GOOD
Leona Good
LEONA GOOD

NOTARY PUBLIC

STATE OF OHIO
ALLEN COUNTY ss:

BE IT REMEMBERED THAT ON THIS 13th DAY OF June, 2002, PERSONALLY CAME THE SAID DAVID W. GOOD AND LEONA GOOD, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING STATEMENT TO BE THEIR VOLUNTARY ACT AND DEED.

Shirley Shelda Davis
NOTARY PUBLIC IN AND FOR ALLEN COUNTY, OHIO

MY COMMISSION EXPIRES: 9/19/06



APPROVAL BY THE REGIONAL PLANNING COMMISSION

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING COMMISSION ON June 11, 2002. THIS APPROVAL BECOMES VOID UNLESS THIS PLAT IS FILED FOR RECORDING WITHIN NINETY (90) DAYS OF THE DATE OF THIS APPROVAL.

12 June 2002
DATE

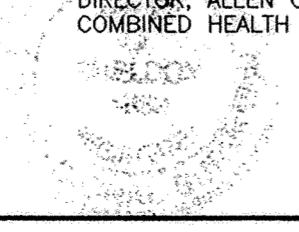
John M. Nguyen
DIRECTOR OF THE LIMA-ALLEN COUNTY
REGIONAL PLANNING COMMISSION

ALLEN COUNTY COMBINED HEALTH DISTRICT

I HEREBY CERTIFY THAT THIS PLAT MEETS THE REQUIREMENTS OF THE ALLEN COUNTY COMBINED HEALTH DISTRICT.

June 13, 2002
DATE

Bill Kelly
DIRECTOR, ALLEN COUNTY
COMBINED HEALTH DISTRICT



COUNTY AUDITOR

I HEREBY CERTIFY THAT THE LAND DESCRIBED BY THIS PLAT WAS FILED FOR TRANSFER ON June 13th, 2002. FEE: \$ 12.00.

H. Dean French
ALLEN COUNTY AUDITOR by SS

200212826
COUNTY RECORDER

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORDING ON June 13, 2002 AND THAT IT WAS RECORDED ON June 13, 2002 IN VOL. 24, PAGE 185, PLAT RECORDS OF ALLEN COUNTY, OHIO, FEE: \$ 82.80. time 2:51 PM

Edward P. Kubi
ALLEN COUNTY RECORDER MH

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TRUE AND COMPLETE SURVEY MADE BY ME OR UNDER MY SUPERVISION IN MARCH, 2001 AND THAT ALL MARKERS ARE CORRECTLY SHOWN AS TO MATERIAL AND LOCATION AND ARE OR WILL BE IN PLACE WITHIN SIX (6) MONTHS FROM THE DATE OF RECORDING.

11 June 2002
DATE

James D. Sheldon
JAMES D. SHELDON, P.E., P.S.
OHIO REGISTERED SURVEYOR #4569

COUNTY ENGINEER'S CERTIFICATION

HAVING CHECKED THE CONSTRUCTION OF THE STREETS IN THE SUBDIVISION, I FIND THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH ON THE PLANS AND REGULATIONS THEREOF, AND THAT THEY ARE IN GOOD REPAIR AND THIS ENDORSEMENT SHALL CONSTITUTE ACCEPTANCE OF THE STREETS FOR PUBLIC USE.

IF THE STREETS HAVE NOT BEEN INSTALLED, I AM IN AGREEMENT WITH THE PERFORMANCE BOND TO ENSURE THE COMPLETION OF CONSTRUCTION WHICH HAS BEEN FILED WITH AND APPROVED BY THE PLANNING COMMISSION.

6/13/02
DATE

Wayne C. Gerdeman
COUNTY ENGINEER MLH

**PLAT OF A SURVEY
OF
DEDICATORS' LAND
COUNTRY AIRE ESTATES PHASE 3-B
IN THE S.W 1/4 & S.E. 1/4 OF SECTION 21
AND
IN THE N.E. 1/4 OF SECTION 28
ALSO TAX LOTS 120 THROUGH 127
FREYER'S SIXTH ADDITION
T3S - R6E
AMERICAN TOWNSHIP
ALLEN COUNTY, OHIO
TAX PARCELS
36-2100-04-008.000, 36-2100-03-006.000,
36-2802-01-014.000 THRU 36-2802-01-021.000
AND PART OF TAX PARCEL 36-2800-01-018.001**

**DEDICATORS' LAND
COUNTRY AIRE ESTATES PHASE 3-B
157.442 ACRES**

Being Tax Lots Number 120, 121, 122, 123, 124, 125, 126, and 127 in Freyer's Sixth Addition (Plat Book 7, Page 124) and a Parcel of Land situated in the Southwest and Southeast Quarters of Section 21 and in the Northeast Quarter of Section 28, Township 3 South, Range 6 East, American Township, Allen County, Ohio, and more particularly described as follows:

BEGINNING FOR THE SAME at a chiseled "X" in the lid of a storm manhole found marking the northeast corner of Lot Number 29517 in Country Aire Estates Phase 3-A Subdivision (Plat Book 24, Page 59), thence with the following thirty-two (32) courses:

- L1. North 70°-54'-05" West (bearing basis) for a distance of 769.89 feet to a concrete monument found -
- L2. North 89°-58'-21" West for a distance of 144.36 feet to a concrete monument found -
- L3. North 00°-01'-39" East for a distance of 28.65 feet to a concrete monument found -
- L4. North 89°-09'-17" West for a distance of 641.55 feet to a 5/8-inch iron pin found -
- L5. South 00°-01'-39" West for a distance of 184.65 feet to a 5/8-inch iron pin found -
- L6. North 89°-09'-17" West for a distance of 458.02 feet to a 5/8-inch iron pin found at the northeast corner of Tax Lot 120 -
- L7. South 00°-19'-24" West on and along the east line of said Tax Lot for a distance of 266.58 feet to a 5/8-inch iron pin found on the north right of way of Freyer Road -
- L8. North 89°-36'-32" West on and along said north right of way and the south line of Tax Lots 120 through 127 for a distance of 399.98 feet to an uncapped 5/8-inch iron pin found at the southwest corner of Tax Lot 127 -
- L9. North 00°-19'-24" East on and along the west line of Tax Lot Number 127 for a distance of 269.75 feet to an uncapped 5/8-inch iron pin found at the northwest corner of said Tax Lot -
- L10. North 89°-09'-17" West on and along the north line of Freyer's Sixth Addition and of Section 28 for a distance of 3.34 feet to a railroad rail post found -
- L11. North 00°-24'-09" East for a distance of 1429.12 feet to a railroad spike found in Section 21 -
- L12. South 88°-07'-00" West for a distance of 748.96 feet to a railroad spike found -
- L13. North 01°-52'-56" West for a distance of 65.01 feet to a 5/8-inch iron pin found -
- L14. South 88°-07'-50" West for a distance of 225.67 feet to a 5/8-inch iron pin found -
- L15. North 00°-00'-04" West for a distance of 949.07 feet to a 5/8-inch iron pin found -
- L16. South 88°-55'-43" East for a distance of 175.00 feet to a 5/8-inch iron pin found -
- L17. North 00°-00'-04" West for a distance of 250.00 feet to a railroad spike found on the centerline of Neely Road -
- L18. South 88°-55'-43" East on and along said centerline for a distance of 808.16 feet to a PK nail found -
- L19. South 00°-26'-50" West for a distance of 215.00 feet to a 5/8-inch iron pin found -
- L20. South 88°-55'-35" East for a distance of 1010.04 feet to a 1/2-inch iron pipe found -
- L21. North 00°-34'-25" East for a distance of 215.04 feet to a railroad spike found on the centerline of Neely Road -
- L22. South 88°-55'-43" East on and along said centerline for a distance of 114.41 feet to a railroad spike found -
- L23. South 00°-34'-09" West for a distance of 215.01 feet to a 5/8-inch iron pin found -
- L24. South 88°-55'-22" East for a distance of 202.00 feet to a 1/2-inch iron pipe found -
- L25. South 00°-32'-19" West for a distance of 466.20 feet to a 1/2-inch iron pipe found -
- L26. South 88°-42'-49" East for a distance of 1322.53 feet to an 8-inch cast iron post found -
- L27. South 00°-13'-53" West for a distance of 622.41 feet to an 8-inch cast iron post found -
- L28. South 00°-13'-10" West for a distance of 1127.47 feet to a concrete monument found at the northeast corner of Country Aire Estates Phase 1 Subdivision -
- L29. Thence on and along the line of said Subdivision with the following four (4) courses:
North 89°-46'-07" West for a distance of 180.59 feet to a concrete monument found -
- L30. North 00°-13'-53" East for a distance of 30.00 feet to a concrete monument found -
- L31. North 89°-46'-07" West for a distance of 95.91 feet to a concrete monument found -
- L32. South 00°-13'-53" West for a distance of 306.47 feet to the place of beginning.

The foregoing description is based on field surveys performed under the supervision of Ohio Registered Professional Surveyor James D. Sheldon (#4569) and the tract as described contains in all 157.442 acres of land, of which 154.688 acres are in Section 21; 0.292 acres are in Section 28; and 2.462 acres are in Freyer's Sixth Addition, subject, however, to all legal easements and rights of way.

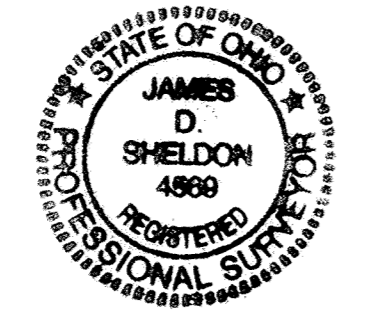
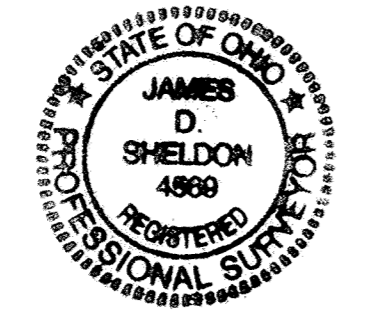
NOTES: 1. All concrete corner monuments found contain an imbedded 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.
2. All capped iron pins found are 5/8" x 30" rebar with yellow "Sheldon E&S Lima, OH" cap.

May 23, 2001

James D. Sheldon
James D. Sheldon, P.E., P.S.
Registered Surveyor #4569



M. How
6/13/02



FRANKLIN E. & DOLORES N. SPIELES
V.819, P.435

DREW F. & REBECCA C. SPIELES
V.819, P.438

AMERICAN CHRISTIAN TV., INC.
V.689, P.118

AMERICAN CHRISTIAN TV., INC.
V.635, P.124

MICHAEL LEE HEATWOLE
V.703, P.84

MICHAEL W. WIENKEN
V.708, P.709

NORMAN J. & JOANN MANTOSKY
V.772, P.732

TIMOTHY W. PURDY & LORI E. BELL
V.726, P.16

TIMOTHY W. PURDY & LORI E. BELL
V.662, P.781

DANIEL J. & PATRICIA J. HALVORS
V.778, P.71

JAMES C. & JANE M. SHELLBARGER
V.621, P.170

MARKET K. & TAMARA E. MANNING
V.586, P.279

GARRY L. & VICKY L. TABLER
V.586, P.29

VERNON C. SR & LINDA L. LEUGERS
V.586, P.100

TERRY L. & KATHLEEN K. GRAPNER
V.685, P.272

WILLIAM C. & JULIE A. WRIGHT
V.765, P.427

RUSSELL & KATHIE J. LAIRD
V.636, P.458

GARLAND, RAY WILLIAMS SR, ETUX
V.753, P.721

DAVID W. GOOD & LEONA GOOD
VOL. 699, PG. 626
VOL. 763, PG. 620
VOL. 796, PG. 204

JON S. & CRAIG L. TROYER
V.697, P.19

HAROLD & JOANN MULL
V.501, P.499

POINT OF BEGINNING
N.E. CORNER LOT 29517,
PHASE 3-A

COUNTRY AIRE ESTATES PHASE 1
P.B.22, P.167

LINE TABLE		
LINE	LENGTH	BEARING
L1	769.89	N 70°54'05" W
L2	144.36	N 89°58'21" W
L3	28.65	S 00°01'39" W
L4	641.55	N 89°09'17" W
L5	184.65	N 00°01'39" W
L6	458.02	N 89°09'17" W
L7	266.58	S 00°19'24" W
L8	399.98	N 89°36'32" W
L9	269.75	N 00°19'24" E
L10	3.34	N 89°09'17" W
L11	1429.12	N 00°24'09" E
L12	748.96	S 88°07'00" W
L13	65.01	N 01°52'56" W
L14	225.67	S 88°07'50" W
L15	949.07	N 00°00'04" W
L16	175.00	S 88°55'43" E
L17	250.00	N 00°00'04" W
L18	808.16	S 88°55'43" E
L19	215.00	S 00°26'50" W
L20	1010.04	S 88°55'35" E
L21	215.04	N 00°34'25" E
L22	114.41	S 88°55'43" E
L23	215.01	S 00°34'09" W
L24	202.00	S 88°55'22" E
L25	466.20	S 00°32'19" W
L26	1322.53	S 88°42'49" E
L27	622.41	S 00°13'53" W
L28	1127.47	S 00°13'10" W
L29	180.59	N 89°46'07" W
L30	30.00	N 00°13'53" E
L31	95.91	N 89°46'07" W
L32	306.47	S 00°13'53" W

157.442 ACRES
(0.318 ACRES IN R/W)

154.688 ACRES IN SEC. 21
0.292 ACRES IN SECTION 28
2.462 ACRES IN FREYER'S SIXTH ADDITION

ZONING: R1 RESIDENTIAL DISTRICT

PREPARED BY:
SHELDON ENGINEERING & SURVEYING
1280 N. COLE ST. LIMA, OHIO 45801
TELE: (419) 228-4421
JAMES D. SHELDON, P.E. & P.S.

JOB #12012PS3B.DWG

LEGEND	
▲	- RAILROAD SPIKE FOUND
●	- PK NAIL SET
●	- PK NAIL FOUND
○	- 5/8" IRON PIN W/ CAP MARKED "SHELDON E & S LIMA, OH" SET
□	- MONUMENT BOX FOUND
●	- "X" IN STORM MANHOLE FOUND
○	- 5/8" IRON PIN FOUND (NO CAP)
●	- 1/2" IRON PIPE FOUND
○	- 8" CAST IRON POST FOUND
×	- RAILROAD RAIL POST FOUND
○	- CONCRETE MONUMENT W/ 5/8" IRON PIN W/ "SHELDON E & S LIMA, OH" CAP FOUND

RESTRICTIONS COUNTRY AIRE ESTATES SUBDIVISION PHASE 3B

RESTRICTIONS COUNTRY AIRE ESTATES #3B SUBDIVISION

1. Lots shall be used for residence purposes only and shall not be used for any trade, business or industrial purposes, except for home workshops and home greenhouses incidental to the residential use.
2. No residential one-story dwelling shall be erected, altered, placed or permitted to remain on any lot which shall have a ground floor area above ground of the main structure, exclusive of open porches, verandas, porte cocheres, and garage, of less than 1300 square feet. No residential two-story or bi-level dwelling shall be erected, altered, placed or permitted to remain on any lot which shall have an area above ground of the main structure, exclusive of open porches, verandas, porte cocheres, and garage, of less than 1600 square feet.
3. No structure other than a single-family dwelling with a two-car minimum garage shall be erected, maintained or permitted to remain on the premises. No old buildings or structures shall be moved onto any of the building plots in said subdivision. No structure of a temporary character, trailer, recreational vehicle or boat, basement, tent, shack, garage or other outbuilding shall be stored or used on any lot at any time as a residence, either temporarily or permanently. The dwelling must be completed within a nine-month period from the start of construction, including installation of lawn.
4. Out buildings, such as storage sheds or barns, home workshops, and greenhouses, shall be no larger than 10' x 16' or no more than 160 square feet and shall conform in style and architecture to the appearance of the residence.
5. No building shall be erected, placed, or altered on any lot in this subdivision until construction plans and specifications and a lot plan showing the location of the structure shall have been approved in writing by the Architectural Committee as to construction materials, harmony of exterior design with the existing structures and as to location with respect to topographic and finish grade elevation.
6. The top of the house foundation shall be three (3) feet higher than the elevation of the top of the curb at the midpoint of the lot on which the house is to be built. Any deviation from this requirement must have the written approval of the Architectural Committee.
7. All driveways shall be constructed of concrete. Any alternate surface must have the prior written approval of the Architectural Committee.
8. Only open-type fences or hedge not to exceed four (4) feet in height above ground level shall be erected or planted on said lots. The fences shall be a minimum of three (3) feet inside the lot line and shall not extend closer to the street than the front of the house. A privacy fence may be used around a pool or patio area. It must be a minimum of ten feet inside the lot line and a maximum of six (6) feet in height.
9. No animals, livestock or poultry shall be kept or maintained on any part of this subdivision, except that ordinary household pets may be kept provided they are not kept,

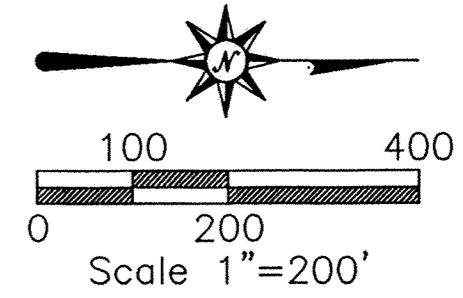
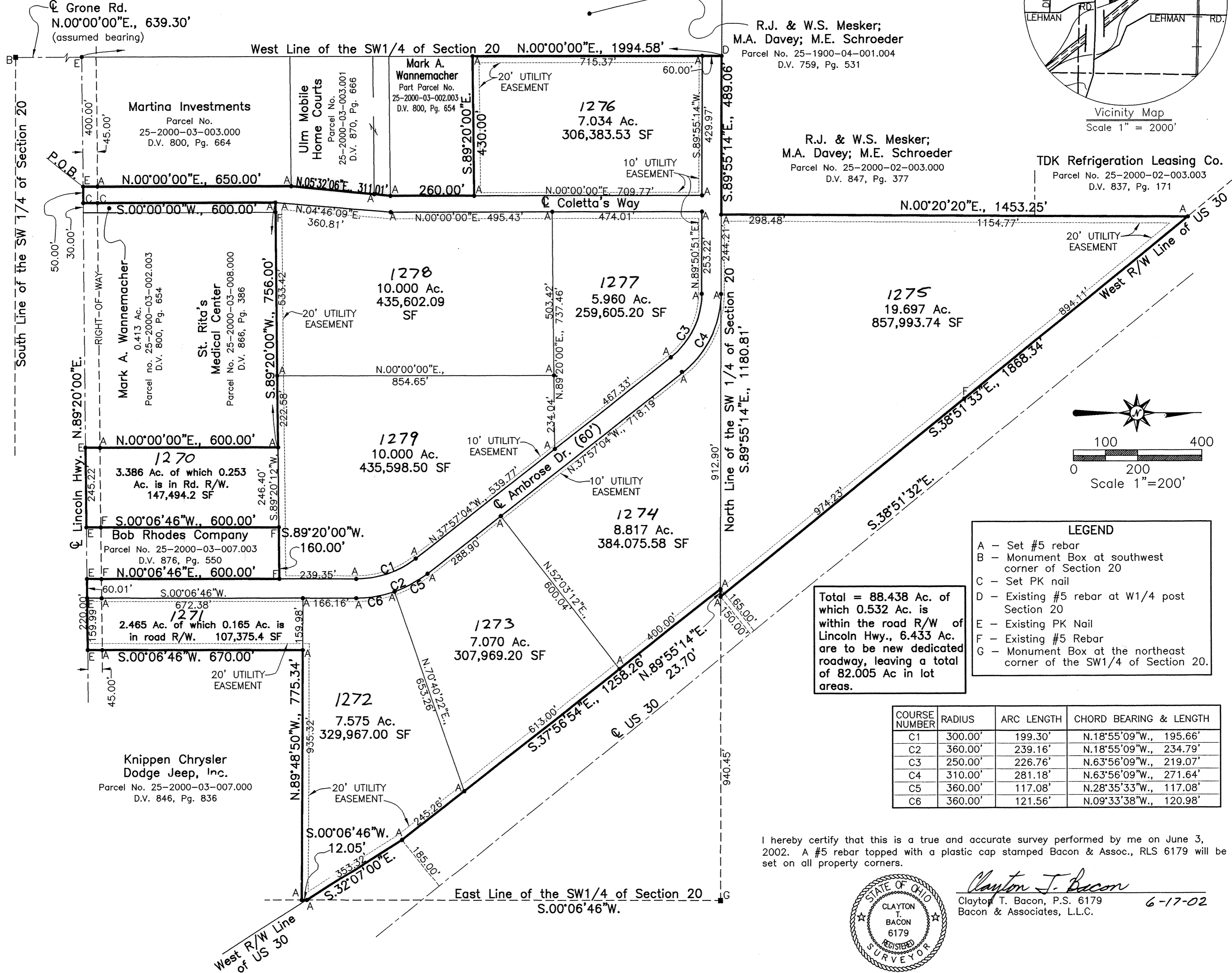
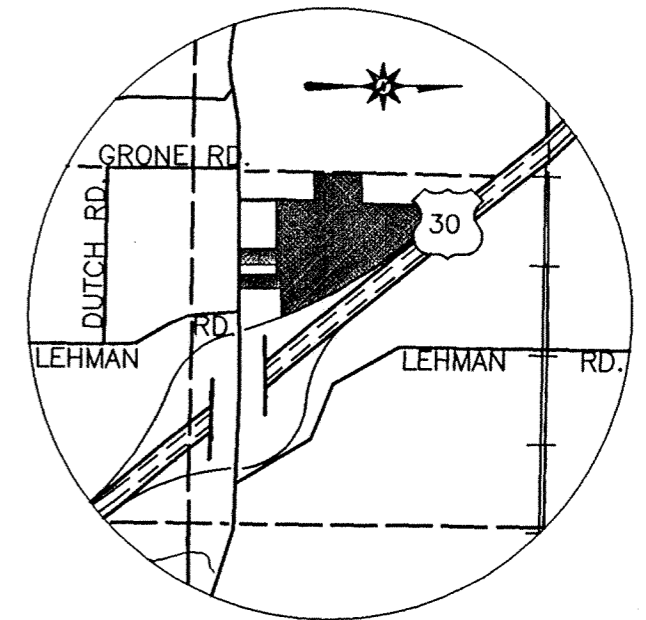
bred or maintained for any commercial purpose and do not constitute an annoyance or nuisance.

10. No nuisance, advertising signs, billboards and/or other advertising devices, except such as pertain to the sale of land upon which said sign is located, shall be permitted on said lots, nor shall said lots be used in any way which may endanger the health or unreasonably distract the quiet of any adjacent lots.
11. No intoxicating beverages or habit-producing drugs shall be manufactured or sold nor shall commercial gambling be permitted in said subdivision.
12. Nothing shall be permitted on said lots which may be or may become an annoyance or nuisance to the neighborhood.
13. Satellite dishes shall be no larger than three (3) feet in diameter and their height shall not exceed the height of the house. No radio or other type towers are permitted.
14. All utility services to homes must be underground.
15. The Architectural Committee for this subdivision shall be composed of Rick Good, John Brunk, and a representative of Gem Builders. Majority vote of the Committee rules. If any member of the Committee chooses to resign or is unable to fulfill his duties, a replacement member will be selected by the remaining members.
16. When approval of the Architectural Committee is required, application shall be made in writing to the Committee by the lot owner(s) requesting the necessary approval. Application shall be deemed to be filed when it has been delivered to a Committee member and receipt obtained indicating proof of delivery. Sufficient information shall be provided to the Committee to enable them to make a proper decision on the matter. The Committee shall either approve or disapprove the application in writing on or before ten (10) days from the date that the application and all necessary information to make a decision is filed with the Committee. The ten (10)-day period may be extended by the Committee for good cause related to the decision-making process for the application.
17. Enforcement of the within conditions or restrictions shall be by proceedings at law in equity against any person or persons violating or attempting to violate the same, either to restrain violation or to recover damages.
18. Invalidation of any of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.
19. These covenants, restrictions, and limitations shall be binding on all parties hereto and on all owners of lots in said subdivision for a period of twenty-five (25) years from the date of recording, after which time such covenants, restrictions, and limitations shall automatically extend for successive periods of ten (10) years each.

###

Wannemacher Commercial Park

Part of the W1/2 of Section 20, City of Delphos, Allen County, Ohio



LEGEND

- A - Set #5 rebar
- B - Monument Box at southwest corner of Section 20
- C - Set PK nail
- D - Existing #5 rebar at W1/4 post Section 20
- E - Existing PK Nail
- F - Existing #5 Rebar
- G - Monument Box at the northeast corner of the SW1/4 of Section 20.

Total = 88.438 Ac. of which 0.532 Ac. is within the road R/W of Lincoln Hwy., 6.433 Ac. are to be new dedicated roadway, leaving a total of 82.005 Ac in lot areas.

COURSE NUMBER	RADIUS	ARC LENGTH	CHORD BEARING & LENGTH
C1	300.00'	199.30'	N.18°55'09"W., 195.66'
C2	360.00'	239.16'	N.18°55'09"W., 234.79'
C3	250.00'	226.76'	N.63°56'09"W., 219.07'
C4	310.00'	281.18'	N.63°56'09"W., 271.64'
C5	360.00'	117.08'	N.28°35'33"W., 117.08'
C6	360.00'	121.56'	N.09°33'38"W., 120.98'

I hereby certify that this is a true and accurate survey performed by me on June 3, 2002. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., RLS 6179 will be set on all property corners.



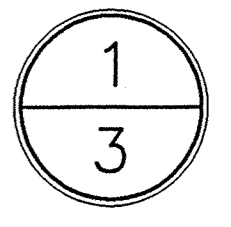
Clayton T. Bacon
 Clayton T. Bacon, P.S. 6179
 Bacon & Associates, L.L.C. 6-17-02

Prepared By
Bacon & Associates, L.L.C.
 750 N. Eastown Rd., Elida, Ohio 45807
 Office: (419) 999-3756 - Fax: (419) 999-2523

Wannemacher Commercial Park
 Part of the W1/2 of Section 20, T2S, R5E
 City of Delphos, Allen County, Ohio

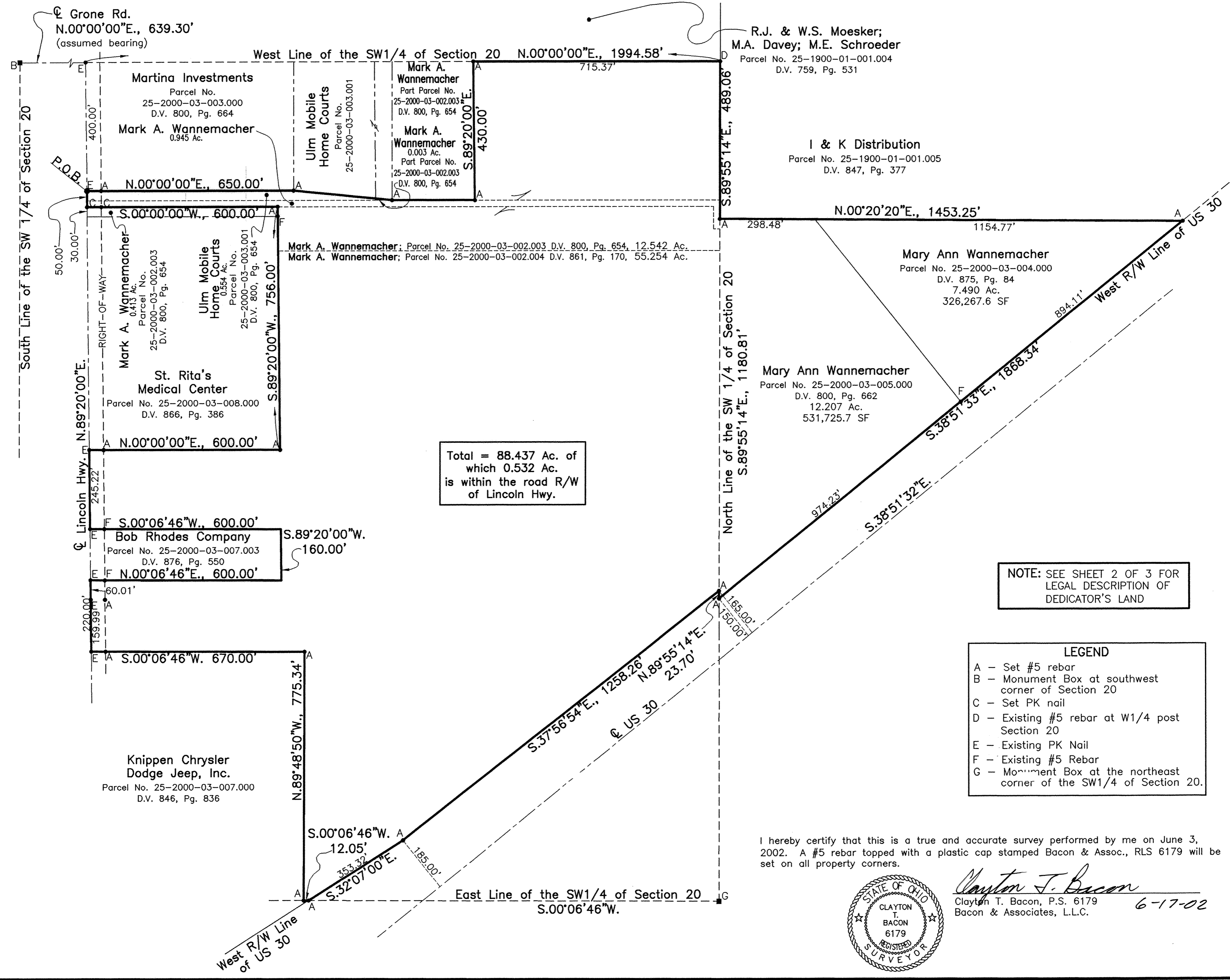
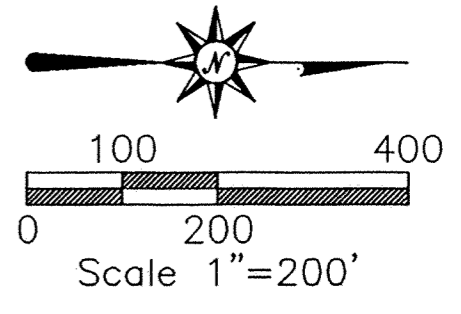
File: 151-02

Drawn: CAT
 Date: 6-7-02



Wannemacher Commercial Park

Survey of Dedicator's Land



NOTE: SEE SHEET 2 OF 3 FOR LEGAL DESCRIPTION OF DEDICATOR'S LAND

LEGEND	
A	Set #5 rebar
B	Monument Box at southwest corner of Section 20
C	Set PK nail
D	Existing #5 rebar at W1/4 post Section 20
E	Existing PK Nail
F	Existing #5 Rebar
G	Monument Box at the northeast corner of the SW1/4 of Section 20.

I hereby certify that this is a true and accurate survey performed by me on June 3, 2002. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., RLS 6179 will be set on all property corners.



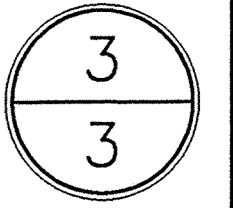
Clayton J. Bacon
Clayton T. Bacon, P.S. 6179
Bacon & Associates, L.L.C. 6-17-02

Prepared By
Bacon & Associates, L.L.C.
750 N. Eastown Rd., Elida, Ohio 45807
Office: (419) 999-3756 - Fax: (419) 999-2523

Wannemacher Commercial Park
Part of the W1/2 of Section 20, T2S, R5E
City of Delphos, Allen County, Ohio

File: 151-02

Drawn: CAT
Date: 6-7-02



Wannemacher Commercial Park

DESCRIPTION

Being a parcel of land in the W1/2 of Section 20, T2S, R5E, City of Delphos, Allen County, Ohio and more particularly described as follows;


Commencing for reference at the monument box at the southwest corner of Section 20, thence N.00°00'00"E. (assumed bearing) on the centerline of Grone Rd. (west line of the SW 1/4 of Section 20), 639.30' to an existing PK nail on the centerline of Lincoln Hwy., thence N.89°20'00"E. on said centerline, 400.00' to an existing PK nail at the POINT OF BEGINNING of the tract of land to be described, thence the following courses;

1. N.00°00'00"E., 650.00' to an existing #5 rebar, passing over a set #5 rebar at 45.00';
2. N.05°32'06"E., 311.01' to a set #5 rebar, passing over a set #5 rebar at 260.06';
3. N.00°00'00"E., 260.00' to a set #5 rebar;
4. S.89°20'00"W., 430.00' to a set #5 rebar on the west line of the SW1/4 of Section 20;
5. N.00°00'00"E. on said west line, 775.37' to an existing #5 rebar at the northwest corner of the SW1/4 of Section 20;
6. S.89°55'14"E. on the north line of the SW1/4, 489.06' to a set #5 rebar;
7. N.00°20'20"E., 1453.25' to a set #5 rebar on the west R/W line of U.S. 30;
8. S.38°51'33"E. on said west R/W line, 1868.34' to a set #5 rebar on the south line of the NW1/4, passing over an existing #5 rebar at 894.11';
9. N.89°55'14"W. on said south line, 23.70' to a set #5 rebar;
10. S.37°56'54"E. on the west R/W line of U.S. 30, 1258.26' to a set #5 rebar;
11. S.32°07'00"E. on said west line 353.32' to a set #5 rebar on the east line of the SW1/4 of Section 20;
12. S.00°06'46"W. on said east line, 12.05' to a set #5 rebar;
13. N.89°48'50"W., 775.34' to a set #5 rebar;
14. S.00°06'46"W., 670.00' to an existing PK nail on the centerline of Lincoln Hwy., passing over a set #5 rebar at 625.00';
15. S.89°20'00"W. on the centerline of Lincoln Hwy., 220.00' to an existing PK nail;
16. N.00°06'46"E., 600.00' to an existing #5 rebar, passing over an existing #5 rebar at 45.00';
17. S.89°20'00"W., 160.00' to an existing #5 rebar;
18. S.00°06'46"W., 600.00' to an existing PK nail, passing over an existing #5 rebar at 555.00' on the north R/W line;
19. S.89°20'00"W. on the centerline of Lincoln Hwy., 245.22' to an existing PK nail;
20. N.00°00'00"E., 600.00' to a set #5 rebar, passing over a set #5 rebar at 45.00';
21. S.89°20'00"W., 756.00' to a set #5 rebar, passing over an existing #5 rebar at 726.00';
22. S.00°00'00"W., 600.00' to a set PK nail on the centerline of Lincoln Hwy., passing over a set #5 rebar at 555.00';
23. S.89°20'00"W. on said centerline, 50.00' to the POINT OF BEGINNING.

The above-described parcel contains 88.437 acres, more or less, subject to all legal highways and easements of record at the time of survey. There are 19.697 acres in NW1/4 of Section 20 and 68.740 acres in the SW1/4 of Section 20.

Being Parcel No. 25-2000-02-004.000, D.V. 875, Page 84 (7.490 Ac.) and No. 25-2000-02-005.000, D.V. 800, Page 662 (12.207 Ac.) and No. 25-2000-03-002.004, D.V. 861, Page 170 (55.254 Ac.) and part of Parcel no. 25-2000-03-002.003, D.V. 800, Page 684 (11.991 Ac.) and part of Parcel No. 25-2000-03-002.001, D.V. 867, Page 111 (0.945 Ac.).

I hereby certify that that this is a true and accurate survey performed by me on June 3rd, 2002. A #5 rebar topped with a plastic cap stamped Bacon & Assoc. RLS 6179 will be set on all property corners.

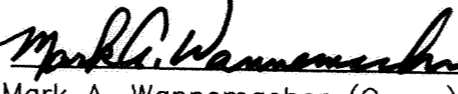
REVIEWED BY

 MICHAEL L. HORVATH, P.S.
 ALLEN COUNTY ENGINEER'S
 DATE: 6/17/02

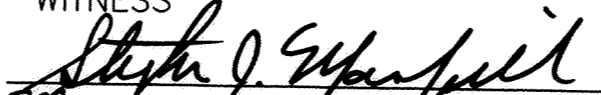
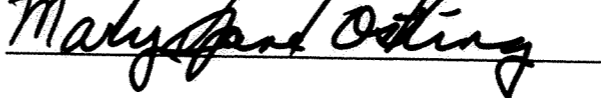
DEDICATION

Mark A. Wannemacher, being the owner of the described premises, hereby voluntarily consents to the execution of said plat and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

WITNESS


 Mark A. Wannemacher (Owner)

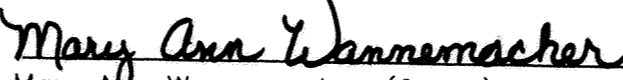


 Notary Public

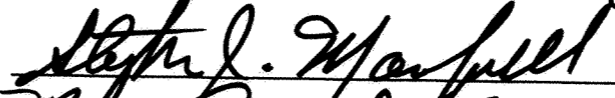
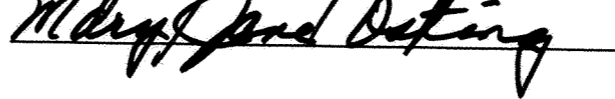
DEDICATION

Mary Ann Wannemacher, being the owner of the described premises, hereby voluntarily consents to the execution of said plat and dedicates the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

WITNESS


 Mary Ann Wannemacher (Owner)



 Notary Public

APPROVAL OF DELPHOS PLANNING COMMISSION

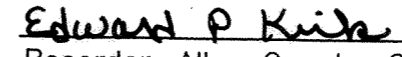
This plat having been approved by the Delphos Planning Commission of the City of Delphos, hereby on behalf of said Commission, approve and accept this plat this 17th day of June, 2002.


 Delphos Planning Commission

200213032

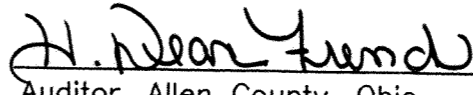
COUNTY RECORDER'S CERTIFICATE

Filed for record this 18th day of June, 2002, at 9:11 AM o'clock in the office of the County Recorder and recorded in Plat Book 24, on Page 189.


 Recorder, Allen County, Ohio 6/17/02

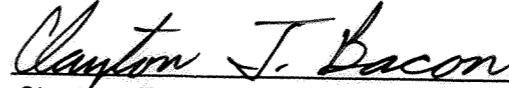
COUNTY AUDITOR'S CERTIFICATE

This plat filed for transfer this 18 day of June, 2002.


 Auditor, Allen County, Ohio 6/17/02

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and accurate survey performed by me on June 3, 2002. A #5 rebar topped with a plastic cap stamped Bacon & Assoc., RLS 6179 will be set on all property corners.

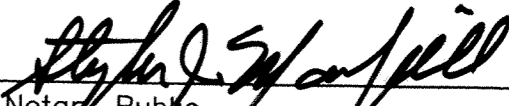

 Clayton T. Bacon, P.S. 6179
 Bacon & Associates, L.L.C. 6-17-02



ACKNOWLEDGMENT

State of Ohio
 County of Allen

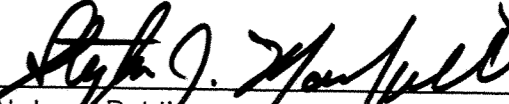
Before me, a notary public in and for said State and County, did personally appear the above signed OWNER who acknowledged that he signed the hereon plat and the signing thereof was his free act and deed.
 IN WITNESS thereof, I affix my hand and seal this 17th day of June, 2002.


 Notary Public

ACKNOWLEDGMENT

State of Ohio
 County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNER who acknowledged that she signed the hereon plat and the signing thereof was her free act and deed.
 IN WITNESS thereof, I affix my hand and seal this 17th day of June, 2002.


 Notary Public

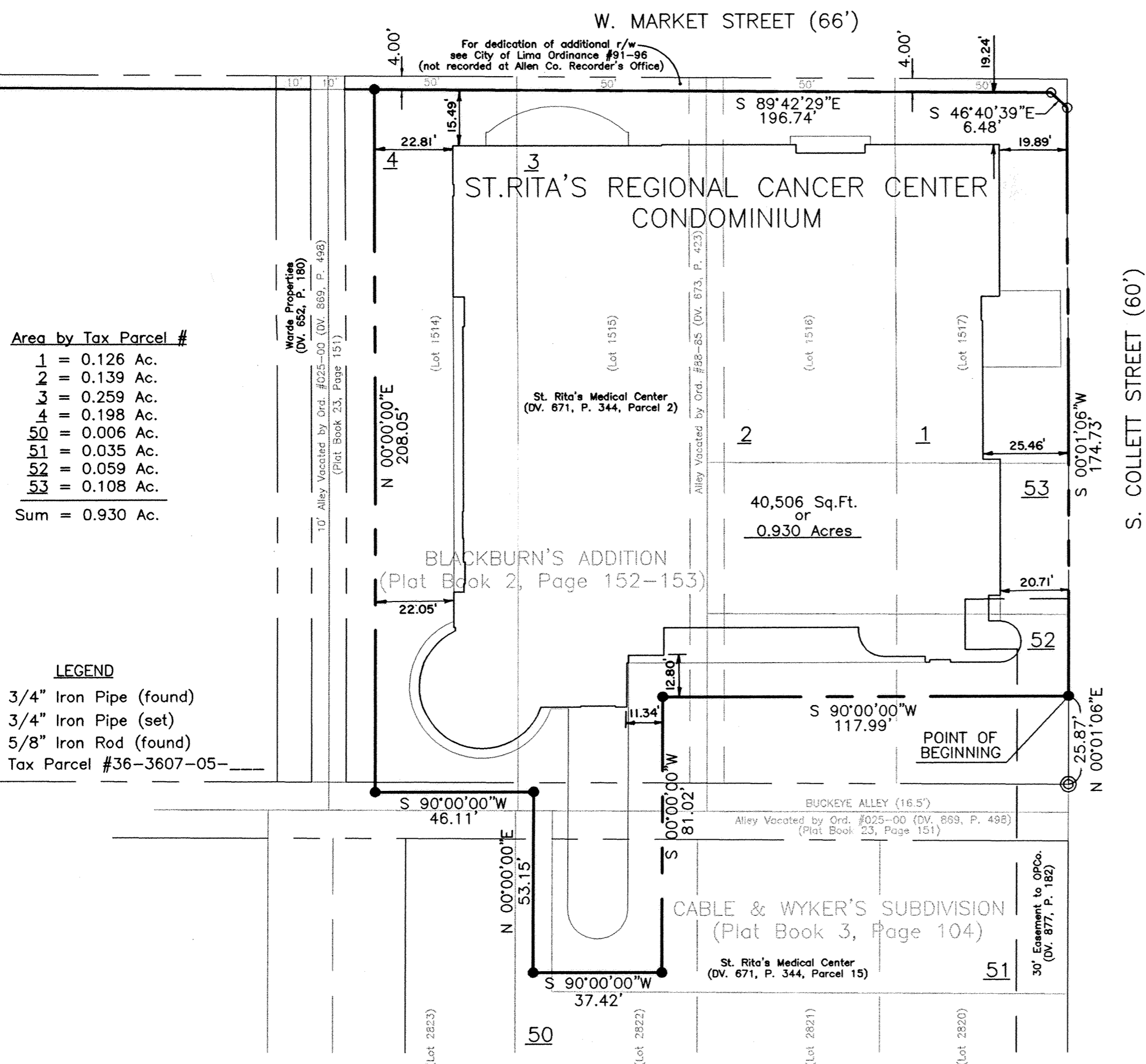
Prepared By
Bacon & Associates, L.L.C.
 750 N. Eastown Rd., Elida, Ohio 45807
 Office: (419) 999-3756 - Fax: (419) 999-2523

Wannemacher Commercial Park
 Part of the W1/2 of Section 20, T2S, R5E
 City of Delphos, Allen County, Ohio

File: 151-02

Drawn: CAT
 Date: 6-7-02

2
 3



Area by Tax Parcel #

1	= 0.126 Ac.
2	= 0.139 Ac.
3	= 0.259 Ac.
4	= 0.198 Ac.
50	= 0.006 Ac.
51	= 0.035 Ac.
52	= 0.059 Ac.
53	= 0.108 Ac.
Sum	= 0.930 Ac.

- LEGEND
- ⊙ 3/4" Iron Pipe (found)
 - 3/4" Iron Pipe (set)
 - 5/8" Iron Rod (found)
 - 1 Tax Parcel #36-3607-05-_____

LEGAL DESCRIPTION
 Owner of Record--St. Rita's Medical Center
 (Deed Volume 671, Page 344, Parcels 2 and 15)

Being parts of Lots 1514, 1515, 1516, and 1517 of Blackburn's Addition (Plat Book 2, Pages 152-153), plus part of Lot 2822 of Cable & Wyker's Subdivision (Plat Book 3, Page 104), plus parts of vacated alleys adjacent to said lots, all in the northwest quarter of Section 36, Township-3-South, Range-6-East, City of Lima, Allen County, Ohio, altogether described by metes and bounds as follows:

Commencing at an iron pipe (found) at the southeast corner of said Lot 1517 of Blackburn's Addition; thence northerly with the west line of S. Collett Street at N 00°01'06"E, 25.87 feet to an iron pipe (set), which point is the POINT OF BEGINNING; thence westerly into the grantor's lands at a right angle to the previous course at S 90°00'00"W, 117.99 feet to an iron pipe (set); thence southerly at a right angle to the previous course at S 00°00'00"W, 81.02 feet to an iron pipe (set); thence westerly at a right angle to the previous course at S 90°00'00"W, 37.42 feet to an iron pipe (set); thence northerly at a right angle to the previous course at N 00°00'00"E, 53.15 feet to an iron pipe (set); thence westerly at a right angle to the previous course at S 90°00'00"W, 46.11 feet to an iron pipe (set); thence northerly at a right angle to the previous course at N 00°00'00"E, 208.05 feet to an iron pipe (set) in the south line of W. Market Street (see City of Lima Ordinance #91-96; not recorded at Allen County Recorder's Office);

thence easterly with said south line of W. Market Street at S 89°42'29"E, 196.74 feet to a 5/8-inch diameter iron rod (found) at an angle point in said south line; thence southeasterly with said south line of W. Market Street at S 46°40'39"E, 6.48 feet to a 5/8-inch diameter iron rod (found) in the west line of S. Collett Street; thence southerly with said west line of S. Collett Street at S 00°01'06"W, 174.73 feet to the POINT OF BEGINNING;

This area contains a gross area of 0.930 acres, of which no area is occupied by any present roadway, thus leaving a net area also of 0.930 acres, subject to any legal easements or other restrictions of record.

- Of this 0.930 acres:
- 0.126 acres are in Tax Parcel #36-3607-05-001;
 - 0.139 acres are in Tax Parcel #36-3607-05-002;
 - 0.259 acres are in Tax Parcel #36-3607-05-003;
 - 0.198 acres are in Tax Parcel #36-3607-05-004;
 - 0.006 acres are in Tax Parcel #36-3607-05-050;
 - 0.035 acres are in Tax Parcel #36-3607-05-051;
 - 0.059 acres are in Tax Parcel #36-3607-05-052;
 - 0.108 acres are in Tax Parcel #36-3607-05-053.

This description is based on surveying work performed by Kohli & Kalher Associates, Inc., thru June 28, 2001. Bearings are based on an assumed cardinal direction for a traverse line along the west line of S. Collett Street. Iron pipes set this survey are 3/4-inch diameter by 30-inch long iron pipes with an orange plastic "K&K/LIMA" plug.

ST. RITA'S REGIONAL CANCER CENTER - CONDOMINIUM

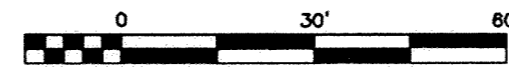
PART OF LOTS 1514-1517 IN BLACKBURN'S ADDITION
 AND PART OF LOT 2822 IN CABLE & WYKER'S SUBDIVISION
 TO THE CITY OF LIMA, ALLEN COUNTY, OHIO

200213095
 COUNTY RECORDERS CERTIFICATE

No. 200213095
 Filed for record in the Allen County, Ohio, Recorder's Office this 18th day of June, 2002 at 2:19 o'clock P.M., and recorded in Allen County, Ohio, Plat Book 24 on Page 192.
 Fee: 249.40

DEED Vol 898 pg 87

Edward P. Kish
 Recorder of Allen County, Ohio



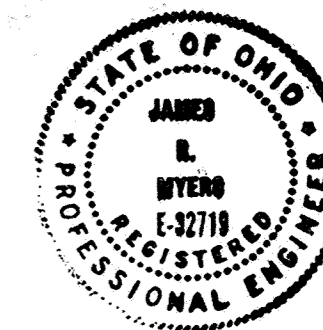
REVIEWED BY
 Michael L. Howbert
 MAEL HOWBERT
 AN COUNTY ENGINEER
 3-27-02

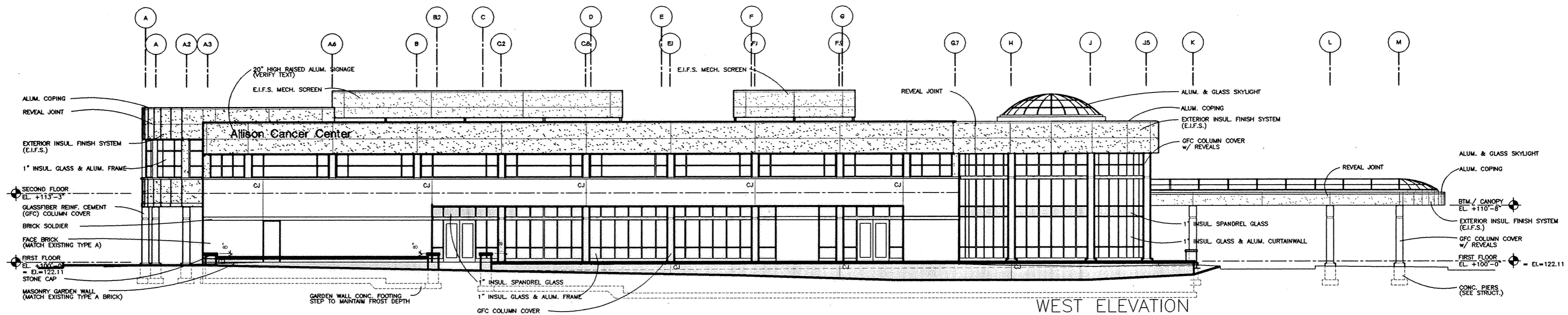
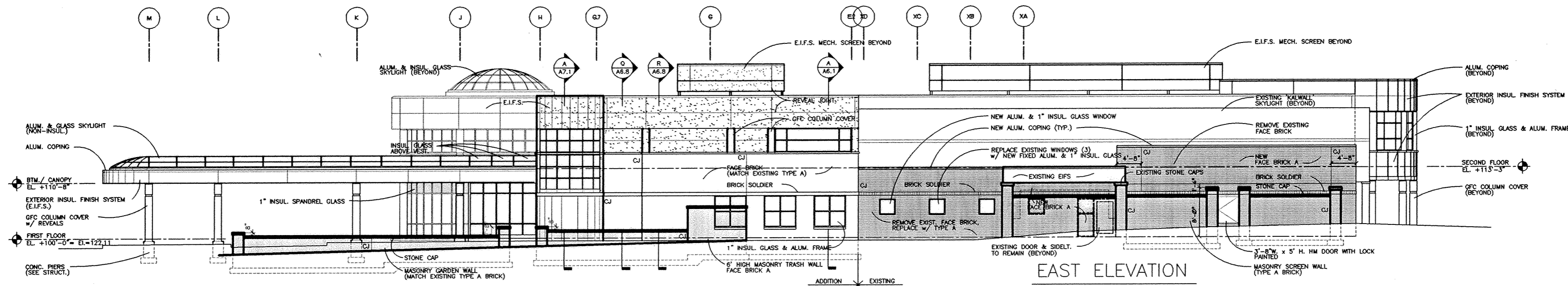
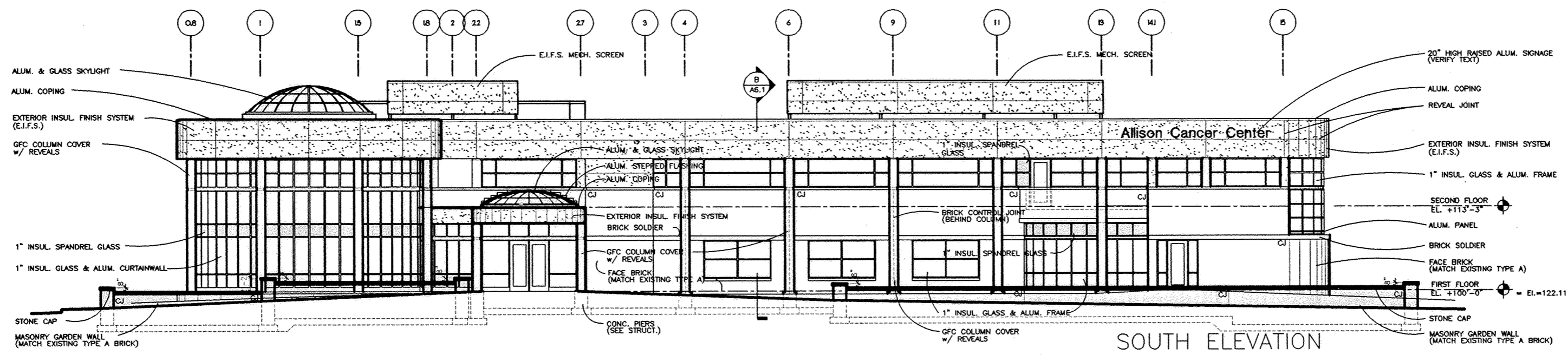
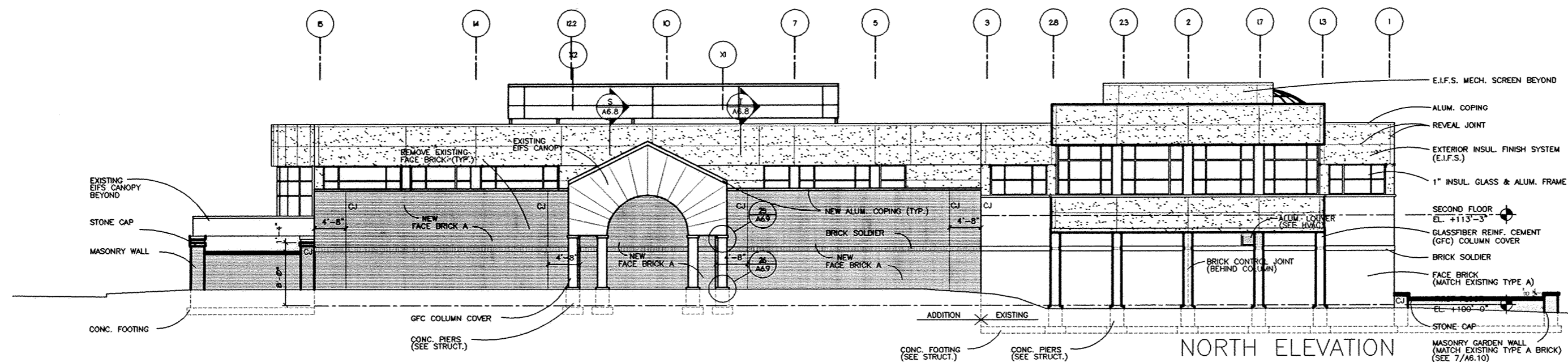
CERTIFICATION

We, James R. Myers, Registered Engineer, State of Ohio No. 32719, and Michael G. Buettner, Registered Surveyor, State of Ohio No. 6881 do hereby certify that the drawings herein, consisting of sheets numbered 1 through 12 of 12, correctly represent the location, dimensions and configurations of the ST. RITA'S REGIONAL CANCER CENTER-CONDOMINIUM, as it existed on the date shown.

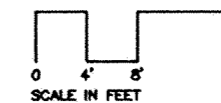
Dated at Lima, Ohio, March 19, 2002

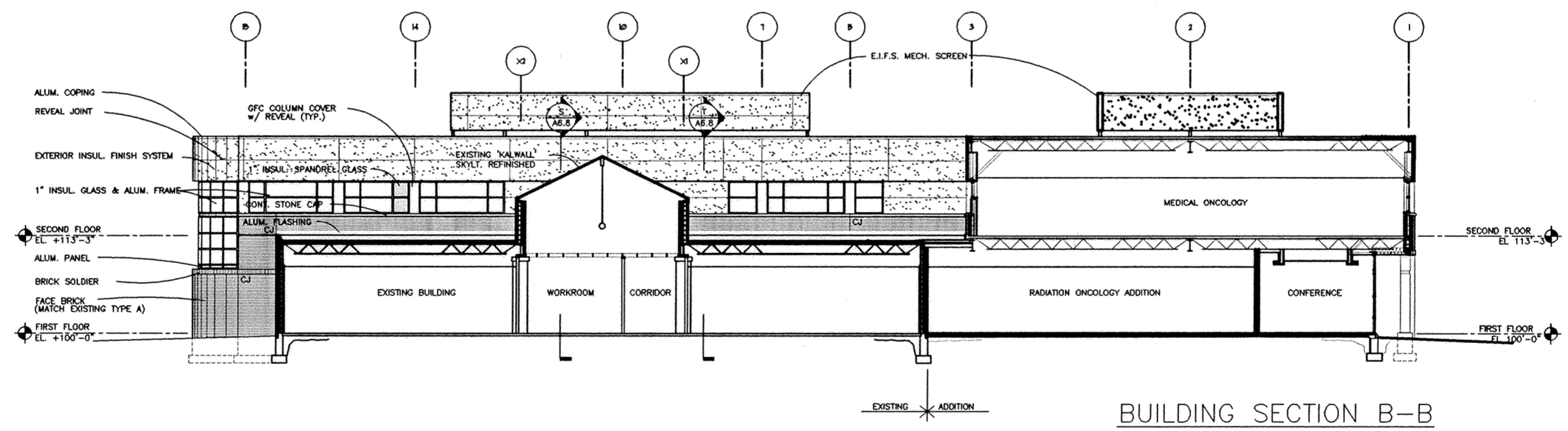
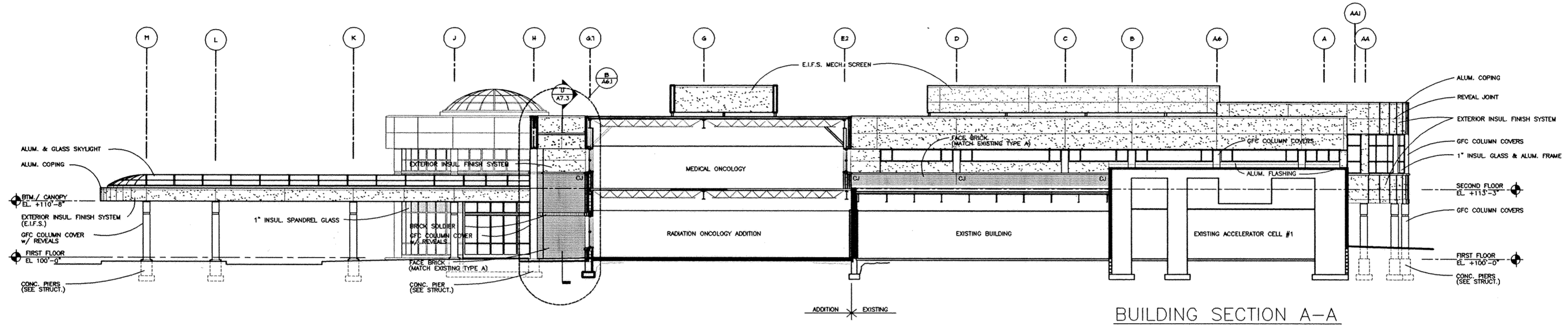
KOHLI & KALHER ASSOCIATES, INC.
 By James R. Myers, Registered Engineer, No. 32719
 By Michael G. Buettner, Registered Surveyor, No. 6881



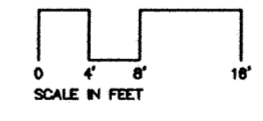


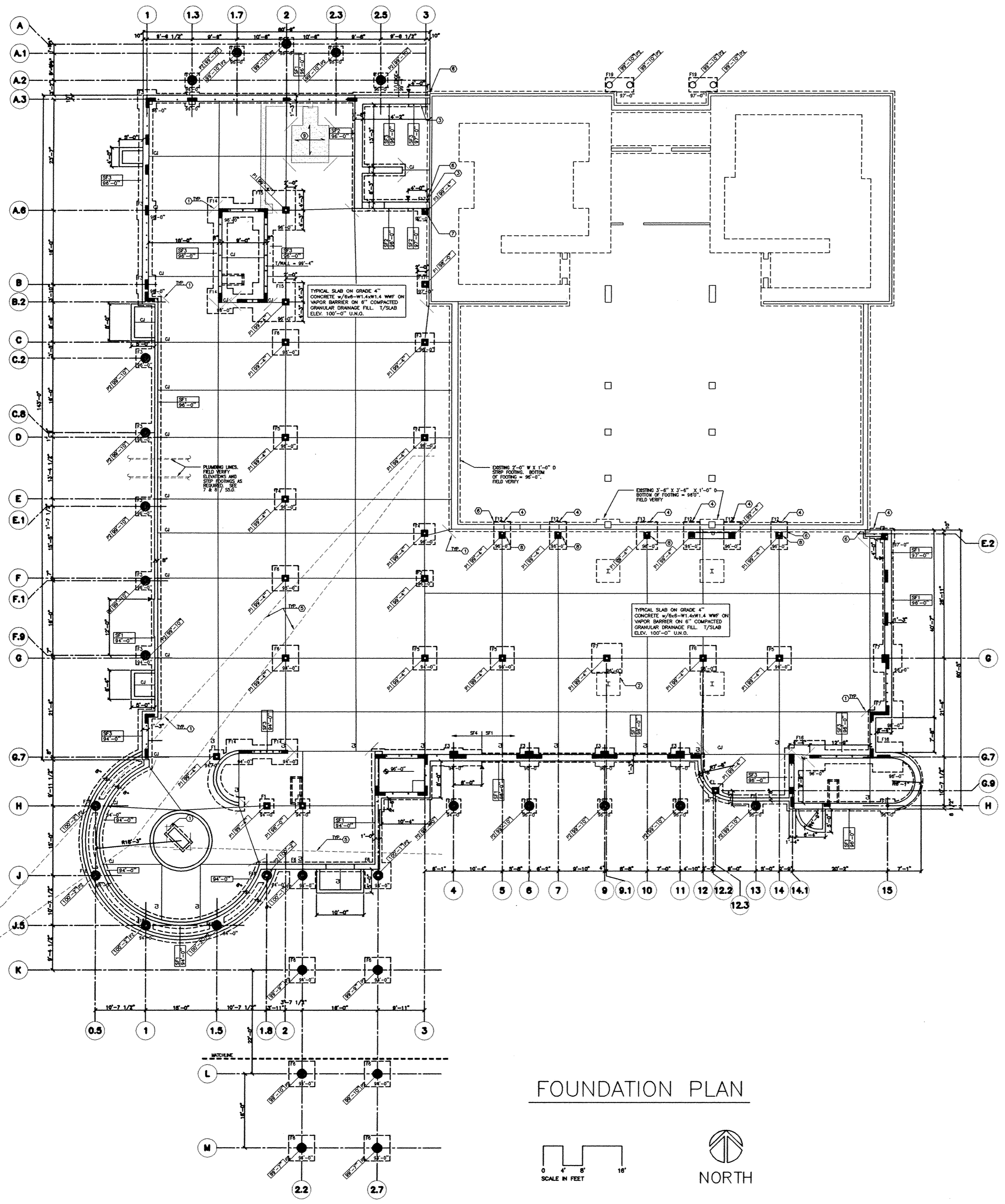
ST.RITA'S REGIONAL CANCER CENTER - CONDOMINIUM



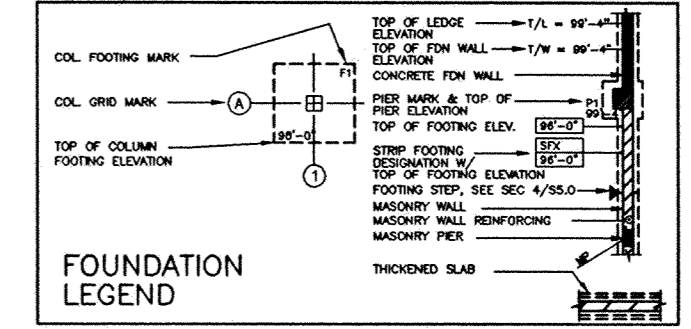


ST.RITA'S REGIONAL CANCER CENTER – CONDOMINIUM

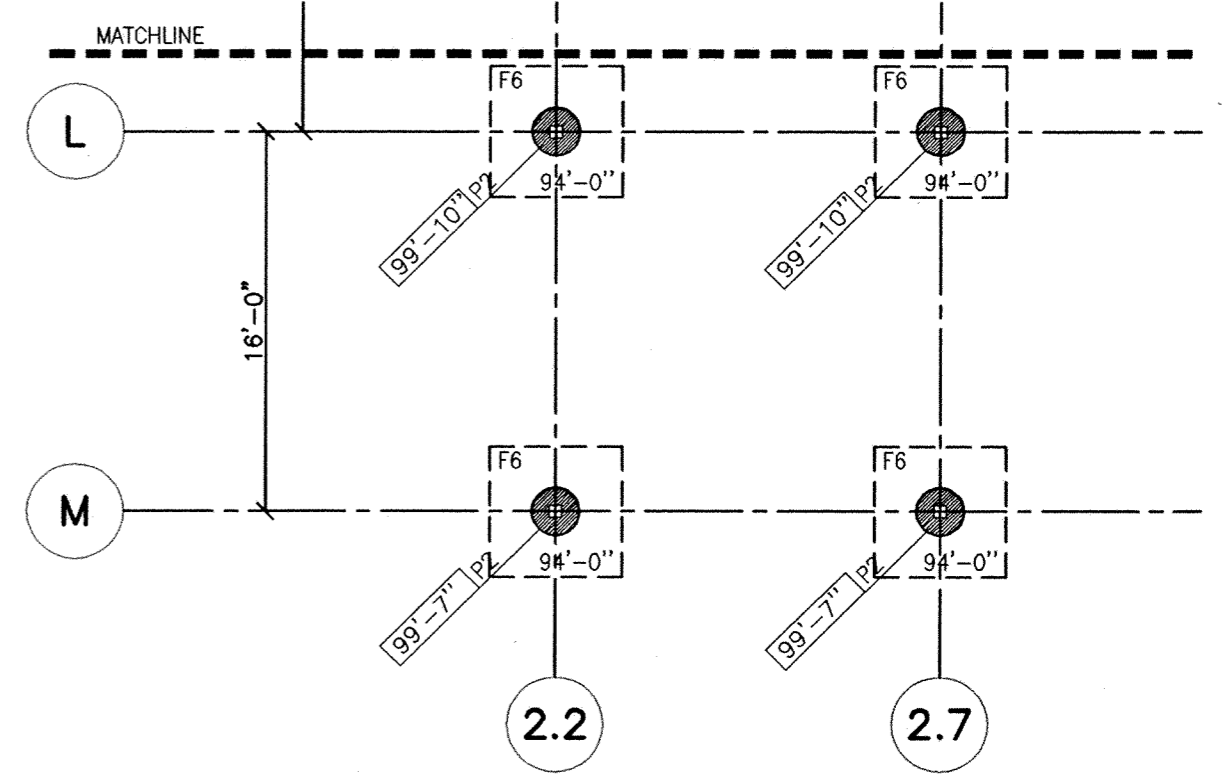
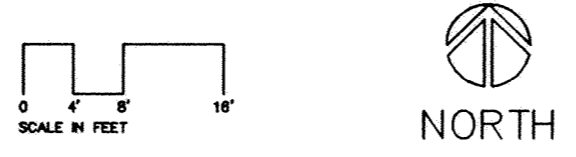


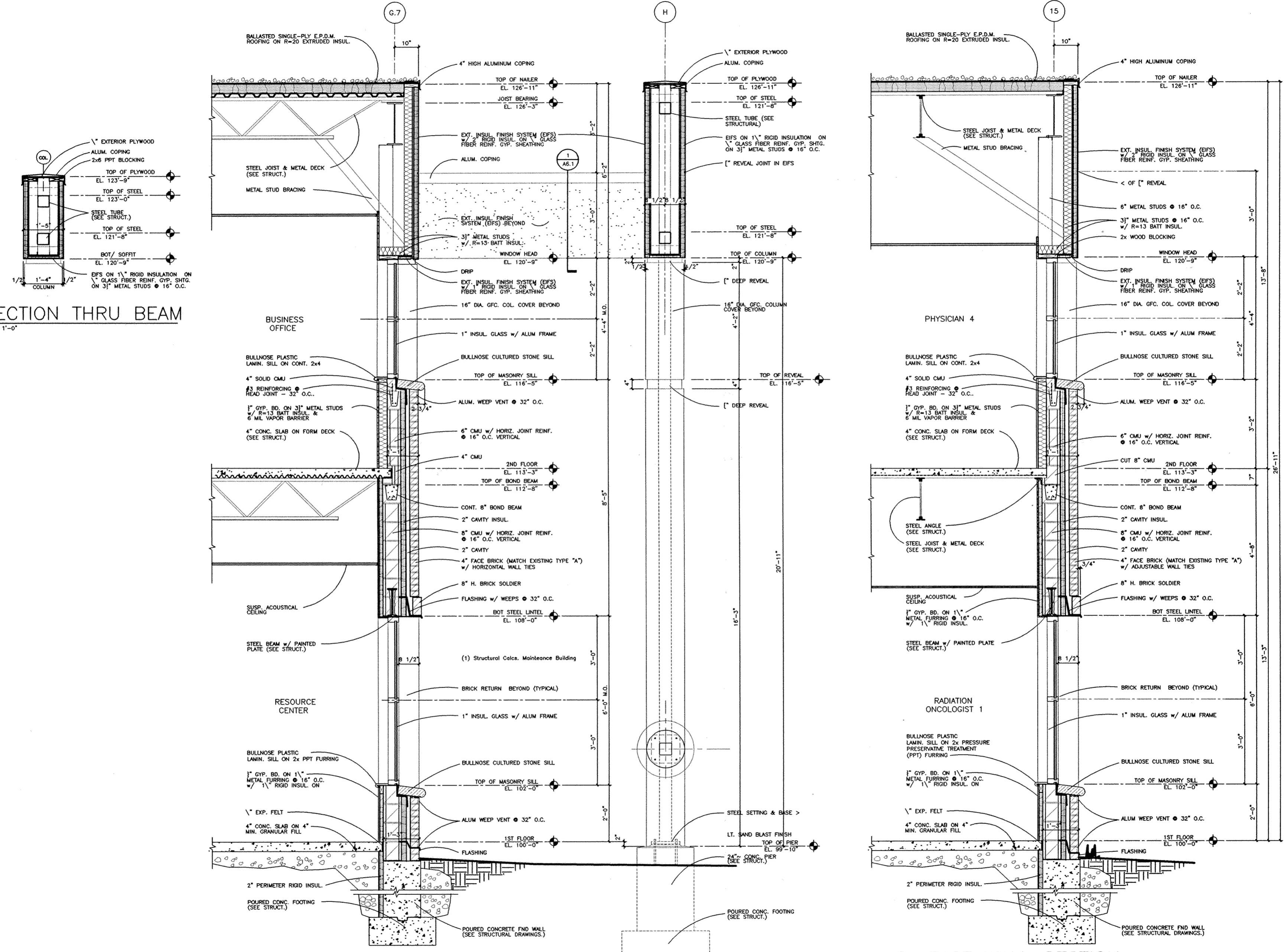


- PLAN NOTES**
- TOP OF TYPICAL FOUNDATION WALL EL. = 99'-4" U.N.O.
 - TOP OF FOOTINGS AT INTERIOR WALLS AND COLUMNS = EL. 98'-0" U.N.O.
- KEYED NOTES**
- ① PROVIDE 8" x 4'-0" (LOCATED AT THE CENTER OF THE CONCRETE SLAB ON GRADE) AT ALL REENTRANT CORNERS (INCLUDING CORNERS AT EXTERIOR DOORS). SEE SECTION 14/55.2
 - ② REMOVE EXISTING FOOTINGS AS REQUIRED TO BUILD NEW FOUNDATION.
 - ③ DRILL & EPOXY STRIP FOOTING REINFORCING 8" INTO EXISTING FOUNDATION.
 - ④ UNDER PM AS REQUIRED.
 - ⑤ "-----" INDICATES EXISTING SEWER LINE. REMOVE AS REQUIRED ONCE NEW SEWER LINE HAS BEEN INSTALLED.
 - ⑥ FOOTING ELEVATIONS ASSUMED THAT THE BOTTOM OF EXISTING FOUNDATIONS ARE AT 98'-0". CONTRACTORS TO FIELD VERIFY LOCATIONS OF EXISTING FOUNDATIONS AND/OR SIZES MAY CHANGE TO ACCOMMODATE EXISTING CONDITIONS.
 - ⑦ OFF SET BASE PLATE SO IT WILL FIT NEXT TO CONCRETE WALL.
 - ⑧ OFF SET PIER CENTER LINE 3" TO THE SOUTH.
 - ⑨ 12" S.O.G. IN PIT W/ #4 @ 12" O.C. TOP AND BOTTOM ON VAPOR BARRIER ON 6" COMPACTED GRANULAR FILL. 1/SLAB = 98'-5"



FOUNDATION PLAN



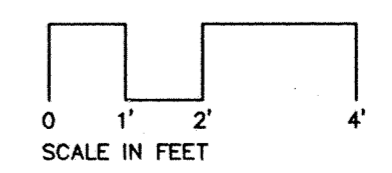


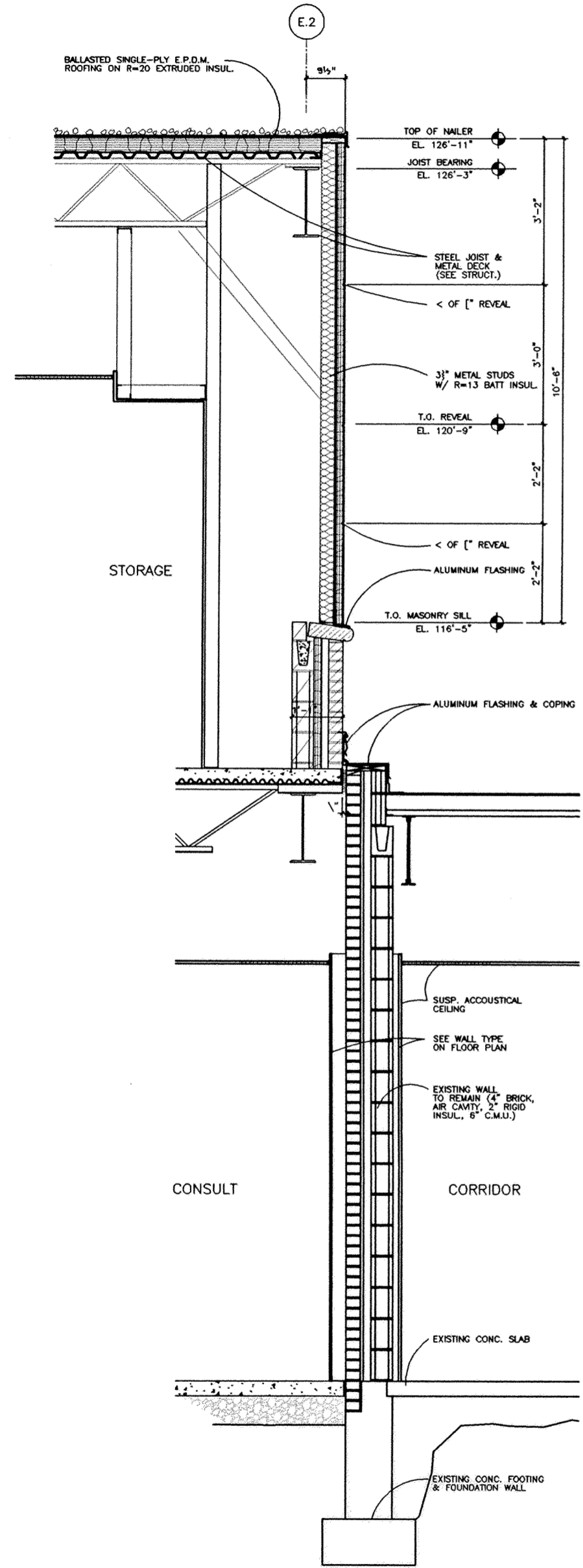
1 SECTION THRU BEAM
A6.1 3/4" = 1'-0"

B SOUTH WALL SECTION
A6.1

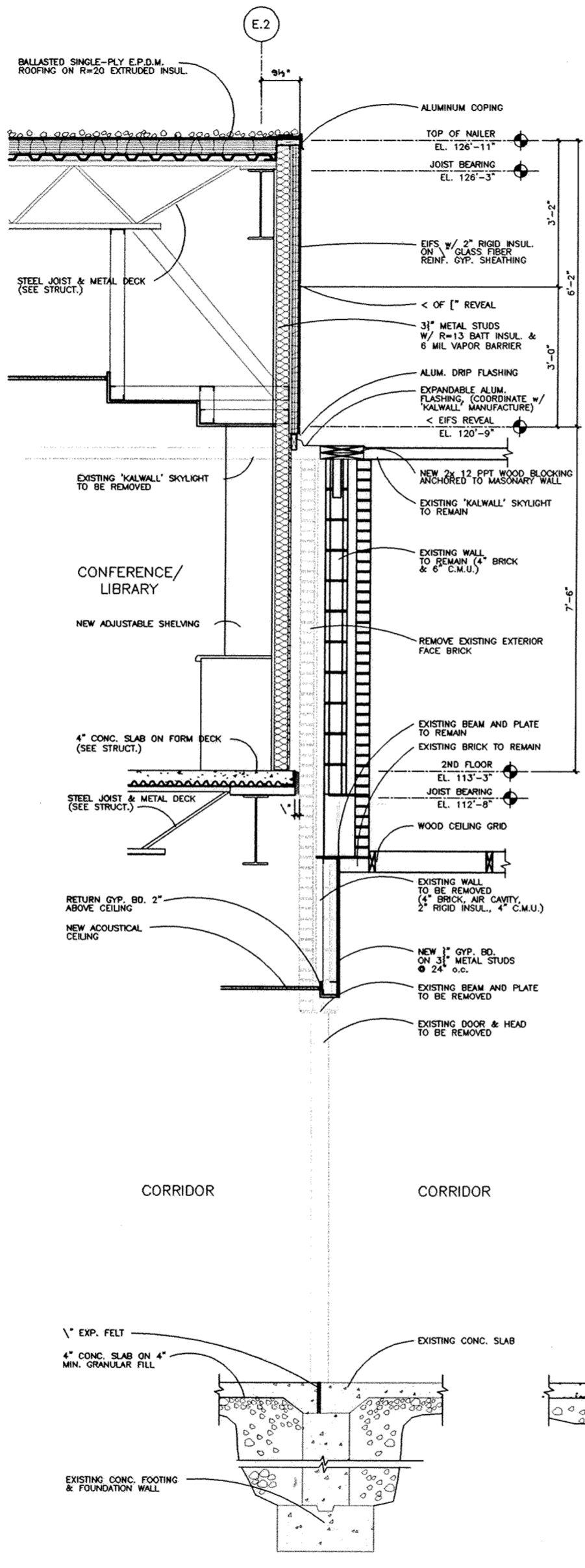
A EAST WALL SECTION
A6.1

ST.RITA'S REGIONAL CANCER CENTER - CONDOMINIUM

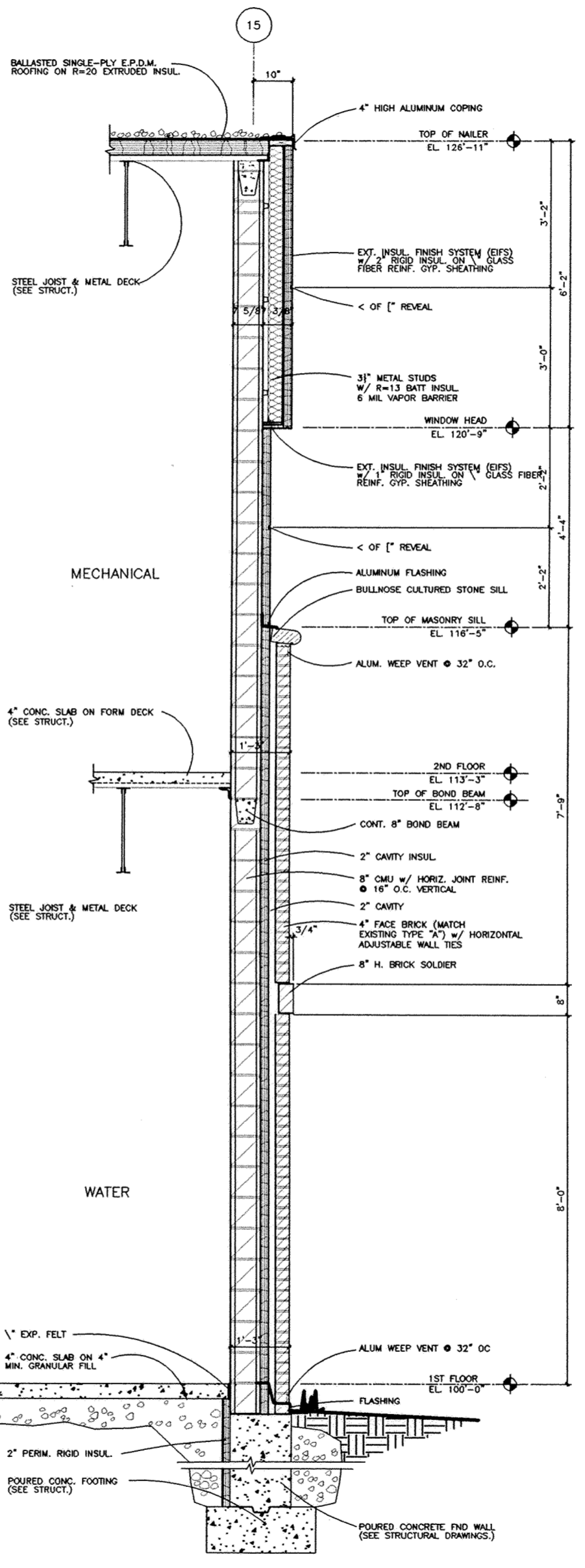




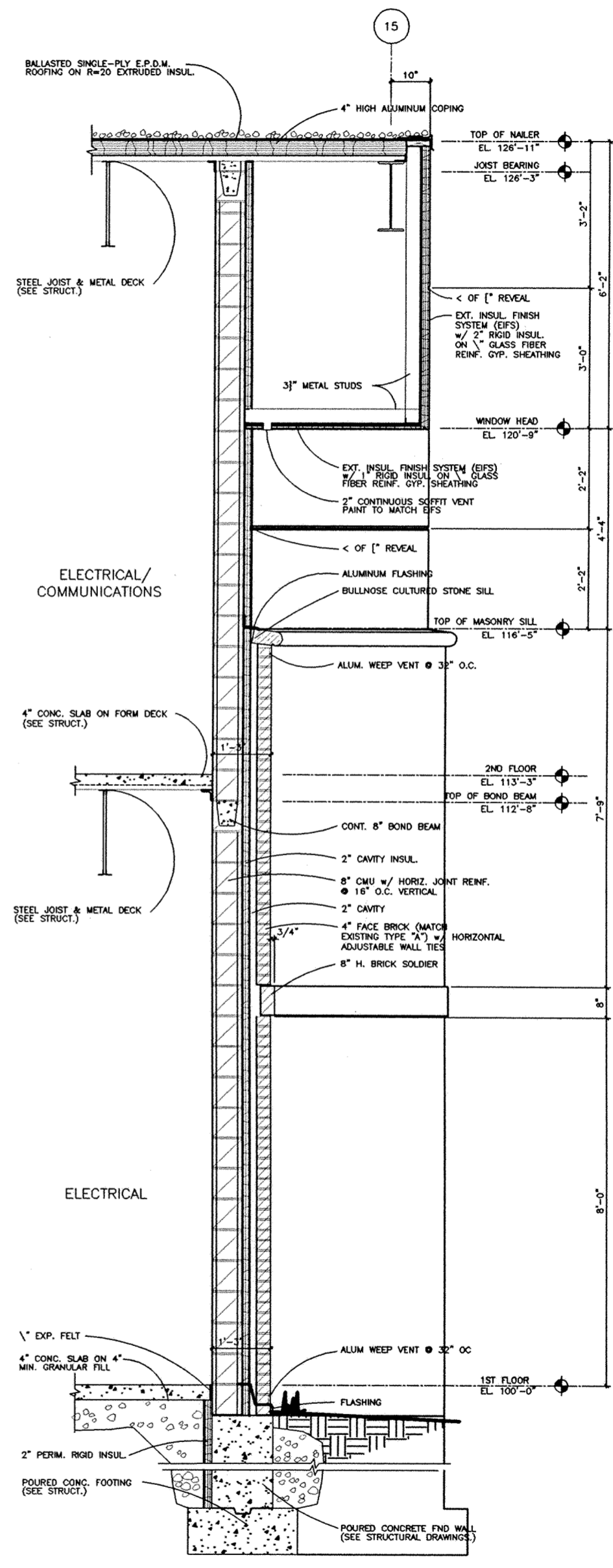
T WALL SECTION @ EXISTING BLDG
A6.8 COLUMN LINE E.2



S WALL SECTION @ EXISTING BLDG
A6.8 COLUMN LINE E.2

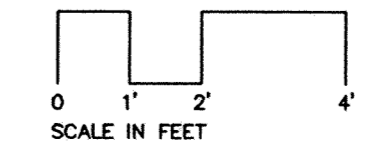


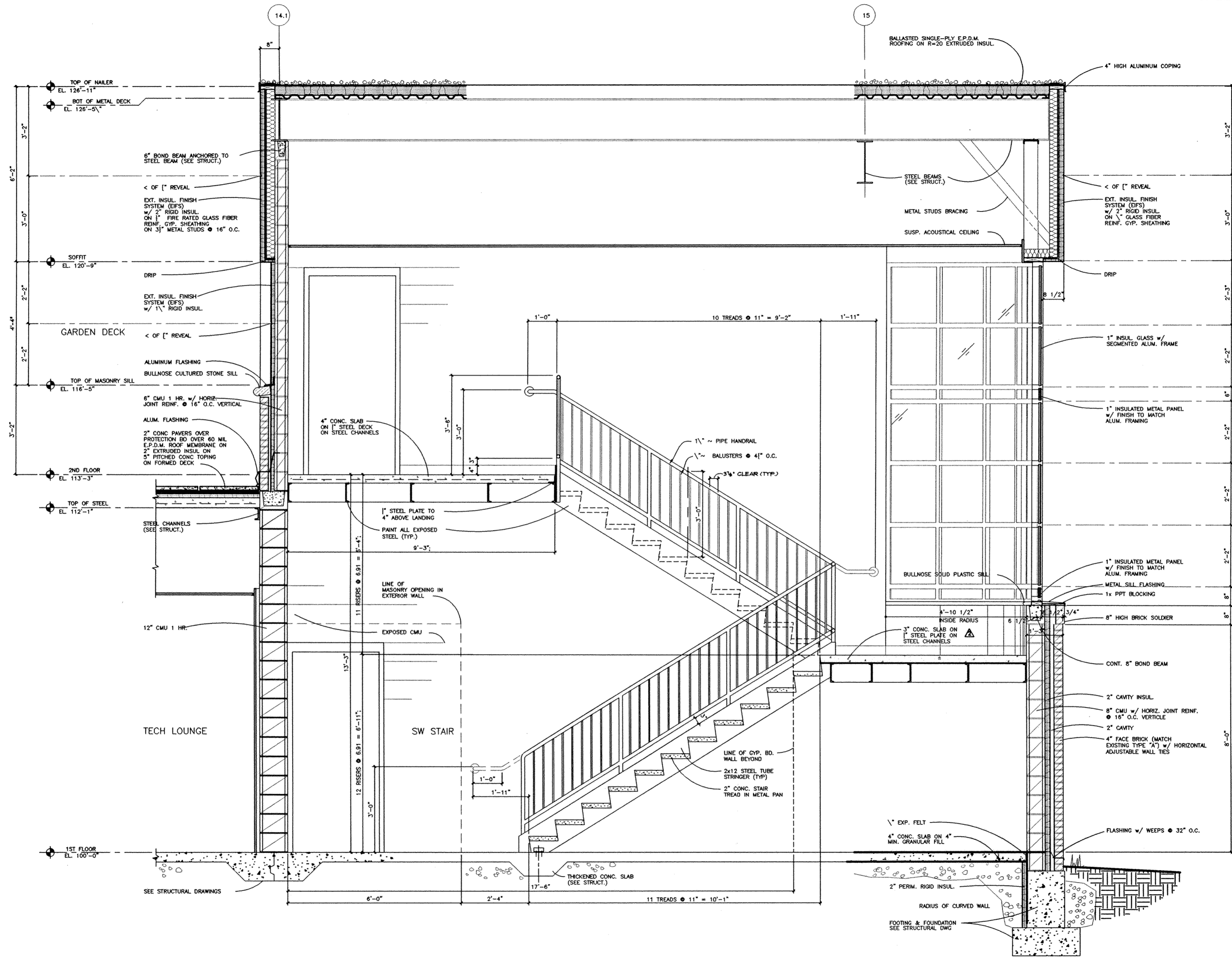
R EAST WALL SECTION
A6.8 TYPICAL SECTION NOTES SHOWN



Q EAST WALL SECTION
A6.8 TYPICAL SECTION NOTES SHOWN

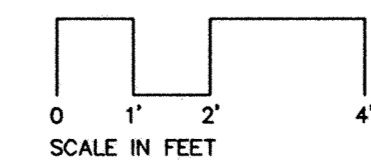
ST.RITA'S REGIONAL CANCER CENTER - CONDOMINIUM

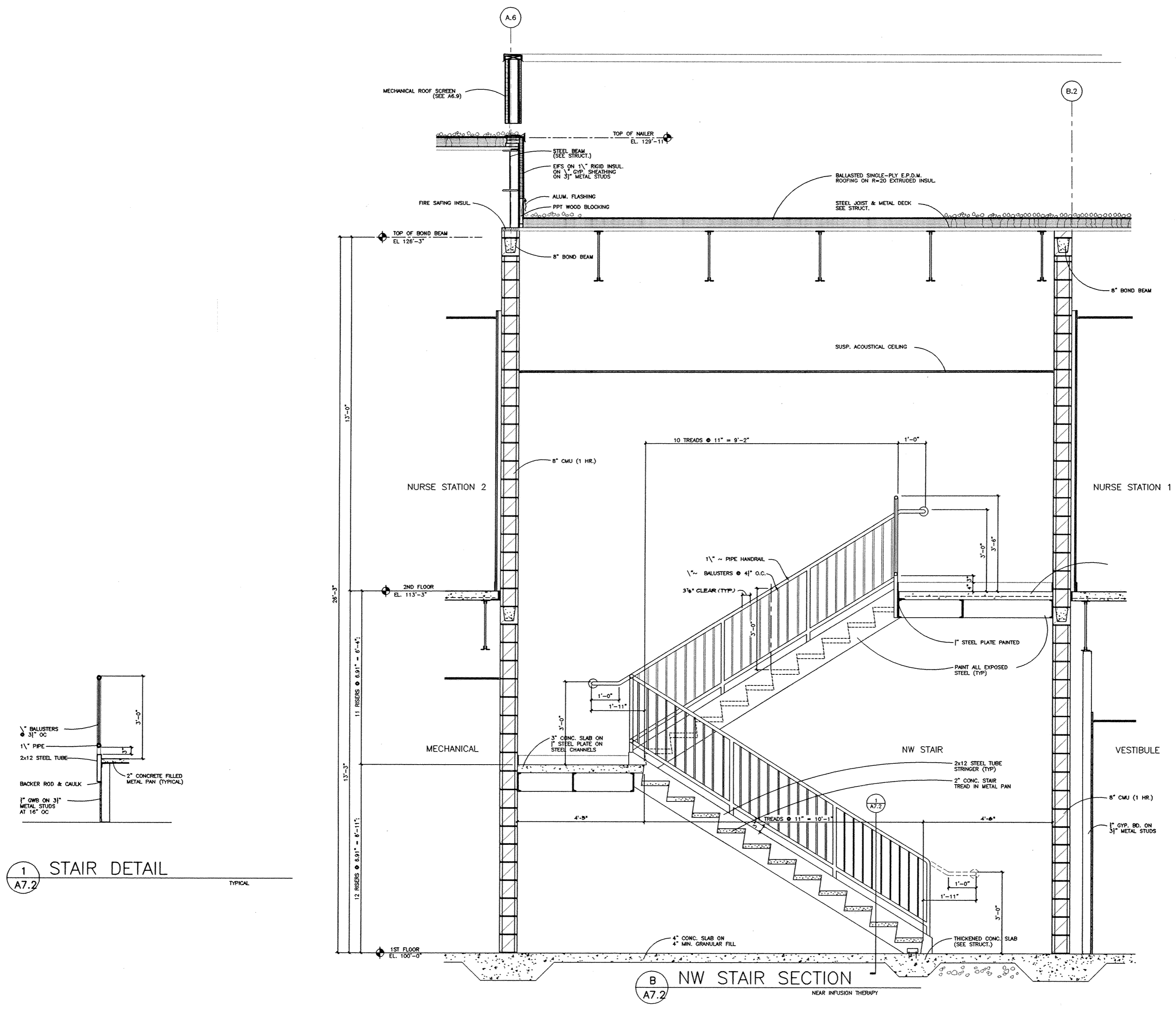




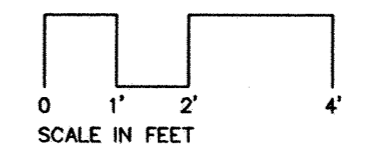
A SE STAIR SECTION
A7.1

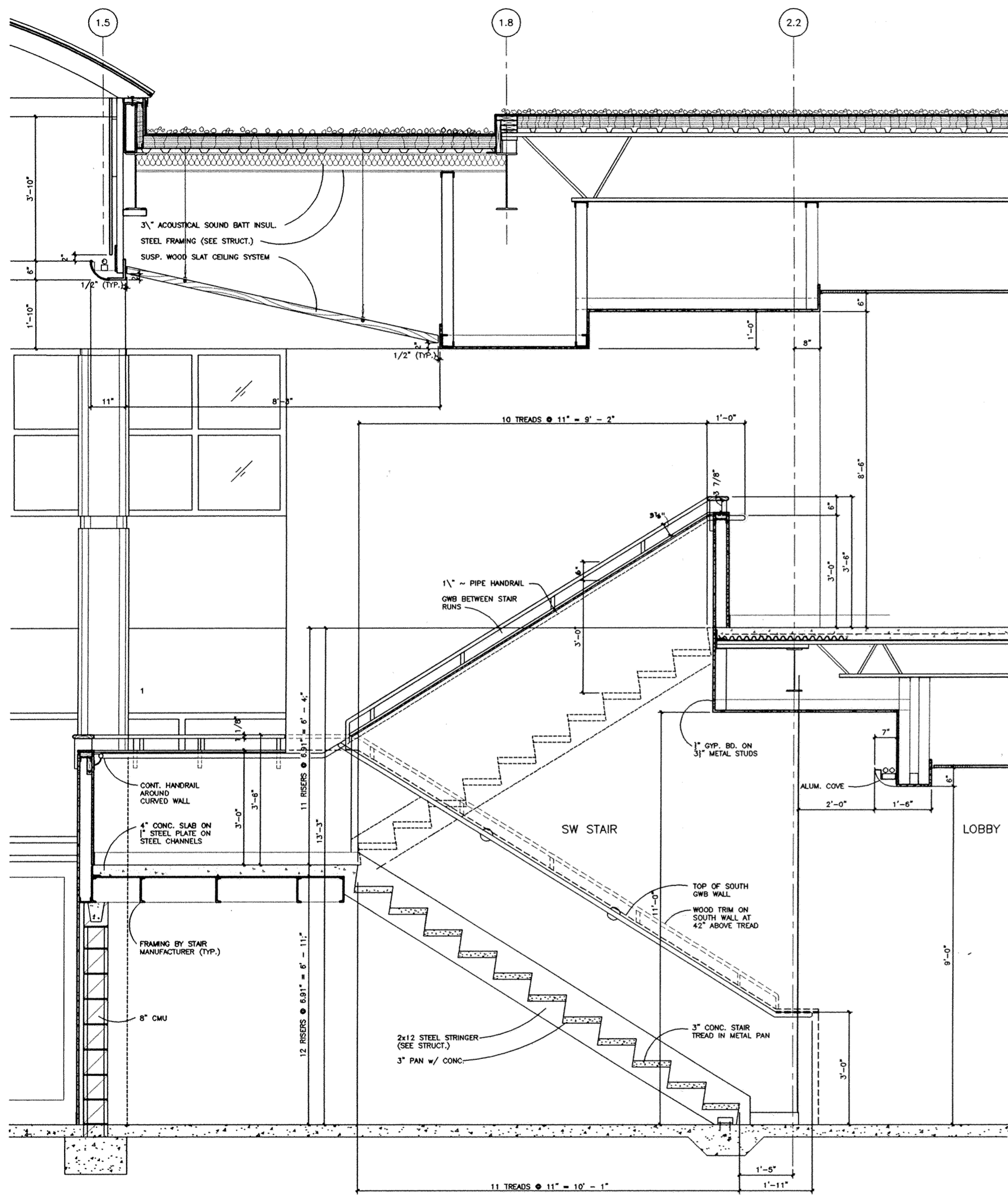
ST.RITA'S REGIONAL CANCER CENTER — CONDOMINIUM



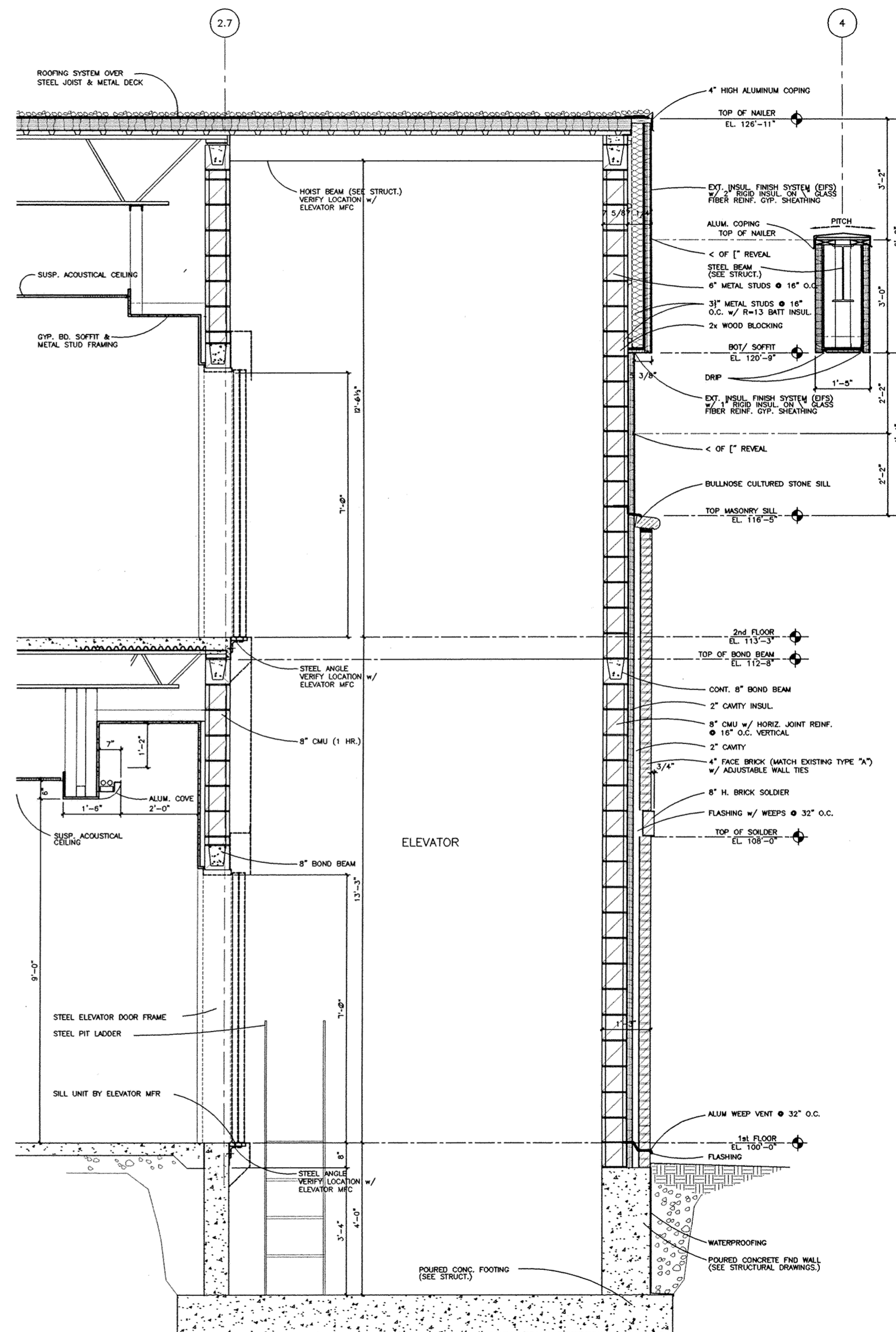


ST.RITA'S REGIONAL CANCER CENTER — CONDOMINIUM



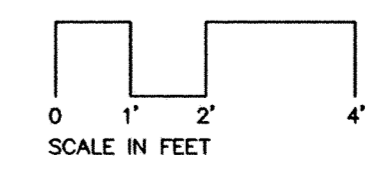


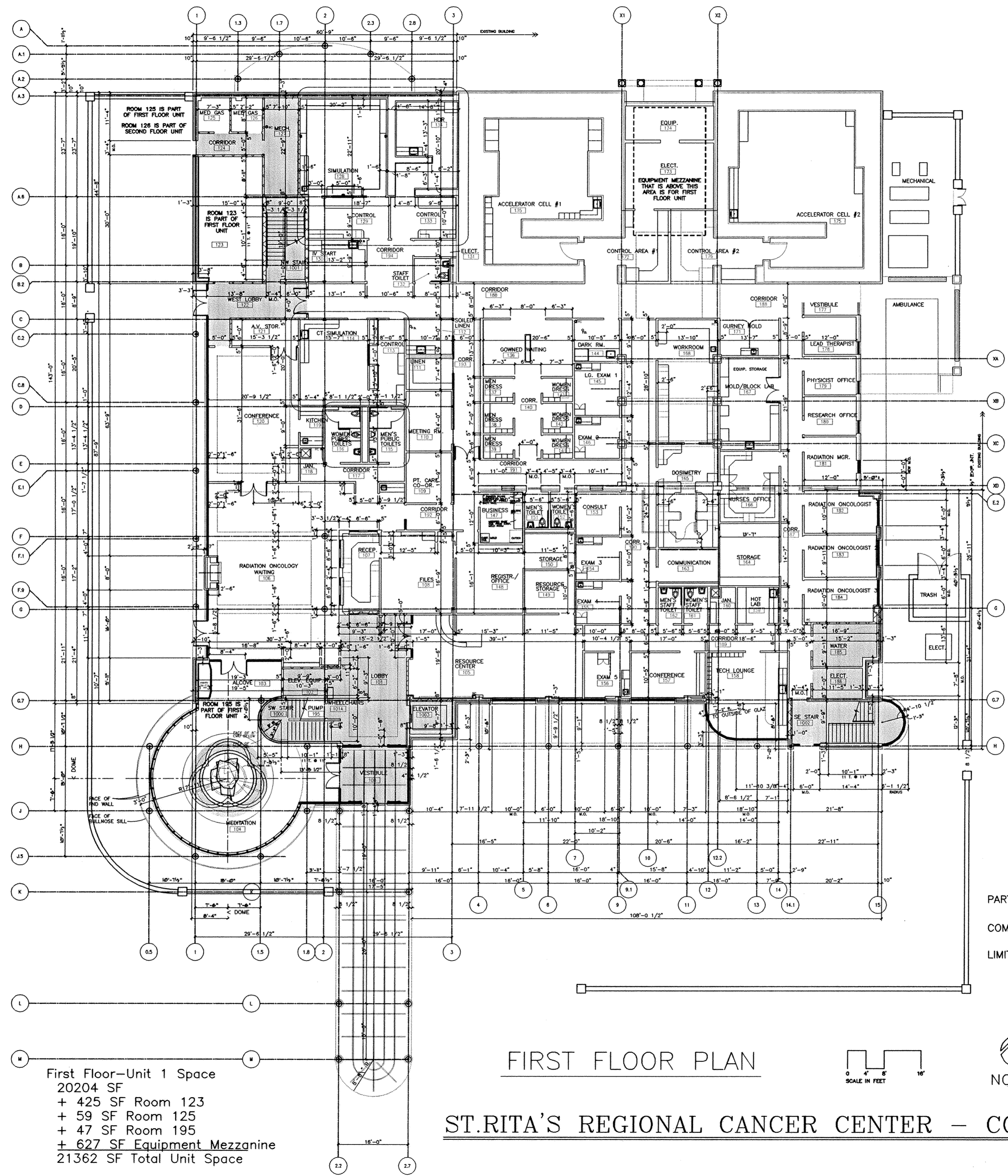
C SECTION @ LOBBY SW STAIR
A7.3



D SECTION @ ELEVATOR
A7.3

ST.RITA'S REGIONAL CANCER CENTER — CONDOMINIUM

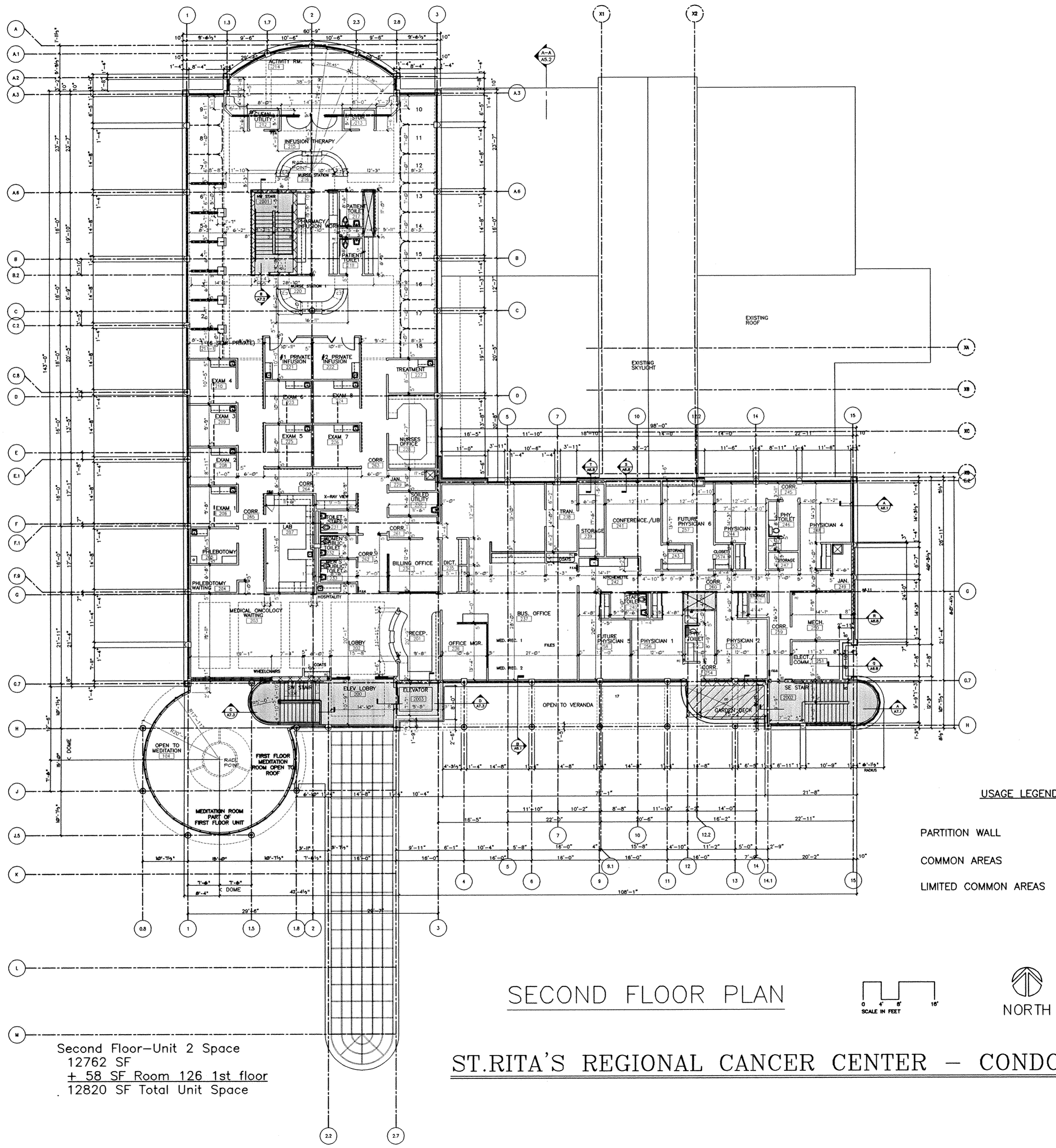







First Floor-Unit 1 Space
 20204 SF
 + 425 SF Room 123
 + 59 SF Room 125
 + 47 SF Room 195
 + 627 SF Equipment Mezzanine
 21362 SF Total Unit Space

FIRST FLOOR PLAN

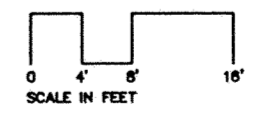
ST. RITA'S REGIONAL CANCER CENTER - CONDOMINIUM



USAGE LEGEND

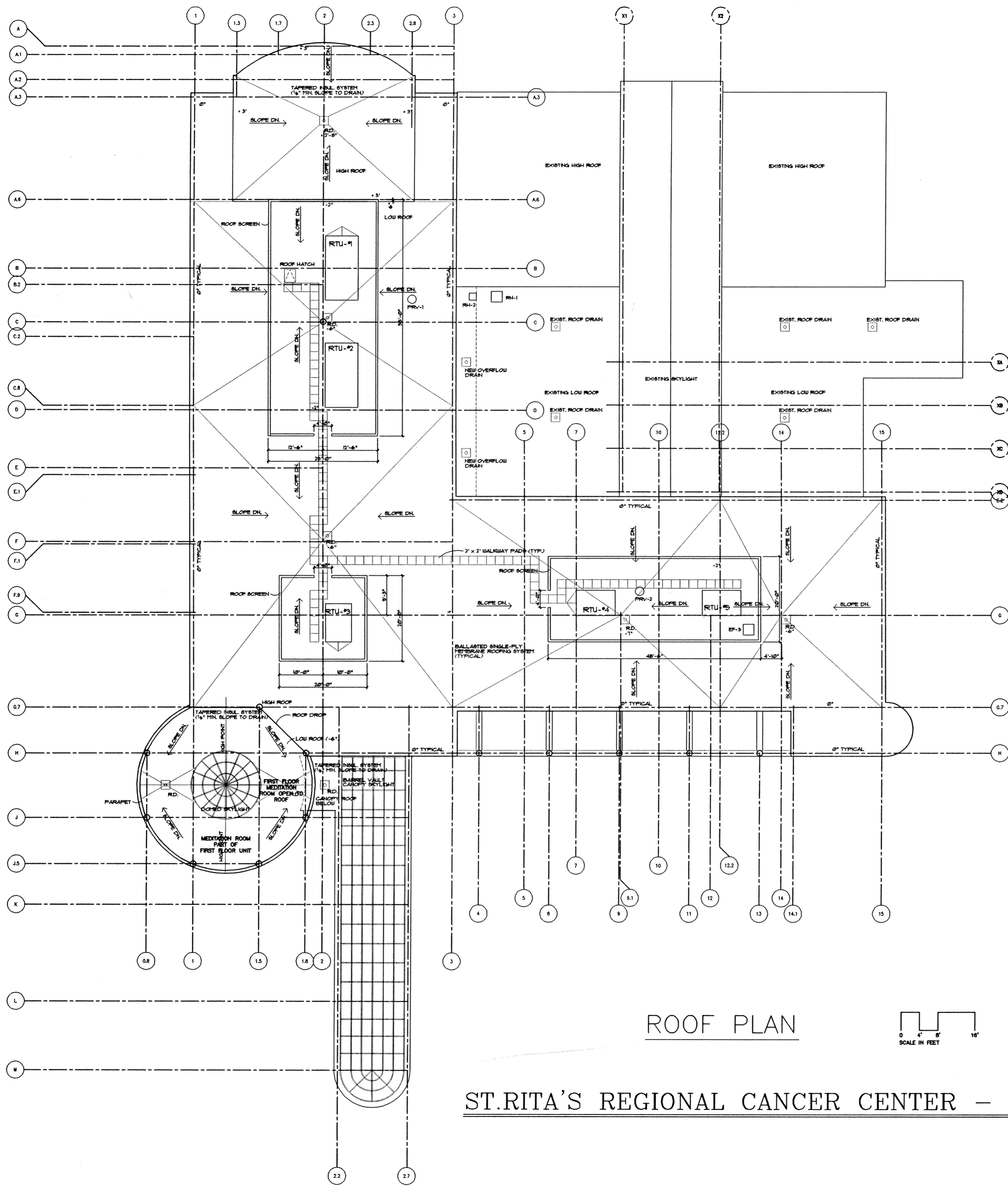
- PARTITION WALL 
- COMMON AREAS 
- LIMITED COMMON AREAS 

SECOND FLOOR PLAN

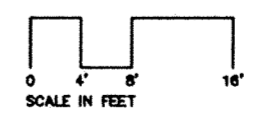


Second Floor—Unit 2 Space
 12762 SF
 + 58 SF Room 126 1st floor
 12820 SF Total Unit Space

ST.RITA'S REGIONAL CANCER CENTER – CONDOMINIUM



ROOF PLAN



ST.RITA'S REGIONAL CANCER CENTER – CONDOMINIUM

RECEIVED
FEB 1 2 2002

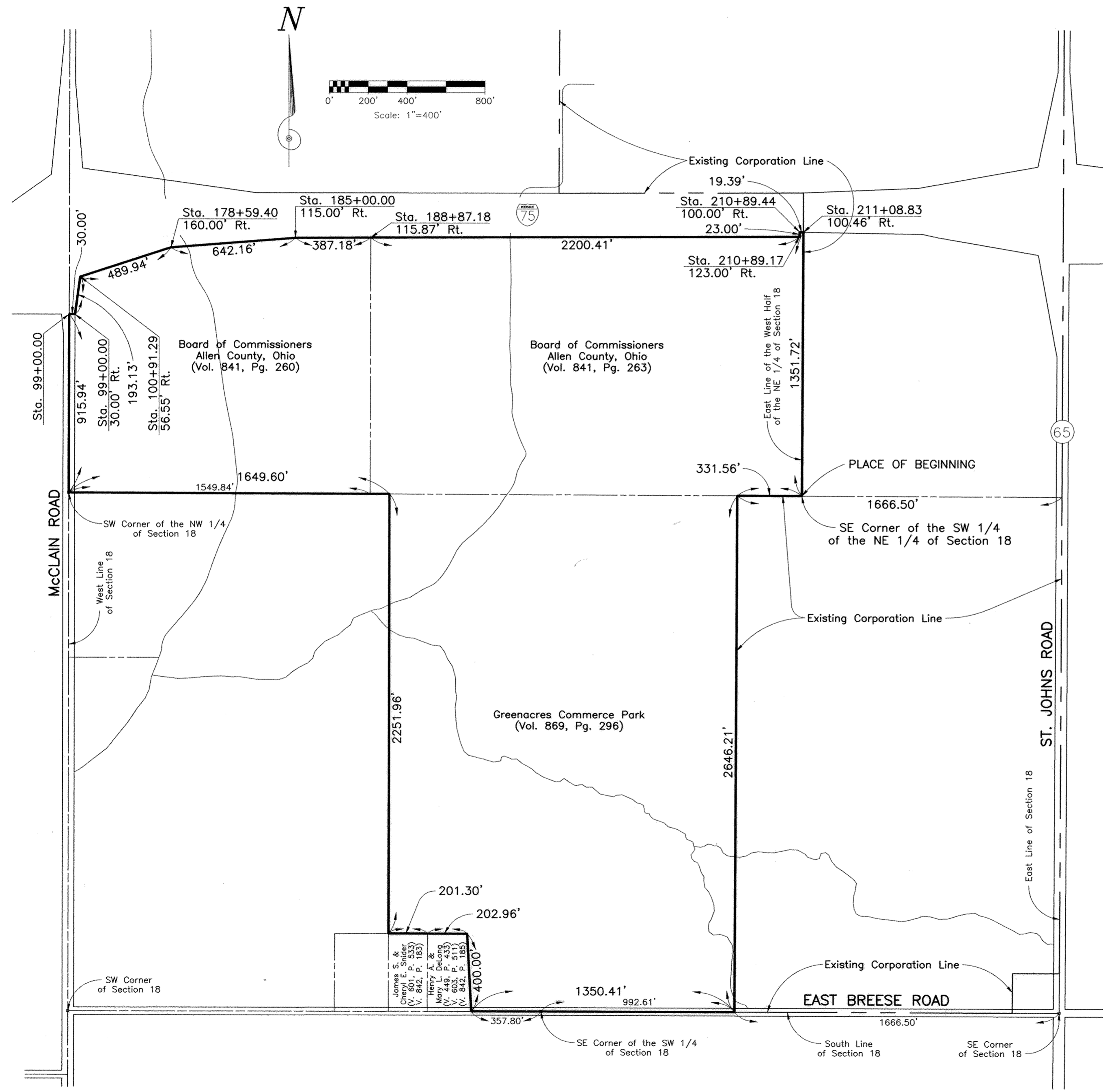
ALLEN COUNTY COMMISSIONERS
LIMA, OHIO

ANNEXATION PLAT TO THE CITY OF LIMA, OHIO

Pt. of Section 18, Township 4 South, Range 7 East, Perry Township, Allen County, Ohio

200218233
Filed and recorded Aug 26, 2002
at 2:17 pm in Plat BK 24
Page 204
see deed vol 900 pg 647-709
Fee 20.70

Edward P Kurba
Allen County Recorder



DESCRIPTION

Being a tract of land situated in Section 18, Township 4 South, Range 7 East, Perry Township, Allen County, Ohio and more particularly described as follows:
BEGINNING at the southeast corner of the southwest quarter of the northeast quarter of Section 18, Perry Township;

thence west with the east-west half section line of Section 18, Perry Township, also being the present corporation line of the City of Lima, Ohio, 331.56 feet to a point 1666.50 feet west of the east line of said Section 18;

thence south parallel with and 1666.50 feet west of the east line of Section 18, Perry Township, also being the present corporation line of the City of Lima, Ohio, 2646.21 feet to the south line of said Section 18, said south line also being the centerline of Breese Road;

thence west with the south line of Section 18, Perry Township, also being the centerline of Breese Road, 1350.41 feet to the southeast corner of a parcel of land deeded to Henry A. & Mary L. DeLong, recorded in Deed Volume 842, Page 185;

thence northwesterly with the east line of said DeLong property, 400.00 feet to the northeast corner of said DeLong property;

thence west with the north line of said DeLong property, 202.96 feet to the northwest corner of said DeLong property;

thence continuing west with the north line of property deeded to James S. & Cheryl E. Snider, recorded in Deed Volume 842, Page 183, 201.30 feet to the northwest corner of said Snider property;

thence north with the west line of property deeded to Greenacres Commerce Park, recorded in Deed Volume 869, Page 296, Parcel II, 2251.96 feet to the east-west half section line of Section 18, Perry Township;

thence west with the east-west half section line of Section 18, Perry Township, 1649.60 feet to the southwest corner of the northwest corner of Section 18, Perry Township;

thence north with the west line of Section 18, Perry Township, also being the centerline of McClain Road, 915.94 feet to a point at Station 99+00.00 of the centerline of McClain Road (see sheet 10 of 28 of right-of-way plans by ODOT dated 8/2/55 and designated ALL-25-0.00);

thence generally easterly and northerly with the south limited access right-of-way line of Interstate Route 75 on the following eight courses:

- 1) easterly at a right angle to the previous course and through the right-of-way of McClain Road, 30.00 feet to an angle point in said limited access line which is 30.00 feet right of said Station 99+00.00;
- 2) north-northeasterly, 193.13 feet to an angle point in said limited access line which is 56.55 feet right of Station 100+91.29 of said McClain Road centerline;
- 3) east-northeasterly with the south line of Parcel 25A-LAS (sheet 1 of 1 of right-of-way plans by ODOT dated 2/6/57 and designated ALL-25-3.28), 489.94 feet to a point which is 160.00 feet right of a concrete monument by ODOT at a spiral-to-tangent point at Station 178+59.40 of the centerline of survey for Interstate Route 75;
- 4) easterly and continuing with the south line of said Parcel 25A-LA, 642.16 feet to a point which is 115.00 feet right of Station 185+00.00 of said centerline;
- 5) easterly with the south line of Parcel 25-LA (sheet 9 of 28 of said plans designated ALL-25-0.00), 387.18 feet to a point which is 115.87 feet right of Station 188+87.18 of said centerline;
- 6) easterly with the south line of Parcels 26-LA and 29-LA (sheet 11 of 28 of said plans designated ALL-25-0.00), 2200.41 feet to an angle point in said right-of-way line which is 123.00 feet right of Station 210+89.17 of said centerline;
- 7) northerly, 23.00 feet to an angle point in said right-of-way line which is 100.00 feet right of Station 210+89.44 of said centerline;
- 8) easterly, 19.39 feet to a point which is 100.46 feet right of Station 211+08.83 of said centerline, said point being on the east line of the west half of the northeast quarter of Section 18, Perry Township;

thence southerly with the east line of land deeded to Board of County Commissioners, Allen County, Ohio, recorded in Deed Volume 841, Page 263, also being the east line of the west half of the northeast quarter of Section 18, Perry Township and the present corporation line of the City of Lima, Ohio, 1351.72 feet to the southeast corner of the southwest quarter of the northeast quarter of said Section 18, being the PLACE OF BEGINNING.

Containing 215.876 acres, more or less.

I hereby certify that the hereon plat and description are true and accurate representations of property proposed to be annexed to the City of Lima, Ohio and is based entirely on research of records in the office of the Recorder, Allen County, Ohio.

1-17-02
Date

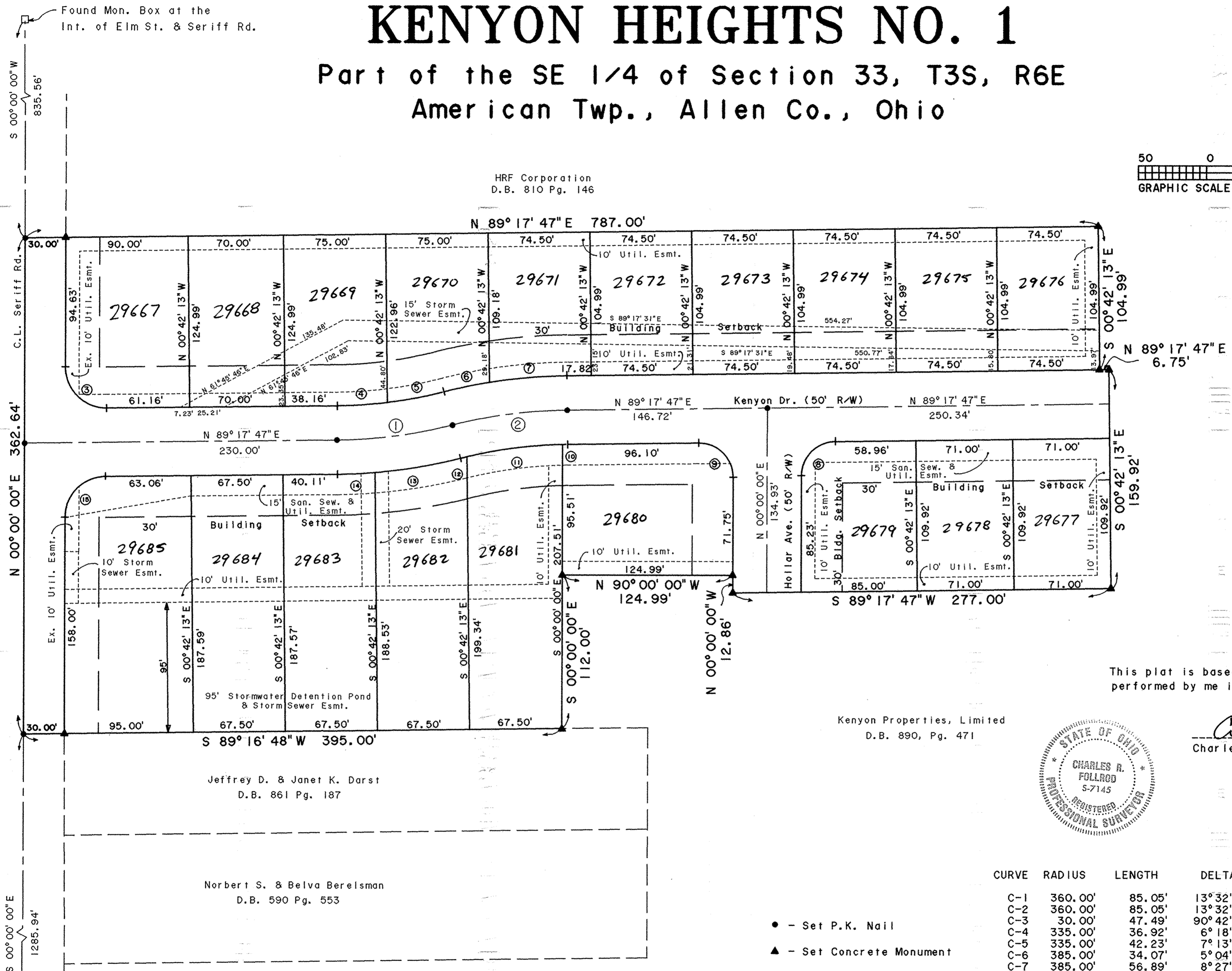
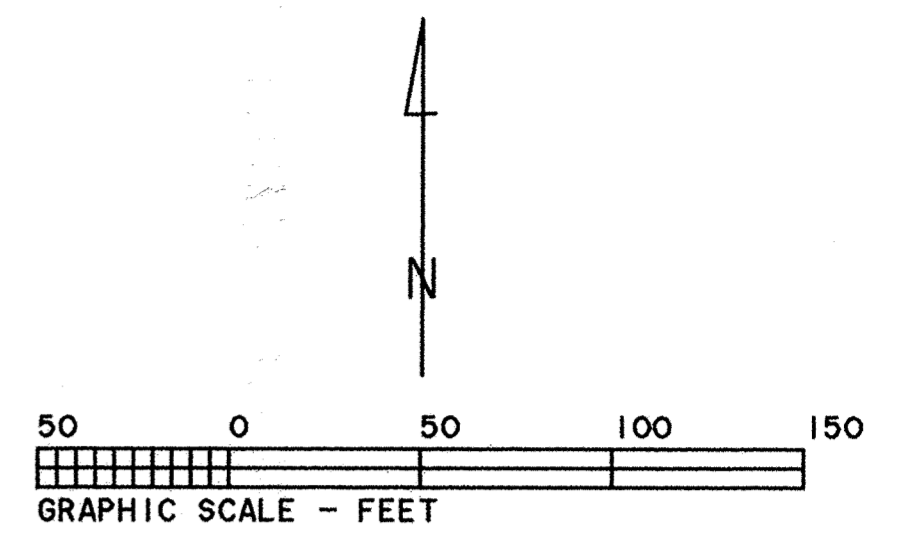
Larry W. Stayonovich
Larry W. Stayonovich, P.S. #7365



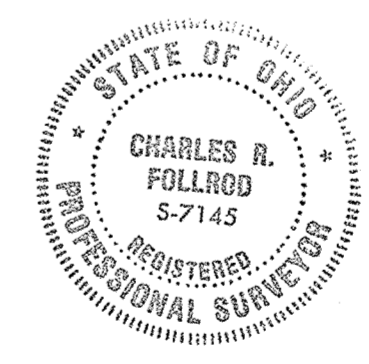
KENYON HEIGHTS NO. 1

Part of the SE 1/4 of Section 33, T3S, R6E American Twp., Allen Co., Ohio

HRF Corporation
D.B. 810 Pg. 146



This plat is based on an actual survey performed by me in June 2001.



Charles R. Follrod
Charles R. Follrod, PS 7145

R/W Area = 1.272 acres
Lot Area = 4.395 acres

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. BEARING
C-1	360.00'	85.05'	13°32'10"	84.85'	N 82°31'42"E
C-2	360.00'	85.05'	13°32'10"	84.85'	N 82°31'42"E
C-3	30.00'	47.49'	90°42'13"	42.69'	S 45°21'06"E
C-4	335.00'	36.92'	6°18'50"	36.90'	N 86°08'22"E
C-5	335.00'	42.23'	7°13'20"	42.20'	N 79°22'17"E
C-6	385.00'	34.07'	5°04'13"	34.06'	N 78°17'43"E
C-7	385.00'	56.89'	8°27'57"	56.83'	N 85°03'48"E
C-8	25.00'	38.96'	89°17'47"	35.14'	N 44°38'53"E
C-9	25.00'	39.58'	90°42'13"	35.57'	S 45°21'06"E
C-10	335.00'	3.58'	0°36'47"	3.58'	N 88°59'23"E
C-11	335.00'	70.65'	12°05'03"	70.52'	N 82°38'28"E
C-12	335.00'	4.90'	0°50'20"	4.90'	N 76°10'47"E
C-13	385.00'	63.54'	9°27'24"	63.47'	N 80°29'19"E
C-14	385.00'	27.41'	4°04'46"	27.41'	N 87°15'24"E
C-15	30.00'	46.76'	89°17'47"	42.17'	N 44°38'53"E

- - Set P.K. Nail
- ▲ - Set Concrete Monument

*For amendment to Kenyon Heights #1
See Vol. 28 Pg. 48*

KENYON HEIGHTS NO. 1

200219160

DESCRIPTION (Kenyon Heights No. 1)

Being a parcel of land in the SE 1/4 of Section 33, T3S, R6E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the intersection of W. Elm St. and Seriff Rd. thence S00°00'00"W with the centerline of Seriff Rd., 835.56' to a set P.K. nail and being the POINT OF BEGINNING, thence the following courses:

1. N89°17'47"E, 787.00' to a set concrete monument, passing over a set concrete monument at 30.00';
2. S00°42'13"E, 104.99 to a set concrete monument;
3. N89°17'47"E, 6.75' to a set concrete monument;
4. S00°42'13"E, 159.92' to a set concrete monument;
5. S89°17'47"W, 277.00' to a set concrete monument;
6. N00°00'00"W, 12.86' to a set concrete monument;
7. N90°00'00"W, 124.99' to a set concrete monument;
8. S00°00'00"E, 112.00' to a set concrete monument;
9. S89°16'48"W, 395.00' to a set P.K. nail, passing over a set concrete monument at 365.00';
10. N00°00'00"E with the centerline of Seriff Rd., 362.64' to the POINT OF BEGINNING.

The above described parcel contains 5.667 acres more or less, subject to all legal highway and easements of record.

R/W Area = 1.272 acres
Lot Area = 4.395 acres

Basis of Bearings: The centerline of Seriff Rd. (S00°00'00"W)

Prior Deedholder: Kenyon Properties, Limited (D.B. 890, Pg. 471)

Parcel No.: Part of 36-3304-01-005

DEDICATION

Kenyon Properties, Limited being the owner of the described premises, does hereby voluntarily consent to the execution of said plat, and dedicate the streets as shown thereon to the public use forever.

Easements shown on this plat are for the construction, operation, maintenance, repair, replacement, or removal of water, storm water, open ditch, sanitary sewer, gas, electric, telephone, or other utility lines or services and for the express privilege of removing any trees or obstructions to the free use of said utilities and for providing ingress and egress to the property for said purposes and are to be maintained as such forever.

OWNERS

R. Jeffrey Stone, Jr.
R. Jeffrey Stone, Jr. / Kenyon Properties, Limited

Anthony W. Depalma
Anthony W. Depalma - Kenyon Properties, Limited

WITNESS

Charles R. Follrod

Cynthia M. Cramer

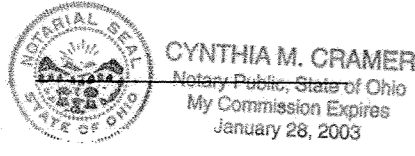
ACKNOWLEDGMENT

State of Ohio
County of Allen

Before me, a notary public in and for said State and County, did personally appear the above signed OWNERS who acknowledged that they signed the hereon plat and the signing thereof was their free act and deed.

IN WITNESS thereof, I affix my hand and seal this 28th day of AUGUST, 2002.

My Commission Expires



Cynthia M. Cramer
Notary Public

APPROVAL OF THE REGIONAL PLANNING COMMISSION

This plat having been approved by the Regional Planning Commission of Allen County, Ohio and Executive Director of the Regional Planning Commission, hereby on behalf of said Commission, approve and accept this plat this 5th day of September, 2002.

John M. Hagan
Exec. Director, Regional Planning Commission

COUNTY RECORDER'S CERTIFICATION

Filed for record this 6th day of Sept, 2002, at 2:30P^M o'clock in the office of the County Recorder and recorded in Plat Book 24, on Page 206.

Edward P. Kirk
Recorder, Allen County, Ohio

Fee \$82.80

COUNTY AUDITOR'S CERTIFICATION

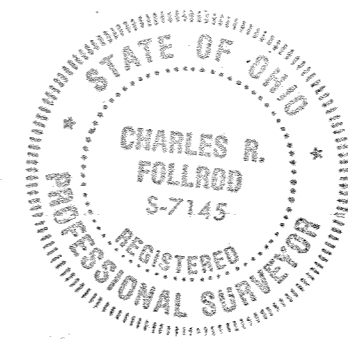
This plat filed for transfer this 6 day of September, 2002.

H. Dean French Sr.
Auditor, Allen County, Ohio

Fee \$9.50

SURVEYOR'S CERTIFICATION

I hereby certify that this plat is based on a true and accurate survey made by me in June 2001. A 5/8 inch rebar topped with a plastic cap stamped P.S. 7145 will be set at all lot corners. All markers are or will be in place within six (6) months from the date of recording.



Charles R. Follrod
Charles R. Follrod, P.S. #7145
R & A Engineers Inc.
258 Brookview Ct.
Lima, Ohio 45801

DESCRIPTION (Survey of Dedicator's Land)

Being a parcel of land in the SE 1/4 of Section 33, T3S, R6E, American Township, Allen County, Ohio and more particularly described as follows:

Commencing at a found monument box at the intersection of W. Elm St. and Seriff Rd. thence S00°00'00"W with the centerline of Seriff Rd., 835.56' to a set P.K. nail and being the POINT OF BEGINNING, thence the following courses:

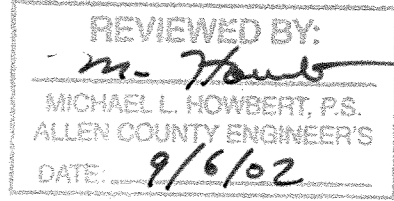
1. N89°17'47"E, 1484.62' to a set #5 rebar;
2. S00°25'10"E, with the east line of the SE 1/4, 530.18 to a set #5 rebar;
3. S89°16'48"W, 1030.51' to a set #5 rebar;
4. N00°00'00"E, 168.00' to a set #5 rebar;
5. S89°16'48"W, 458.00' to a set P.K. nail;
6. N00°00'00"E with the centerline of Seriff Rd., 362.64' to the POINT OF BEGINNING.

The above described parcel contains 16.334 acres more or less, subject to all legal highway and easements of record.

Basis of Bearings: The centerline of Seriff Rd. (S00°00'00"W)

Prior Deedholder: Kenyon Properties, Limited (D.B. 890, Pg. 471)

Parcel No.: 36-3304-01-005



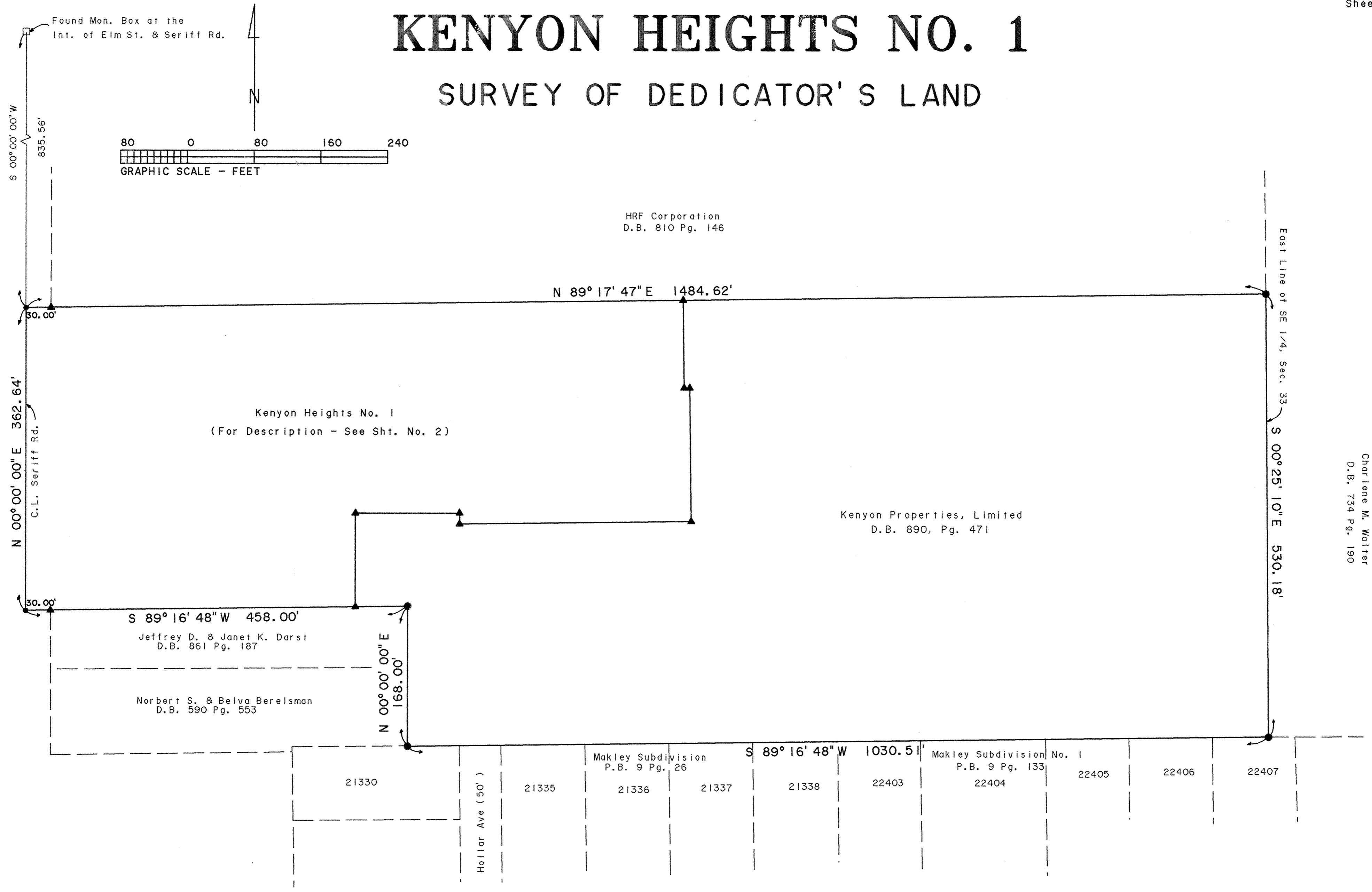
KENYON HEIGHTS NO. 1

DEED RESTRICTIONS

1. Lots shall be used for residence purposes only and shall not be used for any trade, business or industrial purposes, except for home workshops and home greenhouses incidental to the residential use.
2. No residential one-story dwelling having an area above ground of the main structure, exclusive of open porches, verandas, porte cocheres, and garage, of less than 1,300 square feet shall be erected, altered, placed or permitted to remain on any lot. No residential two-story or bi-level dwelling having an area above ground of the main structure, exclusive of open porches, verandas, porte cocheres, and garage, of less than 1,600 square feet shall be erected, altered, placed or permitted to remain on any lot.
3. No structure other than a detached single-family dwelling with a minimum of a two-car garage shall be erected, maintained or permitted to remain on the premises. No old buildings or structures shall be moved onto any of the building plots in said subdivision either temporarily or permanently and no structure of a temporary character, trailer, recreational vehicle, basement, tent, shack, garage or other outbuilding shall be used on any lot at any time as a residence, either temporarily or permanently. The dwelling, including installation of lawn, driveway and sidewalks, must be completed within a nine month period from the start of construction. Garages shall not be used or converted to finished living space.
4. Out buildings, such as storage sheds or barns, home workshops, and greenhouses, shall be no larger than 10' x 16' or no more than 160 square feet and shall conform in style and architecture to the appearance of the residence.
5. No building shall be erected, placed or altered on any lot in this subdivision until construction plans and specifications and a lot plan showing the location of the structure shall have been approved in writing by the Architectural Committee as to the construction materials, harmony of exterior design with the existing structures and as to location with respect to topographic and finish grade elevation.
6. The top of the house foundation shall be two (2') feet minimum and three (3') feet maximum higher than the elevation of the top of the curb at the midpoint of the lot on which the house is to be built. Any deviation from this requirement must have the written approval of the Architectural Committee. All foundations shall be of poured concrete.
7. All driveways shall be constructed of concrete. Any alternate surface must have the prior written approval of the Architectural Committee.
8. Only open-type fences or hedges not to exceed four (4') feet in height above ground level shall be erected or planted on said lots and shall not extend closer to the street than the front of the house. A privacy fence of wood construction with a minimum height of six (6') feet may be used around a pool or patio area.
9. No animals, livestock or poultry shall be kept or maintained on any part of this subdivision, except that ordinary household pets may be kept provided they are not kept, bred or maintained for any commercial purpose and do not constitute an annoyance or nuisance.
10. No nuisance, advertising signs, billboards and/or other advertising devices, except such as pertain to the sale of land upon which said sign is located, shall be permitted on said lots, nor shall said lots be used in any way which may endanger the health or unreasonably distract the quiet of any adjacent lots.
11. No intoxicating beverages or habit-producing drugs shall be manufactured or sold nor shall commercial gambling be permitted in said subdivision.
12. Nothing shall be permitted on said lots which may be or become an annoyance or nuisance to the neighborhood. All vehicles belonging to residents shall be parked in the garage or driveway. No on-street parking is permitted except for visitors for a maximum of seven (7) days.
13. There shall be no satellite dishes placed in yard areas. Small dishes mounted to homes are permitted.
14. All utility services to homes must be underground.
15. Sidewalks shall be installed along all street frontages to meet Allen County specifications.
16. The Architectural Committee for this subdivision shall be composed of Tony DePalma, Jeff Stone and Chuck Follrod. Majority vote of the Committee rules. If any member of the Committee chooses to resign or is unable to fulfill his duties, a replacement member will be selected by the remaining members.
17. When approval of the Architectural Committee is required, application shall be made in writing to the Committee by the lot owner(s) requesting the necessary approval. Application shall be deemed to be filed when it has been delivered to a Committee member and receipt obtained indicating proof of delivery. Sufficient information shall be provided to the Committee to enable it to make a proper decision on the matter. The Committee shall either approve or disapprove the application in writing on or before ten (10) days from the date that the application and all necessary information to make a decision is filed with the Committee. The ten (10) day period may be extended by the Committee for good cause related to the decision-making process for the application.
18. Enforcement of the within conditions or restrictions shall be by proceedings at law in equity against any person or persons violating or attempting to violate the same, either to restrain violation or to recover damages.
19. Invalidation of any of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.
20. These covenants, restrictions, and limitations shall be binding on all parties hereto and on all owners of lots in said subdivision for a period of twenty-five (25) years from the date of recording, after which time such covenants, restrictions, and limitations shall automatically extend for successive periods of ten (10) years each.
21. Easements and right-of-ways are reserved under, in and over lots as shown on plat for the construction, operation and maintenance of electric power, telephone facilities, pipelines supplying natural gas, roads, drainage facilities, sanitary sewers, waterlines and cablevision. Easements shown on plat may be used by public and private utilities as circumstances require without incurring any liability from property owners for damage to sod, shrubbery or other surface improvements. No permanent structures or permanent plantings of trees or shrubs shall be placed on easements designated on plat.
22. All fee holders and all receiving title to the fee through them are subject to payment of drainage maintenance fees assessed or to be assessed by the County pursuant to Ohio Revised Code Sections 6131 and 6137. A specific and distinct ditch maintenance fund shall be created as per the referenced sections of the Ohio Revised Code for this project.

KENYON HEIGHTS NO. 1

SURVEY OF DEDICATOR'S LAND



Charlene M. Walter
D.B. 734 Pg. 190

- - Set P.K. Nail
- ▲ - Set Concrete Mon.
- - Set #5 Rebar